



The Columbia Municipal Planning Commission will meet on Wednesday, September 4, 2024 at 4:00 PM in Council Chambers in the basement of City Hall, 700 N. Garden Street. The Planning Commission will consider the following:

I. Organization

1. Call to Order
2. Roll Call
3. Welcome of Visitors/Rules of Conduct

II. Discussion Items

1. Request from Development Services for review and recommendation of Zoning Text Amendments related to Special Districts (SD-MHP, SD-LI, SD-HI, SD-INT, and CV).
2. Request from Development Services for review and recommendation of Zoning Text Amendments related to Planned Unit Developments (PUD-R, PUD-MU & Other PUDs).
3. Request from Development Services for review and recommendation of Zoning Text Amendments related to sign standards.

III. Other Business

The Planning Commission of the City of Columbia welcomes your presence and participation at this meeting. If you wish to address the Commission regarding any item on the Agenda, please sign the sign-up sheet and indicate which agenda item you would like to comment on. You will have the opportunity to comment on an item when it comes up on the Agenda and before the Commission votes on the item. Once recognized, you may then come to the podium and state your name and address. Anyone requesting accommodation due to disabilities should contact the ADA

Coordinator, Wanda McClain, at 931-560-1570 prior to the meeting. For other questions, please contact the Department of Development Services at 931-560-1560.

Q3 – 2023 Zoning Text Amendment Special Districts

Project #:	24-0335	Location:	N/A
Applicant:	Kevin C. McCarthy, AICP	Case Type(s):	Text Amendment
Staff Planner:	Kevin C. McCarthy, AICP	Proposed Use:	N/A

SUMMARY

This request modifies the text of Article 4 of the zoning ordinance revising the standards for **special districts**. Special districts exist alongside the continuum of character districts and provide for land uses and physical arrangements which are incompatible with the rural-suburban-urban transect model. The proposed changes relate to the position of structures on a lot or building site and correction of an error in the July 2022 adopted code.

The applicant, the Zoning Administrator, requests to amend the text of Ordinance 4400, the zoning ordinance for the City of Columbia. This is the fourth of five rounds of zoning text amendments staff will present to the Planning Commission between December 2023 and December 2024. These changes will implement Connect Columbia, better align zoning regulations with community preferences, and calibrate the standards based on “lessons learned” during the first two years administering the Ordinance. This round of proposed amendments is detailed in the attached list of topics and track changes documents.

- The Planning Commission is a **recommending body** for zoning text amendments. The City Council is the decision-making authority.
- The staff comments section details the proposed changes, which are provided in the agenda packet in ~~striketrough~~ and underlines.
- Planning Commission may recommend adoption of the proposed text, modify the proposal, or decline the request.
- Templates are provided at the end of the report to assist the Planning Commission in crafting properly formatted motions.

CONSISTENCY WITH CONNECT COLUMBIA

The ongoing current process of reviewing and updating the Zoning Ordinance, Subdivision Regulations, Engineering Standards & Specifications, and other regulating documents is part of the implementation of Connect Columbia, the City's comprehensive plan.

REVIEW PROCESS

Section **8.5.18** of the Zoning Ordinance directs the Planning Commission to review and make a recommendation on all proposed changes to the text of the Ordinance. The Planning Commission is the recommending body for text amendments under **§ 8.3.3.B.2** of the Zoning Ordinance.

Section **8.5.18.C** of the Zoning Ordinance requires that Planning Commission determine that the proposed changes are consistent with the comprehensive plan.

8.5.18.G of the Zoning Ordinance establishes the review criteria for approval of all changes to the text of the Ordinance:

- a. The extent to which the proposed Zoning Ordinance Amendment is consistent with the remainder of this Ordinance, including, specifically, any purpose and intent statements;*
- b. The extent to which the proposed Zoning Ordinance Amendment represents a new idea not considered in this Ordinance, or represents a revision necessitated by changing circumstances over time;*
- c. Whether or not the proposed Zoning Ordinance Amendment corrects an error in this Ordinance; and*
- d. Whether or not the proposed Zoning Ordinance Amendment revises this Ordinance to comply with state or federal statutes or case law.*

The criteria for City Council action on a Zoning Ordinance Amendment at § 8.5.18.J.4 are identical to the criteria for Planning Commission review at 8.5.18.G.3.

COMMENTARY FROM PROFESSIONAL PLANNING STAFF

The City Council adopted the current ordinance on July 14, 2022. The Zoning Ordinance implements the City's comprehensive plan, Connect Columbia. On November 8, 2023, the Planning Commission recommended adoption of a five-year update of the framework, land use, and transportation elements of Connect Columbia. The framework element of the plan directs planning staff to initiate revisions to the ordinance in order to bring it into consistency with the future land use plan. It further directs staff to engage residents and property owners to solicit suggestions for further changes to the ordinance. As mentioned above, this is the second and third of five rounds of zoning text amendments staff plans to present to the Planning Commission between December 2023 and December 2024.

Proposed changes include:

- **Table 4.3.1-I – Interstate Service Special District (SD-INT)**
 - Revise lot/building site enforcement to explicitly permit structures in SD-INT to be oriented toward Driveways and frontages other than Thoroughfares and Internal Drives.
- **Table 4.3.1-J – Light Industrial District (SD-LI)**
 - Revise lot/building site enforcement to explicitly permit structures in SD-LI to be oriented toward Driveways and frontages other than Thoroughfares and Internal Drives.
 - Add the second clause of the minimum street yard setback for SD-LI applicable to lots and building sites which are not adjacent to residential districts (20 feet). This standard was inadvertently omitted from the Ordinance in 2022.
- **Table 4.3.1-K – Heavy Industrial District (SD-HI)**
 - Revise lot/building site enforcement to explicitly permit structures in SD-HI to be oriented toward Driveways and frontages other than Thoroughfares and Internal Drives.

The Planning Commission may recommend approval of the proposed text amendments, direct staff to prepare an alternative text amendment, or decline to act on the proposed changes.

SAMPLE MOTIONS

Approve:

Move to find, based on the analysis provided by city staff, that the criteria listed in section **8.5.18** of the City of Columbia Zoning Ordinance have been satisfied and recommend approval of the proposed text amendments **[may be subject to modificaitons proposed by the Planning Commission]**.

Deny:

Move to recommend denial of the requested text amendment having found, based on the analysis provided by city staff, that the criteria listed in section **8.5.18** of the City of Columbia Zoning Ordinance are not satisfied *[list specific reasons for denial and provide direction to staff]*.

Defer:

Move to find that there is insufficient information to decide, defer the matter to the next regularly scheduled meeting of the Planning Commission, and direct staff to provide: *[list additional information]* for review at a future meeting.

**Article 4 Building, Lot & Building Site Standards
Proposed Zoning Text Amendment
Related to Special Districts**

Additions are Underlined
~~Deletions are Strikethrough~~

Proposed Changes

TABLE 4.3.1-I SD-INT District Standards (p. 124 - 133)	2
TABLE 4.3.1-J SD-LI District Standards (p. 134-145).....	3
TABLE 4.3.1-K SD-HI District Standards (p. 146 - 155)	5

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Special Districts

Additions are Underlined
Deletions are Strikethrough

TABLE 4.3.1-I

Interstate Service Special District

SD-INT District Standards (p. 124 - 133)

Replace current table with changes to formatting and revise standards as follows:

Pagination reflects July 2022 adopted version. Precise location of standard may differ slightly based on City Council action on other ZTAs in September 2024.

Lot Occupation	
Lot/Building Site Width	100 ft. min
Lot Frontage on Street / Highway	100 ft. min
Lot Depth	NR
Frontage Buildout	NR
Lot/Building Site Area	20,000 SF min
Impervious Surface Coverage	NR
Usable Open Space Min	Min. 7% of gross site area
Lot/Building Site Enfrontment	<u>NR. Must enfront a vehicular Thoroughfare, Internal Drive, or Driveway. Lots or Building Sites within a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or water body if such Lots have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.</u>
Lot/Building Site Access	All Lots and Building Sites must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Special Districts

Additions are Underlined
 Deletions are Strikethrough

TABLE 4.3.1-J

Light Industrial Special District

SD-LI District Standards (p. 134-145)

Replace current table with changes to formatting
 and revise standards as follows:

Clarify that enfrontment is permitted on Driveways and Pedestrian Paths.

Lot Occupation	
Lot/Building Site Width	50 ft. min
Lot Depth	NR
Frontage Buildout	NR
Lot/Building Site Area	40,000 SF min
Impervious Surface Coverage	70% max
Usable Open Space Min	Min. 7% of gross site area
Lot/Building Site Enfrontment	<u>NR Must enfront a vehicular Thoroughfare, Internal Drive, or Driveway. Lots or Building Sites within a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or water body if such Lots have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.</u>
Lot/Building Site Access	All Lots and Building Sites must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Special Districts

Additions are Underlined
 Deletions are Strikethrough

Correct omission of front-setback in adopted code.

Setbacks / Yards	
Setbacks / Yards - Principal / Accessory Building	
Street Yard - Min	As applicable: - For sites Adjacent to and sharing frontage with a Residential District: - An addition to an existing Building with a front wall of variable distance from the street may be extended to the plane of the existing front wall closest to the street. - Except for an addition to an existing Building described in 1.a above, the lesser of the avg depth of Street Yards of existing Buildings within 100 ft. on each side of a Lot or 40 ft. ⁽¹⁾ <u>Otherwise, 20 ft.</u> ⁽¹⁾
Side Yard-Per side	As applicable: - For sites abutting a Residential District, 50 ft. along the common boundary; - Otherwise, 10 ft. ⁽¹⁾⁽²⁾⁽³⁾⁽⁴⁾
Rear Yard	As applicable: - For sites abutting a Residential District, 50 ft. along the common boundary; - Otherwise, 20 ft. ⁽¹⁾⁽²⁾⁽³⁾⁽⁴⁾

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Special Districts

Additions are Underlined
 Deletions are Strikethrough

TABLE 4.3.1-K

Heavy Industrial District

SD-HI District Standards (p. 146 - 155)

Replace current table with changes to formatting and
 revise standards as follows:

Lot Occupation	
Lot/Building Site Width	100 ft. min
Lot Frontage on Street / Highway	24 ft. min
Lot Depth	NR
Frontage Buildout	NR
Lot/Building Site Area	as required to meet all other applicable requirements of this Ordinance
Impervious Surface Coverage	70% max
Usable Open Space Min	Min. 7% of gross site area
Lot/Building Site Enfrontment	NR <u>Must enfront a vehicular Thoroughfare, Internal Drive, or Driveway. Lots or Building Sites within a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or water body if such Lots have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.</u>
Lot/Building Site Access	All Lots and Building Sites must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

General Description

This District is designed to provide suitable areas for Manufactured Home Parks where sufficient urban facilities are available prior to Development. Manufactured Homes and Buildings necessary to support the Residential occupancy of Manufactured Homes are permitted. This District is intended also to permit community facilities and public utility installations that are necessary to service specifically the residents of this District, or which are benefited by and compatible with a Residential environment.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Density / Floor Area Ratio (FAR) **Applicable only to Development Parcels*

6 Density Units per acre max

Block Size*

**Applicable only to Development Parcels.*

Block Perimeter 2,400 ft. max

Private Frontage Types

Common Yard	NP	Stepfront	P
Porch	NP	Shopfront	P
Fence	NP	Gallery	P
Terrace/Lightwell	P	Arcade	P
Forecourt	P	Officefront	P
Stoop	P		

See Table 4.3.7.A (Private Frontage Types)

Civic Space Types*

**Applicable only to Development Parcels.*

Natural Area	P	Playground	P
Green	P	Sport Field	P
Square	NP	Community Garden	P
Plaza	NP	Pocket Park	P

See Table 5.3.3.A (Civic Space Types – Summary) and Table 5.3.3.B (Civic Space – Specific Standards)

Permitted Uses

See Table 4.3.9.A-1 (Building, Lot & Building Site Principal Use), Table 4.3.9.A-2 (Building, Lot & Building Site Accessory Uses), and Table 4.3.9.A-3 (Building, Lot & Building Site Temporary Uses). For Development Parcels, see also Table 5.1.11 (Principal Use Mix).

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Number of Buildings Per Lot or Building Site

Principal Building	1 max. per Manufactured Home Site or Building Site
Accessory Buildings	1 max. per Manufactured Home Site or Building Site

Manufactured Home Site / Building Site / Manufactured Home Park Occupation

Manufactured Home / Building Site Width	Residential: ⁽¹⁾ Non-Residential Use: 60 ft. min.
Manufactured Home Park Minimum Street/Highway Frontage	50 ft min.
Frontage Buildout	If non-mobile: 40% min; otherwise NR
Manufactured Home Site/ Building Site Depth	NR
Manufactured Home Site/ Building Site Area	Residential Use: 6,000 sf. min. Non-Residential Use: 10,000 sf. min.
Manufactured Home Stand	max. 25% of Manufactured Home Site
Impervious Surface Coverage	35% max
Building Site Enfrontment	Must enfront a vehicular Thoroughfare or Internal Drive, except ≤ 20% of the Manufactured Home Sites of a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or waterbody if such Manufactured Home Sites have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement. All Manufactured Home Sites must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Setback / Yards

Setback / Yards – Street Yard

Street Yard– Arterial	Residential: ⁽¹⁾ Non-Residential: 50 ft. min	A
Street Yard– Collector	Residential: ⁽¹⁾ Non-Residential: 50 ft. min	A
Street Yard– Minor	Residential: ⁽¹⁾ Non-Residential: 50 ft. min	A

Setback / Yards – Side and Rear Yard

Side Yard– Per side	Residential: ⁽¹⁾ Non-Residential: 2 Stories or less 15 ft. min; 3 or more Stories 25 ft. min	B
Side Yard– Total	Residential: ⁽¹⁾ Non-Residential: NR	B
Rear Yard	Residential: ⁽¹⁾ Non-Residential: 20 ft. min	?

Notes:

(1) Within a Manufactured Home Park, dimensional standards shall be as required for the park. All other Residential uses of a Manufactured Home (including a Manufactured Home not in a park) shall conform to the standards of the CD-3 Character District.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Building Standards

Building Height*

Principal Building 2 Stories max

Accessory Building 2 Stories max

*Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, belfries, parapet walls, aerials, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

NR

Building Composition

Vertical Composition **NR**

Finished Floor Level **NR**

Support piers, plumbing, HVAC, hitch and wheels **R** to be concealed by apron between floor level and ground on all sides, including beneath Porch or Stoop

Facade

Main Entrance If non-mobile: **R** prominently located on Facade at Principal Frontage; otherwise **NR**

Facade Position If non-mobile: Parallel to straight Frontage Line or to tangent of curved Frontage Line; otherwise **NR**

Blank Walls **NP** at Frontage

Facade Glazing 20% – 60% of total Facade area

Roof Type & Pitch

NR

Building Materials

NR except **R** clear glass for windows at frontage

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not Permitted

NA

Not Applicable

R

Required

NR

Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Building Types

Manufactured Homes & Associated Buildings

P

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
Domestic Vehicles	P	P in 3rd Layer only, and in Driveway
Recreational Vehicles	NP	P in 3rd Layer only, and in Driveway
Heavy Equipment	NP	P in 3rd Layer only, and in Driveway
Tractor trailers (including trailers for storage)	NP on-Street, except for delivery and Temporary Use of trailers	P in 3rd Layer only, and in Driveway
All Other Vehicles	NP	P in 3rd Layer only, and in Driveway

Additional Parking Requirements

Off-Street Parking Surface	Prepared surface of asphalt, concrete or other hard surface
Garage Location	P in Rear Yard only
Garage Design	NR
Driveway/Vehicular Entrance Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max. single lane; 20 ft max. width double lane
Parking Structures	NA
Parking Structure Pedestrian Exit Location	NA

Bicycle Parking

NR

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not Permitted

NA

Not Applicable

R

Required

NR

Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Parking & Circulation (continued)

Thoroughfares & Internal Drive Types*

**Only applicable to Development Parcels.*

See Article 5 (Development Parcel Standards) for additional requirements.

Loading & Access

Off-Street Loading and Storage	P in 3rd Layer only.
Utility Box & Service Meter* Locations (*Not including water meters)	P in 3rd Layer only.
Trash Receptacle Locations – Manufactured Home Site	P in 3rd Layer only, except when moved to 1st or 2nd Layer for pickup
Community Trash Receptacle or Dumpster Locations	P in 3rd Layer only, must be Screened from Frontage and fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Drive-Through Locations	NA

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	NP	P
Solar Panels	P if coplanar to and integrated into roof design		P
Antennas & Satellite Equipment	P in 1st or 2nd Layer if such Layer is only possible location possible for satisfactory reception.		P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures, Runs or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P
Transmitting and/or receiving towers or antennas and wind-generating machines	NR		

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Signs

See Sign Standards in Article 7 (Sign Standards) and Table 7.12.B-1 (Sign Types – Summary) and Table 7.12.B-2 (Sign Types – Specific Standards)

Lighting

See Private Lighting requirements in Section 4.3.17 and Table 4.3.17.B (Private Lighting Standards)

Private Landscaping and Fencing

Landscaping

Required Street Yard and any required Side Yard of a corner Manufactured Home Site must be landscaped in compliance with Section 4.3.16., including 1 tree per Manufactured Home Site and continuous shrub plantings around foundation facing Frontage.

Walls & Fencing (not including Screens)

Height	4 ft. max. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare or Internal Drive, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts and graffiti.

Materials

Natural Wood	P	Chain Link	NP
Brick, Natural Stone, or Stucco over Masonry	P	Barbed/razor/concertina wire	NP
Wrought Iron or Aluminum	NP	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

Additional Standards

Pedestrian connections through to Adjacent Neighborhoods or Uses	R
Location of Retaining Walls	P within required Yards, per Section 4.3.10 If supporting grade 8 ft. or higher than grade at interior edge of a required Buffer, must be set back 10 ft. from such interior edge.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-MHP

TABLE 4.3.1-H DISTRICT STANDARDS:
MANUFACTURED HOME PARK RESIDENTIAL SPECIAL DISTRICT

Height		
	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3 ft. to 3.5 ft.	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Fence Screen/Streetscreen Height	NP	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Hedge Screen/Streetscreen Height	3 ft. to 3.5 ft. at installation	5 ft. to 6 ft. at installation
Materials		
Wall Screen or Streetscreen	Brick, Natural Stone or Stucco over Masonry	
Fence Screen or Streetscreen	Natural Wood, painted or unpainted	
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity	
Additional Standards		
Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NA (Uses not permitted in District)	
	R, except at Driveways:	
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	Parking Lots and Parking Areas must be Screened from Frontages and Civic Space by Building or Streetscreen; Parking Structures must be Screened from Frontages and Civic Space by Liner Buildings; Otherwise, Screening from Frontages and Civic Space must be by Building, Wall, hedge or fence, & Screening from Adjacent property must be by Building, Wall, hedge or fence.	
Rooftop Antennas and HVAC, Mechanical and other Equipment Screening	R; must be Screened from Frontage and Civic Space by Building parapet or other Building Element	
Self-Storage Warehouse Screening	NA (Use not permitted in District)	
Parcel Buffer	Section 4.3.11.H.	
Project Buffer	Section 5.8.	

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

General Description

This District is designed to provide space along I-65 to serve the needs of the motoring public. Automobile and other vehicular service establishments, transient sleeping accommodations, and eating and drinking establishments primarily characterize this District. Appropriate locations for this District are along I-65 in an environment of general Commercial and Mixed Use activity. Due to the high traffic volumes and general incompatibility between some of the Uses permitted within this District and those in CD-3L and CD-3 areas, this District shall not be located in or Adjacent to a CD-3L or CD-3 District. The SD-INT Special District is an appropriate District for the Interstate Gateway Special Area described in the Comprehensive Plan.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

Density / Floor Area Ratio (FAR) **Applicable only to Development Parcels*

24 Density Units per acre max

Parcel Size

Parcel Size Min. 1 gross acre

Block Size*

**Applicable only to Development Parcels.*

Block Perimeter

NR

Private Frontage Types

NR

Civic Space Types*

**Applicable only to Development Parcels.*

NR

Permitted Uses

See Table 4.3.9.A-1 (Building, Lot & Building Site Principal Use), Table 4.3.9.A-2 (Building, Lot & Building Site Accessory Uses), and Table 4.3.9.A-3 (Building, Lot & Building Site Temporary Uses). For Development Parcels, see also Table 5.1.11 (Principal Use Mix).

Number of Buildings Per Lot or Building Site

Principal Building 1 max. per Lot or Building Site

Accessory Buildings 1 max

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not
Permitted

NA

Not
Applicable

R

Required

NR

Not
Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

**TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT**

Lot Occupation

Lot/Building Site Width	100 ft. min
Lot Frontage on Street / Highway	100 ft. min
Lot Depth	NR
Frontage Buildout	NR
Lot/Building Site Area	20,000 SF min
Impervious Surface Coverage	NR
Usable Open Space	Min. 7% of gross site area
Lot/Building Site Enfrontment	NR
Lot/Building Site Access	All Lots and Building Sites must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Setback / Yards

Setback / Yards – Principal Building

	As applicable:	
	1. For sites Adjacent to a District in which a Residential use is allowed:	
	a. An addition to an existing Building with a Facade of variable distance from the Street may be extended to the plane of the existing Facade closest to the Street.	
Street Yard – Min	b. Except for an addition to an existing Building described in 1.a above, the lesser of	A
	I. the avg depth of Street Yards of existing Buildings within 100 ft. on each side of a Lot or Building Site or	
	II. 60 ft.	
	2. Otherwise, 30 ft.	
Side Yard–Per side	0 ft. min. along Lot Lines or Building Site Lines Adjacent to a Lot or Building Site on which no Mixed Use or Residential Use is located, or is being constructed; otherwise, 10 ft. min. ⁽¹⁾⁽²⁾⁽³⁾	B
Rear Yard	0 ft. min. along Lot or Building Site Lines Adjacent to other Commercial Districts on which another Commercial establishment is located, or is being constructed; otherwise, 20 ft. min. ⁽¹⁾⁽²⁾⁽³⁾	C

Notes: * See Article 9 (Definitions) for FAR measurement information.

(1) Additional Side Yard or Rear Yard depth may be necessary to accommodate Buffers and landscaping required in Sections 4.3.11, 4.3.16, and 5.8.

(2) The required Rear Yard depth shall be reduced as provided below if the Lot does not abut a different District and is owned separately and individually from all other tracts of land, both on the Effective Date of this Ordinance and on the date of application for a Zoning Permit. Such reduction shall be as follows:

a. For all Interior Lots between 80 ft. and 100 ft. deep, the required Rear Yard shall be reduced by an amount equal to the lesser of (i) 100 ft. minus the depth of the Lot or (ii) 10 ft..

b. For Interior Lots < 80 ft. deep within Non Residential Districts, the required Rear Yard depth shall be 0 ft., but if any Rear Yard is provided, it must be at least 10 ft. deep.

(3) Buffering requirements are not applicable to Side Yards or Rear Yards with zero depth.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

Building Standards

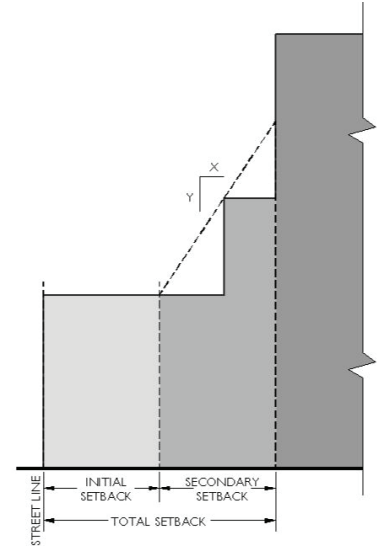
Building Height*

Principal Building

Initial Stepback = depth of required Front Setback / Street Yard, within which no Structure is allowed.

Max. height within 1st 30 ft. beyond Initial Stepback ("Secondary Stepback"): 45 ft. + 1.5 ft. (Y) for every additional 1 ft. (X) Building is stepped back from Initial Stepback (Slope of Sky Exposure Plane (X:Y) = 1:1.5).

From and beyond 40 ft. from back of sidewalk ("Total Stepback"), greater of 75 ft. max. or height permitted by Conditional Use Permit, if total Impervious Surface Coverage is 40% or less.



Accessory Building 45 ft. max

*Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, belfries, parapet walls, aerials, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

May not exceed 14 ft. from finished floor to finished ceiling, except for a first floor Business/Commercial, Office, Retail/ Personal Service, or Accommodation / Lodging Use, which must be a minimum of 11 ft. with a maximum of 25 ft.

Building Composition

Vertical Composition Each Principal Building must have an identifiable Base, Middle, & Cap

Finished Floor Level **NR**

Facade

Main Entrance Main Entrance must be in Facade of Principal Frontages.

Facade Position Parallel to straight Frontage Line or to tangent of curved Frontage Line

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

**TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT**

Building Standards (continued)

Facade & Facade Element Design Proportions	Must be vertically proportioned
Blank Walls	NP at Frontage
Facade Articulation	A Façade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Façade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Façade elements; and (2) is composed with a defined center and edges. (See Illustration 4.3.5.A-3)

Facade (continued)

Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	20% – 60% of total Facade area for non-Shopfront; 70% of total Facade area, min. for Shopfront.
Window Shape	Square or vertical in proportion, except for transoms.
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Window Types	Except in Shopfront or Gallery Frontage, and except for transoms and sidelights, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Window Glazing Material	Clear glass R for windows at Frontage
Window Trim in 1st Layer	Min. 4 in. trim with sill and top plate if siding surrounding window; soldier course above lintel and rollock course below sill if brick or stone surrounds window
Shutters	If any, must be functional and proportioned to cover half of window width from each side or entire window width, with shutter dogs
Facade Window Sill Height	If Residential: 5 ft. min. above avg. grade at Facade
Porch Frontages	Min. 6 ft. clear depth, excluding rails, pillars, columns or other features
Shopfront Frontages	12 in.–24 in. knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

Building Standards (continued)

Roof Type & Pitch

NR

Roof Design

NR

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum or vinyl siding	NP
	Cementitious siding	P	Corrugated and/or sheet metal	NP
Changes in Building Materials	NR			
Building Colors	NR			
Foundation Cladding	NR			
Porch Pier Cladding	NR			
Chimney Cladding	NR			

Building Types

House	NP	Commercial	P
Duplex	NP	Mixed Use	P
Townhouse	NP	Flex	P
Small Multifamily	NP	Mid-Rise	P
Large Multifamily	P	Large Scale Commercial	P
Live/Work	NP	Civic	P

See Table 4.3.8.A (Principal Building Types – Summary) and Table 4.3.8.B (Principal Building Types – Specific Standards). For Development Parcels, see also Table 5.1.10 (Building Type Mix).

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not Permitted

NA

Not Applicable

R

Required

NR

Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
All Vehicles	NR	P behind first 10 ft. from Front Lot Line if site not abutting Residential District; Otherwise, P only in Side Yard or Rear Yard.

Additional Parking Requirements

Off-Street Parking Surface	Asphalt, concrete or other hard surface
Garage Location	P in 3rd Layer only
Garage Design	NR
Driveway/Vehicular Entrance Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max. in 1st Layer if Residential; 36 ft max. in 1st Layer if non-Residential, regardless if shared or not
Parking Structures	P , if Screened from Frontage by Liner Buildings
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

Bicycle Parking

See Section 4.3.13

Thoroughfares & Internal Drive Types*

**Only applicable to Development Parcels.*

See Article 5 (Development Parcel Standards) for additional requirements.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

Loading & Access

Off-Street Loading and Storage	P in 3rd Layer only.
Utility Box & Service Meter* Locations (*Not including water meters)	P in 3rd Layer only.
Off-Street Trash Receptacle Locations	P in 3rd Layer only.
Off-Street Dumpster Locations	P in 3rd Layer only, must be Screened from Frontage and fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Drive-Through Locations	P in 3rd Layer only.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P if Screened from Frontage	P
Solar Panels	P if coplanar to and integrated into roof design		P
Antennas & Satellite Equipment	P in 1st or 2nd Layer if such Layer is only possible location possible for satisfactory reception.		P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures, Runs or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P
Transmitting and/or receiving towers or antennas and wind-generating machines	NP	NP	P

Signs

See Sign Standards in Article 7 (Sign Standards) and Table 7.12.B-1 (Sign Types – Summary) and Table 7.1.2.B-2 (Sign Types – Specific Standards)

Lighting

See Private Lighting requirements in Section 4.3.17 and Table 4.3.17.B (Private Lighting Standards)

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

**TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT**

Private Landscaping and Fencing

Landscaping

R continuous shrubs around foundation facing Frontage if 1st Layer is ≥ 3 ft. deep, plus if 1st Layer is ≥ 15 ft. deep, 1 tree planted in 1st Layer. Landscaping must comply with Section 4.3.16.

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare or Internal Drive, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts and graffiti.

Materials

Natural Wood	P at sides and rear only	Chain Link	P at sides and rear only
Brick, Natural Stone, or Stucco over Masonry	P at sides and rear only	Barbed/razor/concertina wire	NP
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

Additional Standards

Pedestrian connections through to Adjacent Neighborhoods or Uses	NR
Location of Retaining Walls	P within required Yards, per Section 4.3.10 If supporting grade 8 ft. or higher than grade at interior edge of a required Buffer, must be set back 10 ft. from such interior edge.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-INT

TABLE 4.3.1-H DISTRICT STANDARDS:
INTERSTATE SERVICE SPECIAL DISTRICT

Screens, Streetscreens & Buffers

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 5 ft.	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Fence Screen/Streetscreen Height	NP	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Hedge Screen/Streetscreen Height	3 ft. to 5 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, Natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

Additional Standards

Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR
	R ; except at Driveways:
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; Parking Structures must be Screened from Frontages by Liner Buildings. Otherwise, Screening must be by Building, wall, hedge or fence at Frontage or Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.
Rooftop Antennas and HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element
Self-Storage Warehouse Screening	NA (not permitted in District)
Parcel Buffer	Section 4.3.11.H.
Project Buffer	Section 5.8.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

General Description

This District is intended to provide space for a wide range of wholesale trade, warehousing of a wide variety of products or materials, manufacturing processes, and industrial and related uses that conform to a high level of performance criteria and have few objectionable characteristics. All operations must be carried on within completely enclosed Buildings, thus providing a standard of Development that removes most adverse characteristics that affect neighboring properties. This District may provide a buffer between other Districts and other industrial activities that have more objectionable influences. This District may require types of Structures and have Uses and other characteristics that cannot be facilitated in other Districts. New Residential Development, Commercial establishments, Retail establishments, personal service Uses, and community facilities and utilities, are permitted, as well as additional Uses that provide needed complementary services or are necessary for the general community welfare. SD-LI is an appropriate District for portions of the Industrial Road Special Area described in the Comprehensive Plan.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

Density / Floor Area Ratio (FAR) **Applicable only to Development Parcels*

NR

Parcel Size

Parcel Size Min. 1 acre min

Block Size* **Applicable only to Development Parcels.*

Block Perimeter 2,000 ft. max. or 3,000 ft. max. if a Parking Structure provided within Block

Private Frontage Types

NR

Civic Space Types* **Applicable only to Development Parcels.*

NR

Permitted Uses

See Table 4.3.9.A-1 (Building, Lot & Building Site Principal Use), Table 4.3.9.A-2 (Building, Lot & Building Site Accessory Uses), and Table 4.3.9.A-3 (Building, Lot & Building Site Temporary Uses). For Development Parcels, see also Table 5.1.11 (Principal Use Mix).

Number of Buildings Per Lot or Building Site

Principal Building

Accessory Buildings

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

**TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT**

Lot Occupation

Lot/Building Site Width	50 ft. min
Lot Depth	NR
Frontage Buildout	NR
Lot/Building Site Area	40,000 SF min
Impervious Surface Coverage	70% max
Usable Open Space	Min. 7% of gross site area
Lot/Building Site Enfrontment	NR
Lot/Building Site Access	All Lots must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Setbacks / Yards

Setbacks / Yards – Principal / Accessory Building

	As applicable:	
	1. For sites Adjacent to and sharing frontage with a Residential District:	
Street Yard – Min	a. An addition to an existing Building with a front wall of variable distance from the street may be extended to the plane of the existing front wall closest to the street. b. Except for an addition to an existing Building described in 1.a above, the lesser of I. the avg depth of Street Yards of existing Buildings within 100 ft. on each side of a Lot or II. 40 ft. ⁽¹⁾	A
Side Yard–Per side	As applicable: 1. For sites abutting a Residential District, 50 ft. along the common boundary; 2. Otherwise, 10 ft. ⁽¹⁾⁽²⁾⁽³⁾⁽⁴⁾	B
Rear Yard	As applicable: 1. For sites abutting a Residential District, 50 ft. along the common boundary; 2. Otherwise, 20 ft. ⁽¹⁾⁽²⁾⁽³⁾⁽⁴⁾	C

NOTES:

(1) Additional Side Yard or Rear Yard depth may be necessary to accommodate Buffers and landscaping required in Sections 4.3.11, 4.3.16, and 5.8.

(2) The required Rear Yard depth shall be reduced as provided below if the Lot does not abut a different District and is owned separately and individually from all other tracts of land, both on the Effective Date of this Ordinance and on the date of application for a Zoning Permit. Such reduction shall be as follows:

a. For all Interior Lots between 80 ft. and 100 ft. deep, the required Rear Yard shall be reduced by an amount equal to the lesser of (i) 100 ft. minus the depth of the Lot or (ii) 10 ft.

b. For Interior Lots < 80 ft. deep within Non Residential Districts and Corner Lots < 80 ft. deep within Industrial Districts, the required Rear Yard depth shall be 0 ft., but if any Rear Yard is provided, it must be at least 10 ft. deep.

(3) In Industrial Districts, the required Side Yard and Rear Yard depth for Lots along Lot Lines abutting other Industrial Districts or along a railroad Right-of-Way is 0 ft.

(4) In Industrial Districts, Buffering requirements are not applicable to Side Yards or Rear Yards with zero depth.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

Building Standards

Building Height*

Principal Building 45 ft. max

Accessory Building 45 ft. max

Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

NR

Building Composition

Vertical Composition Each Principal Building must have an identifiable Base, Middle, & Cap

Finished Floor Level **NR**

Facade

Main Entrance Main Entrance must be in Facade of Principal Frontages.

Facade Position Parallel to straight Frontage Line or to tangent of curved Frontage Line

Facade & Facade Element Design Proportions **NR** Flex Building with Industrial Category Use
Other – Must be vertically proportioned

Blank Walls **NP** at Frontage

Facade Articulation **NR** Flex Building with Industrial Category Use
Others – Façade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Façade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Façade elements; and (2) is composed with a defined center and edges. (See Illustration 4.3.5.A-3)

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

**TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT**

Building Standards (continued)

Facade (continued)

Facade Openings	NR Flex Building with Industrial Category Use Others- Windows and/or doors spaced ≤ 20 ft. apart; in Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	NR Flex Building with Industrial Category Use Others- 20% – 60% of total Facade area
Window Shape	NR Flex Building with Industrial Category Use Others – Square or vertical in proportion, except for transoms.
Window Alignment	NR Flex Building with Industrial Category Use Others – Upper floor windows and other features must be aligned with those of first floor.
Window Types	NR Flex Building with Industrial Category Use Others – Except for transoms and sidelights, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types
Window Glazing Material	Flex Building with Industrial Category Use – Clear glass R for windows at Frontage Others – Clear glass R for all Elevations
Window Trim in 1st Layer	NR Flex Building with Industrial Category Use Others – Min. 4 in. trim with sill and top plate if siding surrounding window; soldier course above lintel and rollock course below sill if brick or stone surrounds window
Shutters	NR Flex Building with Industrial Category Use Others – If shutters provided, must be functional and proportioned to cover half of window width from each side or entire window width, with shutter dogs
Facade Window Sill Height	If Residential – 5 ft. min. above avg. grade at Facade Others – NR
Porch Frontages	NR Flex Building with Industrial Category Use Others – If provided, min. 6 ft. clear depth, excluding rails, pillars, columns or other features
Shopfront Frontages	NR Flex Building with Industrial Category Use For Shopfront Private Frontage – 12 in.-24 in. knee wall required at Frontage
Facade Variety	NR Flex Building with Industrial Category Use Others –No Facade may exist more than once on a Block Face or within view of the same Facade

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

Building Standards (continued)

Roof Type & Pitch

Flat	NR Flex Building with Industrial Category Use
	Others P
Shed	NR Flex Building with Industrial Category Use
	P at rear only and if ridge is attached to an exterior Building wall; except for porches, stoops or dormers which may have a shed roof anywhere on the Building
Hip	NR Flex Building with Industrial Category Use
	Others P
Gable	NR Flex Building with Industrial Category Use
	Others P
Pitch	If pitched, 6:12 – 14:12, except for shed roofs which may be 3:12 – 14:12 and except roof pitch may match the primary roof pitch of an existing Building that is less than 6:12

Roof Design

Eaves shall extend no less than nine inches beyond the supporting walls.

Gable end rakes shall overhang at least six inches.

Eaves and rakes on Accessory Buildings and dormers shall overhang at least six inches.

Soffits shall be placed perpendicular to the Building wall, not sloping in plane with the roof (except for gable end rakes).

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
			Exposed concrete	
	Natural stone	P	P Flex Buildings with Industrial Category Use	
			NP Others	
	Wood	P	Aluminum or vinyl siding	NP
			Corrugated and/or sheet metal	
	Cementitious siding	P	P Flex Buildings with Industrial Category Use	
			NP Others	

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

Building Standards (continued)

Changes in Building Materials	NR
Building Colors	NR
Foundation Cladding	NR
Porch Pier Cladding	NR
Chimney Cladding	NR

Building Types

House	NP	Commercial	P
Duplex	NP	Mixed Use	P
Townhouse	NP	Flex	P
Small Multifamily	P	Mid-Rise	P
Large Multifamily	P	Large Scale Commercial	P
Live/Work	P	Civic	P

See Table 4.3.8.A (Principal Building Types – Summary) and Table 4.3.8.B (Principal Building Types – Specific Standards). For Development Parcels, see also Table 5.1.10 (Building Type Mix).

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

**TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT**

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
Domestic Vehicles	NP	P in any Required Yard, unless specifically prohibited* Except Residential and Commercial in 3rd layer only
Recreational Vehicles	NP	P in any Required Yard, unless specifically prohibited* Except Residential and Commercial in 3rd layer only
Heavy Equipment	NP	P in any Required Yard, unless specifically prohibited* Except Residential and Commercial in 3rd layer only
Tractor trailers (including trailers for storage)	NP on-Street, except for delivery and Temporary Use of trailers	P in any Required Yard, unless specifically prohibited* Except Residential and Commercial in 3rd layer only
All Other Vehicles	NP	P in any Required Yard, unless specifically prohibited* Except Residential and Commercial in 3rd layer only

* Driveways are not permitted within required Project Buffers & may penetrate required Lot/Building Site/Parcel Buffers to minimum amount necessary to comply with this Ordinance.

Additional Parking Requirements

Off-Street Parking Surface	Asphalt or concrete
Garage Location	P in 3rd Layer only
	Min. interior dimensions 10 ft. x 20 ft. per vehicle Parking space.
Garage Design	If Garage faces Street: max. Garage door width 33% of total of Garage + Facade width. Garage must be detailed, finished, & designed like rest of Building with carriage house doors; max. Garage door width 9 ft.; each Garage door must have ornamental lighting fixture above it; min. 2 ft. separation between Garage doors
Driveway/Vehicular Entrance Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max. in 1st Layer and 2nd Layer if Residential; 24 ft max. in 1st Layer if non-Residential, regardless if shared or not
Parking Structures	P , if Screened from Frontage by Liner Buildings
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

Parking & Circulation (continued)

Bicycle Parking

See Section 4.3.13

Thoroughfares & Internal Drive Types*

**Only applicable to Development Parcels.*

See Article 5 (Development Parcel Standards) for additional requirements.

Loading & Access

Off-Street Loading and Storage	P only in any Required Side Yard or Rear Yard, unless specifically prohibited
Utility Box & Service Meter* Locations (*Not including water meters)	P only in any Required Side Yard or Rear Yard, unless specifically prohibited
Off-Street Trash Receptacle Locations	P in 3rd Layer only.
Off-Street Dumpster Locations	P in 3rd Layer only, must be Screened from Frontage and fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Drive-Through Locations	P in 3rd Layer only.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P if Screened from Frontage	P
Solar Panels	P if coplanar to and integrated into roof design		P
Antennas & Satellite Equipment	P in 1st or 2nd Layer if such Layer is only possible location possible for satisfactory reception.		P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures, Runs or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P
Transmitting and/or receiving towers or antennas and wind-generating machines	NP	NP	P

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

**TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT**

Signs

See Sign Standards in Article 7 (Sign Standards) and Table 7.12.B-1 (Sign Types – Summary) and Table 7.1.2.B-2 (Sign Types – Specific Standards)

Lighting

See Private Lighting requirements in Section 4.3.17 and Table 4.3.17.B (Private Lighting Standards)

Private Landscaping and Fencing

Landscaping

R continuous shrubs around foundation at Facade if 1st Layer is ≥ 3 ft. deep, plus if 1st Layer is ≥ 15 ft. deep, 1 tree per 50 ft. of Frontage width, planted in 1st Layer. Landscaping must comply with Section 4.3.16.

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare or Internal Drive, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts and graffiti.

Materials

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and at rear	Chain Link	P at sides and rear only
Brick, Natural Stone, or Stucco over Masonry	P	Barbed/razor/concertina wire	P at sides and rear only & only if not Adjacent to Residential use
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

**TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT**

Private Landscaping and Fencing (continued)

Vinyl

NP

Smooth or split-faced block

NP

Additional Standards

Pedestrian connections
through to Adjacent
Neighborhoods or Uses

R

P

within required Yards, per Section 4.3.10

Location of Retaining Walls

If supporting grade 8 ft. or higher than grade at interior edge of a required Buffer, must be set back 10 ft. from such interior edge.

Screens, Streetscreens & Buffers

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 5 ft.	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Fence Screen/Streetscreen Height	NP	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Hedge Screen/Streetscreen Height	3 ft. to 5 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, Natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not Permitted

NA

Not Applicable

R

Required

NR

Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-LI

TABLE 4.3.1-I DISTRICT STANDARDS:
LIGHT INDUSTRIAL SPECIAL DISTRICT

Additional Standards

Non-Residential & Multi-Family Residential
Screen /Streetscreen Adjacent to or across
Thoroughfare from Non-Multi-Family
Residential

NR

R ; except at Driveways:

Screening of Parking, Loading Areas, Service
Areas, Outdoor Storage, Drive-Throughs, Trash
Receptacles/Dumpsters, HVAC and other
equipment Screened from Frontage, Civic
Space and Adjacent Property

Parking Lots and Parking Areas must be Screened from Frontage and Civic
Space by Building or Streetscreen;

Parking Structures must be Screened from Frontages by Liner Buildings.

Otherwise, Screening must be by Building, wall, hedge or fence at Frontage
or Building, Wall, hedge or fence not at Frontages or Adjacent to Civic
Space.

Rooftop Antennas and HVAC, Mechanical and
other Equipment Screening

R ; must be Screened from Frontage and Civic Space by Building parapet
or other Building Element

Self-Storage Warehouse Screening

R ; except at Driveways: Screening must be by Building, wall, hedge or
fence at Frontage or Building, Wall, hedge or fence not at Frontages or
Adjacent to Civic Space.

Streetscreen Location

2nd Layer

Parcel Buffer

Section 4.3.11.H.

Project Buffer

Section 5.8.

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not
Permitted

NA

Not
Applicable

R

Required

NR

Not
Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

General Description

This District is intended to provide suitable areas for intense or potentially noxious Industrial operations, including open land operations. It is specifically intended that all newly created Districts be so located and Buffered as to prevent possible negative impact upon Adjacent land and Uses. SD-HI is an appropriate District for portions of the Industrial Road Special Area described in the Comprehensive Plan.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

Density / Floor Area Ratio (FAR) **Applicable only to Development Parcels*

NR

Parcel Size

Parcel Size

NR

Block Size* **Applicable only to Development Parcels.*

Block Perimeter

Not Regulated

Private Frontage Types

NR

Civic Space Types* **Applicable only to Development Parcels.*

NR

Permitted Uses

See Table 4.3.9.A-1 (Building, Lot & Building Site Principal Use), Table 4.3.9.A-2 (Building, Lot & Building Site Accessory Uses), and Table 4.3.9.A-3 (Building, Lot & Building Site Temporary Uses).

Number of Buildings Per Lot or Building Site

Principal Building

Accessory Buildings

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

**TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT**

Lot Occupation

Lot/Building Site Width	100 ft. min
Lot / Building Site / Parcel Frontage on Street / Highway	24 ft min.
Lot Depth	NR
Frontage Buildout	NR
Lot/Building Site Area	as required to meet all other applicable requirements of this Ordinance
Impervious Surface Coverage	70% max
Usable Open Space	Min. 7% of gross site area
Lot/Building Site Enfrontment	NR
Lot/Building Site Access	All Lots must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Setbacks / Yards

Setbacks / Yards- Principal Building

	As applicable:	
Street Yard – Min	1. For sites Adjacent to and sharing frontage with a Residential District: a. An addition to an existing Building with a front wall of variable distance from the street may be extended to the plane of the existing front wall closest to the street. b. Except for an addition to an existing Building described in 1.a above, the lesser of I. the avg depth of Street Yards of existing Buildings within 100 ft. on each side of a Lot or II. 40 ft.	A
	2. Otherwise, 20 ft.	
Side Yard-Per side	As applicable: 1. For sites abutting a Residential District, 50 ft. along the common boundary; 2. Otherwise, 10 ft. ⁽¹⁾⁽²⁾⁽³⁾⁽⁴⁾	B
Rear Yard	As applicable: 1. For sites Adjacent to and sharing frontage with a Residential District, a min. of 50 ft. along the common boundary abutting such Residential District; 2. Otherwise, 20 ft. ⁽¹⁾⁽²⁾⁽³⁾⁽⁴⁾	C

NOTES:

- (1) Additional Side Yard or Rear Yard depth may be necessary to accommodate Buffers and landscaping required in Sections 4.3.11, 4.3.16, and 5.8.
- (2) The required Rear Yard depth shall be reduced as provided below if the Lot does not abut a different District and is owned separately and individually from all other tracts of land, both on the Effective Date of this Ordinance and on the date of application for a Zoning Permit. Such reduction shall be as follows:
 - a. For all Interior Lots between 80 ft. and 100 ft. deep, the required Rear Yard shall be reduced by an amount equal to the lesser of (i) 100 ft. minus the depth of the Lot or (ii) 10 ft.
 - b. For Interior Lots < 80 ft. deep within Non Residential Districts and Corner Lots < 80 ft. deep within Industrial Districts, the required Rear Yard depth shall be 0 ft. but if any Rear Yard is provided, it must be at least 10 ft. deep.
- (3) In Industrial Districts, the required Side Yard and Rear Yard depth for Lots along Lot Lines abutting other Industrial Districts or along a railroad Right-of-Way is 0 ft.
- (4) In Industrial Districts, Buffering requirements are not applicable to Side Yards or Rear Yards with zero depth.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

**TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT**

Building Standards

Building Height*

Principal Building 45 ft. max

Accessory Building 45 ft. max

Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

NR

Building Composition

Vertical Composition Each Principal Building must have an identifiable Base, Middle, & Cap

Finished Floor Level **NR**

Facade

Main Entrance Main Entrance must be in Facade of Principal Frontages.

Facade Position Parallel to straight Frontage Line or to tangent of curved Frontage Line

Facade & Facade
Element Design
Proportions **NR**

Blank Walls **NP** at Frontage

Facade Articulation **NR**

Facade Openings **NR**

Facade Glazing **NR**

Window Shape **NR**

Window Alignment **NR**

Window Types **NR**

Window Glazing
Material Clear glass **R** for windows at Frontage

LEGEND

The following notations are utilized in this table.

P

Permitted

NP

Not
Permitted

NA

Not
Applicable

R

Required

NR

Not
Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

Building Standards (continued)

Facade (continued)

Window Trim in 1st Layer	NR
Shutters	NR
Facade Window Sill Height	NR
Porch Frontages	NR
Shopfront Frontages	NR
Facade Variety	NR

Roof Type & Pitch

NR

Roof Design

NR

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum or vinyl siding	NP
	Cementitious siding	P	Corrugated and/or sheet metal	P

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

Building Standards (continued)

Changes in Building Materials	NR
Building Colors	NR
Foundation Cladding	NR
Porch Pier Cladding	NR
Chimney Cladding	NR

Building Types

NR

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
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ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
All Vehicles	P	P in any Required Yard, unless specifically prohibited*

Additional Parking Requirements

Off-Street Parking Surface	Asphalt, concrete or other hard surface
Garage Location	P in 3rd Layer only
Garage Design	NR
Driveway/Vehicular Entrance Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	10 ft max. in 1st Layer and 2nd Layer if Residential; 36 ft max. in 1st Layer if non-Residential, regardless if shared or not
Parking Structures	P , if Screened from Frontage by Liner Buildings
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage

Bicycle Parking

See Section 4.3.13

Thoroughfares & Internal Drive Types*

**Only applicable to Development Parcels.*

See Article 5 (Development Parcel Standards) for additional requirements.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

Loading & Access

Off-Street Loading and Storage	P only in any Required Side Yard or Rear Yard, unless specifically prohibited
Utility Box & Service Meter* Locations (*Not including water meters)	P only in any Required Side Yard or Rear Yard, unless specifically prohibited
Off-Street Trash Receptacle Locations	P in 3rd Layer only.
Off-Street Dumpster Locations	P in 3rd Layer only, must be Screened from Frontage and fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Drive-Through Locations	P in 3rd Layer only.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P if Screened from Frontage	P
Solar Panels	P if coplanar to and integrated into roof design		P
Antennas & Satellite Equipment	P in 1st or 2nd Layer if such Layer is only possible location possible for satisfactory reception.		P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures, Runs or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P
Transmitting and/or receiving towers or antennas and wind-generating machines	NP	NP	P

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

**TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT**

Signs

See Sign Standards in Article 7 (Sign Standards) and Table 7.12.B-1 (Sign Types – Summary) and Table 7.12.B-2 (Sign Types – Specific Standards)

Lighting

See Private Lighting requirements in Section 4.3.17 and Table 4.3.17.B (Private Lighting Standards)

Private Landscaping and Fencing

Landscaping

R if 1st Layer $\geq$ 10 ft, minimum of 30% of 1st Layer must be landscaped in compliance with Section 4.3.16, with continuous shrubs around foundation at Facade if 1st Layer is $\geq$ 3 ft. deep, plus if 1st Layer is $\geq$ 15 ft. deep, 1 tree per 50 ft. of Frontage width, planted in 1st Layer. Landscaping must comply with Section 4.3.16.

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare or Internal Drive, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts and graffiti.

Materials

Natural Wood	P Only picket type allowed at Frontage; other types allowed on sides and at rear	Chain Link	P at sides and rear only
Brick, Natural Stone, or Stucco over Masonry	P at sides and rear only	Barbed/razor/concertina wire	P at sides and rear only & only if not Adjacent to Residential use
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

Additional Standards

Pedestrian connections through to Adjacent Neighborhoods or Uses	NR
Location of Retaining Walls	P within required Yards, per Section 4.3.10 If supporting grade 8 ft. or higher than grade at interior edge of a required Buffer, must be set back 10 ft. from such interior edge.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

SD-HI

TABLE 4.3.1-J DISTRICT STANDARDS:
HEAVY INDUSTRIAL SPECIAL DISTRICT

Screens, Streetscreens & Buffers

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3.5 ft. to 5 ft.	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Fence Screen/Streetscreen Height	NP	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Hedge Screen/Streetscreen Height	3 ft. to 5 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, Natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

Additional Standards

Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR
	R; except at Driveways:
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; Parking Structures must be Screened from Frontages by Liner Buildings. Otherwise, Screening must be by Building, wall, hedge or fence at Frontage or Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.
Rooftop Antennas and HVAC, Mechanical and other Equipment Screening	R; must be Screened from Frontage and Civic Space by Building parapet or other Building Element
Self-Storage Warehouse Screening	R; except at Driveways: Screening must be by Building, wall, hedge or fence at Frontage or Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.
Streetscreen Location	2nd Layer
Parcel Buffer	Section 4.3.11.H.
Project Buffer	Section 5.8.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

General Description

This District is to allow for utilization of the Planned Unit Development process under TCA Section 13-4-310, implementation of the Comprehensive Plan, and review and approval of a Master PUD Development Plan that complies with these standards and establishes them and other standards as entitlements for a property, including a customized combination of permitted Uses, Building Types, Private Frontage Types, Setbacks and Yards, and Thoroughfares and Internal Drives.

Specifically, this District is intended for predominantly Residential areas on sites where there are sufficient existing infrastructure, services, and utilities available for a proposed Development. Development in this District (a) is walkable and provides a diverse mixture of housing choices and Building Types, (b) is necessary to implement and is consistent with the Comprehensive Plan, (c) cannot under any circumstances, plan, or design conform to one or more of the other Districts and standards therefor due to its necessary and intrinsic Uses or size or form, (d) provides an innovative plan and design, (e) is harmonious with and respects the land use, character, and natural or man-made features of both the subject property and Adjacent property, (f) promotes quality and environmentally sensitive planning and design by taking advantage of special site characteristics, locations and land uses, (g) provides Civic Space, (h) is the best use of the site consistent with the goals of protecting and enhancing the natural environment. There are specific Development standards provided for this District, which may be supplemented by additional standards approved in the applicable Final Master PUD Development Plan.



Q3 – 2023 Zoning Text Amendment Planned Unit Development Districts

Project #:	24-0336	Location:	N/A
Applicant:	Kevin C. McCarthy, AICP	Case Type(s):	Text Amendment
Staff Planner:	Kevin C. McCarthy, AICP	Proposed Use:	N/A

SUMMARY

This request modifies the text of Article 4 of the zoning ordinance revising the standards for **planned unit development districts**. Planned unit developments provide an alternative to the thirteen base districts of the zoning ordinance. The residential and mixed-use planned unit development standards provide a baseline for crafting a customized set of standards for a unique site or land use. In order to utilize a planned unit development, an applicant must demonstrate that the intrinsic nature of the use or site cannot conform to the standards of a base zone and a customized set of standards is necessary to implement Connect Columbia.

The applicant, the Zoning Administrator, requests to amend the text of Ordinance 4400, the zoning ordinance for the City of Columbia. This is the fourth of five rounds of zoning text amendments staff will present to the Planning Commission between December 2023 and December 2024. These changes will implement Connect Columbia, better align zoning regulations with community preferences, and calibrate the standards based on “lessons learned” during the first two years administering the Ordinance. This round of proposed amendments is detailed in the attached list of topics and track changes documents.

- The Planning Commission is a **recommending body** for zoning text amendments. The City Council is the decision-making authority.
- The staff comments section details the proposed changes, which are provided in the agenda packet in ~~striketrough~~ and underlines.
- Planning Commission may recommend adoption of the proposed text, modify the proposal, or decline the request.
- Templates are provided at the end of the report to assist the Planning Commission in crafting properly formatted motions.

CONSISTENCY WITH CONNECT COLUMBIA

The ongoing current process of reviewing and updating the Zoning Ordinance, Subdivision Regulations, Engineering Standards & Specifications, and other regulating documents is part of the implementation of Connect Columbia, the City's comprehensive plan.

REVIEW PROCESS

Section **8.5.18** of the Zoning Ordinance directs the Planning Commission to review and make a recommendation on all proposed changes to the text of the Ordinance. The Planning Commission is the recommending body for text amendments under **§ 8.3.3.B.2** of the Zoning Ordinance.

Section **8.5.18.C** of the Zoning Ordinance requires that Planning Commission determine that the proposed changes are consistent with the comprehensive plan.

8.5.18.G of the Zoning Ordinance establishes the review criteria for approval of all changes to the text of the Ordinance:

- a. The extent to which the proposed Zoning Ordinance Amendment is consistent with the remainder of this Ordinance, including, specifically, any purpose and intent statements;*
- b. The extent to which the proposed Zoning Ordinance Amendment represents a new idea not considered in this Ordinance, or represents a revision necessitated by changing circumstances over time;*
- c. Whether or not the proposed Zoning Ordinance Amendment corrects an error in this Ordinance; and*
- d. Whether or not the proposed Zoning Ordinance Amendment revises this Ordinance to comply with state or federal statutes or case law.*

The criteria for City Council action on a Zoning Ordinance Amendment at § 8.5.18.J.4 are identical to the criteria for Planning Commission review at 8.5.18.G.3.

COMMENTARY FROM PROFESSIONAL PLANNING STAFF

The City Council adopted the current ordinance on July 14, 2022. The Zoning Ordinance implements the City's comprehensive plan, Connect Columbia. On November 8, 2023, the Planning Commission recommended adoption of a five-year update of the framework, land use, and transportation elements of Connect Columbia. The framework element of the plan directs planning staff to initiate revisions to the ordinance in order to bring it into consistency with the future land use plan. It further directs staff to engage residents and property owners to solicit suggestions for further changes to the ordinance. As mentioned above, this is the second and third of five rounds of zoning text amendments staff plans to present to the Planning Commission between December 2023 and December 2024.

Proposed changes include:

- **TABLE 4.3.1-L– Planned Unit Development Residential (PUD-R)**
 - Delete section pertaining to roadway design at p. 163. These standards duplicate and potentially contradict the Engineering Standards & Specifications.
- **Table 4.3.1-M – Planned Unit Development Residential (PUD-MU)**
 - Provide an increased lot width of 600 feet for Large Scale Commercial buildings. Currently the maximum lot width is 180 feet.
 - Reduce the minimum frontage buildout from 90% to 60%. The 90% frontage buildout has been difficult to achieve. The 60% frontage buildout matches the requirement of the General Urban character districts (CD-4) and maintains the emphasis on appropriately-scaled buildings.
 - Eliminate the two-story minimum for buildings in a mixed use planned unit development.
 - Establish a variable maximum height based on compatibility with adjacent zones and the determination of the Planning Commission.

The Planning Commission may recommend approval of the proposed text amendments, direct staff to prepare an alternative text amendment, or decline to act on the proposed changes.

SAMPLE MOTIONS

Approve:

Move to find, based on the analysis provided by city staff, that the criteria listed in section **8.5.18** of the City of Columbia Zoning Ordinance have been satisfied and recommend approval of the proposed text amendments [may be subject to modifications proposed by the Planning Commission].

Deny:

Move to recommend denial of the requested text amendment having found, based on the analysis provided by city staff, that the criteria listed in section **8.5.18** of the City of Columbia Zoning Ordinance are not satisfied [*list specific reasons for denial and provide direction to staff*].

Defer:

Move to find that there is insufficient information to decide, defer the matter to the next regularly scheduled meeting of the Planning Commission, and direct staff to provide: [*list additional information*] for review at a future meeting.

**Article 4 Building, Lot & Building Site Standards
Proposed Zoning Text Amendment
Related to Planned Unit Development (PUD) Districts**

Additions are Underlined
~~Deletions are Strikethrough~~

Proposed Changes

TABLE 4.3.1-L <u>P</u> lanned Unit Development Residential	2
TABLE 4.3.1-M <u>P</u> lanned Unit Development Mixed-Use	4

**Article 4 Building, Lot & Building Site Standards
Proposed Zoning Text Amendment
Related to Planned Unit Development (PUD)
Districts**

Additions are Underlined
~~Deletions are Strikethrough~~

TABLE 4.3.1-L

Planned Unit Development Residential
PUD-R District Standards (p. 156 - 166)

Pagination reflects July 2022 adopted version. Precise location of standard may differ slightly based on City Council action on other ZTAs in September 2024.

Replace current table with changes to formatting and revise standards as follows:

All Development in a PUD-R District must comply with all applicable standards of this Ordinance, the Engineering Standards and Specifications, and engineering best practices. ~~including without limitation the following:~~

~~A. Design Criteria, General~~

1. In order to reduce curb cuts and provide a unified corridor image, a secondary frontage road may be required along selected portions of the highway as determined by the Planning Commission. Access points to the highway will be predetermined based on topography, highway alignment, vegetation, etc.

These standards are at p. 163 and relate to the design of Thoroughfares and Internal Drives.

~~2. Points of access from individual sites onto the highway or frontage road shall be coordinated so as to pair entrances wherever possible.~~

3. Roads and Parking areas shall follow the natural topography whenever possible to minimize cutting and filling.

~~B. Design Criteria, Detailed~~

1. All curb cuts and driveways shall have a minimum separation of 300 feet.

2. Driveways and entrance roads shall be designed according to the following criteria:

~~a. The surface shall be a permanent, all-weather
paement, such as asphalt or concrete.~~

~~b. The design speed shall be 15 mph.~~

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Planned Unit Development (PUD)

Districts

Additions are Underlined
~~Deletions are Strikethrough~~

c. ~~Maximum slope shall be 5% in the first 200 feet of the drive. The slope may be increased to 7% if the applicant can show that a lesser slope would result in undue hardship.~~

d. ~~All drives and roads shall intersect the highway at 900 angles.~~

e. ~~Where the projected Average Daily Trips (ADT) for a driveway or road is greater than 500, islands extending 20 feet into the property shall be provided for channelization of traffic.~~

f. ~~Where feasible, curb cuts shall be aligned with existing median cuts.~~

g. ~~Proposed median cuts must receive the approval of the Planning Commission before being submitted to the State Department of Transportation (DOT) for approval. State DOT approval shall be required for all curb cuts.~~

h. ~~Where the projected ADT for a crossroad is greater than 1,000 acceleration and deceleration lanes are required. The length of those lanes shall be 450 feet and two 250 feet, respectively.~~

i. ~~The need for signalization shall be explored with the Tennessee Department of Transportation under the following circumstances:~~

~~–The ADT for the highway is greater than 6,720, and the projected ADT exiting a crossroad is greater than 1,600 for one lane or 2,248 for two lanes;~~

~~–The ADT for the highway is greater than 10,080, and the projected ADT exiting a crossroad is greater than 850 for one lane or 1,120 for two lanes; and~~

~~–The Planning Commission determines that signalization may be warranted.~~

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Planned Unit Development (PUD) Districts

Additions are Underlined
~~Deletions are Strikethrough~~

TABLE 4.3.1-M

Planned Unit Development Mixed-Use

PUD-MU District Standards (p. 168-178)

Replace current table with changes to formatting and
revise standards as follows:

*Provide larger building site
for Large Scale
Commercial, and reduce
min frontage buildout*

Lot Occupation	
Lot/Building Site Width	18 ft. min; 180 ft. max; except for Townhouses, 18 - 24 ft. for single Townhouse unit attached to other Townhouse units or 18 -24 ft. per Townhouse unit X number of attached Townhouse units on single Lot or Building Site, with max. of 6 attached units; 100 ft. max. for Small Multifamily Building <u>Large Scale Commercial: 600 ft. max</u>
Frontage Buildout	90% min <u>60% min</u>
Lot/Building Site Area	NR
Impervious Surface Coverage	100% max
Lot/Building Site Enfrontment	Must enfront a vehicular Thoroughfare or Internal Drive, except ≤ 20% of the Lot / Building Sites within a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or water body if such Lot / Building Sites have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.
Lot/Building Site Access	All Lots must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Planned Unit Development (PUD) Districts

Additions are Underlined
Deletions are Strikethrough

*Minimum Ceiling height
left unchanged*

*Adjust shopfront façade
glazing requirement,*

Building Standards	
Building Height	
Principal Building	2 Stories min. – 4 stories max <u>One story greater than maximum height permitted in adjacent character district, or as determined by the Planning Commission based on proposed use and site conditions</u>
Accessory Building	2 Stories max, <u>or as determined by the Planning Commission based on proposed use and site conditions</u>
Along any District boundary where a PUD-MU District adjoins a Residential District that is not included within a PUD-MU District no Building within the commercial planned unit Development shall project through imaginary planes starting at the maximum height permitted in the adjoining District and leaning inward from District boundaries at an angle representing an increase of 1/2 foot in height for each foot of horizontal distance perpendicular to the boundary. *Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, belfries, parapet walls, aerals, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit. The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.	
Ceiling Height	
May not exceed 14 ft. from finished floor to finished ceiling, except for a first floor Commercial, Office, Retail/Personal Service, or Accommodation / Lodging Use, which must be a minimum of 11 ft. with a maximum of 25 ft.	
Facade	
Facade Glazing	<u>Non-Shopfront: 20% – 60% of total ground floor Facade area</u> for non-Shopfront; 70% of total Facade area min. for Shopfront Frontage.

Article 4 Building, Lot & Building Site Standards

Proposed Zoning Text Amendment

Related to Planned Unit Development (PUD)

Districts

Additions are Underlined
~~Deletions are Strikethrough~~

	<u>Shopfront: min. 50% of total ground floor Facade area; min. 20% of total Façade area on upper floors and secondary elevations.</u>
Facade Variety	Within a Development Parcel no Facade may exist more than once on a Block Face or within view of the same Facade

Building Types			
House	P	Commercial	P
Duplex	P	Mixed Use	P
Townhouse	P	Flex	P
Small Multifamily	P	Mid-Rise	P
Large Multifamily	P	Large Scale Commercial	NP P
Live/Work	P	Civic	P

Add Large Scale Commercial to match building type tables

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

General Description

This District is to allow for utilization of the Planned Unit Development process under TCA Section 13-4-310, implementation of the Comprehensive Plan, and review and approval of a Master PUD Development Plan that complies with these standards and establishes them and other standards as entitlements for a property, including a customized combination of permitted Uses, Building Types, Private Frontage Types, Setbacks and Yards, and Thoroughfares and Internal Drives.

Specifically, this District is intended for Commercial, Office, Mixed Use, and Multifamily Uses on sites where there are sufficient existing infrastructure, services, and utilities available for a proposed Development. Development in this District (a) is walkable and provides a diverse mixture of housing choices and Building Types, (b) is necessary to implement and is consistent with the Comprehensive Plan, (c) cannot under any circumstances, plan, or design conform to one or more of the other Districts and standards therefor due to its necessary and intrinsic Uses or size or form, (d) provides an innovative plan and design, (e) is harmonious with and respects the land use, character, and natural or man-made features of both the subject property and Adjacent property, (f) promotes quality and environmentally sensitive planning and design by taking advantage of special site characteristics, locations and land uses, (g) provides Civic Space, (h) is the best use of the site consistent with the goals of protecting and enhancing the natural environment. There are specific Development standards provided for this District, which may be supplemented by additional standards approved in the applicable Final Master PUD Development Plan.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Density / Floor Area Ratio (FAR) **Applicable only to Development Parcels*

12 Density Units per acre max

Parcel Size

Parcel Size Min. more than 10 gross acres

Block Size*

**Applicable only to Development Parcels.*

Block Perimeter 2000 ft. max. or 3,000 ft. max. if a Parking Structure provided within Block

Private Frontage Types

Common Yard	NP	Stepfront	P
Porch	NP	Shopfront	P
Fence	NP	Gallery	P
Terrace/Lightwell	P	Arcade	P
Forecourt	P	Officefront	P
Stoop	P		

See Table 4.3.7.A (Private Frontage Types)

Civic Space Types*

**Applicable only to Development Parcels.*

Natural Area	NP	Playground	P
Green	NP	Sport Field	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See Table 5.3.3.A (Civic Space Types – Summary) and Table 5.3.3.B (Civic Space – Specific Standards)

Permitted Uses

See Table 4.3.9.A-1 (Building, Lot & Building Site Principal Use), Table 4.3.9.A-2 (Building, Lot & Building Site Accessory Uses), and Table 4.3.9.A-3 (Building, Lot & Building Site Temporary Uses). For Development Parcels, see also Table 5.1.11 (Principal Use Mix).

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Number of Buildings Per Lot or Building Site

Principal Building	1 max
Accessory Buildings	1 max

Lot Occupation

Lot/Building Site Width	18 ft. min; 180 ft. max; except for Townhouses, 18 – 24 ft. for single Townhouse unit attached to other Townhouse units or 18 –24 ft. per Townhouse unit X number of attached Townhouse units on single Lot or Building Site, with max. of 6 attached units; 100 ft. max. for Small Multifamily Building
Frontage Buildout	90% min
Lot/Building Site Area	NR
Impervious Surface Coverage	100% max
Lot/Building Site Enfrontment	Must enfront a vehicular Thoroughfare or Internal Drive, except ≤ 20% of the Lot / Building Sites within a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or water body if such Lot / Building Sites have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.
Lot/Building Site Access	All Lots must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.

Setbacks / Yards

Setbacks / Yards – Principal Building			Setbacks / Yards– Accessory Building		
Front Setback / Yard, Principal Frontage	0 – 20 ft.	A	Front Setback / Yard, Principal Frontage	40 ft. max. from rear property line	E
Front Setback / Yard, Secondary Frontage	0 – 20 ft.	B	Side Setback / Yard	0 ft. min	F
Side Setback / Yard	0 ft. min. for attached Buildings; Otherwise, 10 – 24 ft.	C	Rear Setback / Yard	3 ft. max	G
Rear Setback / Yard	NR	D			

If the District abuts property zoned for Residential use that is not included within the District, all Buildings shall be set back as follows:

- Where the property is zoned, but not currently utilized, for Residential purposes, a distance equal to the setback established for the Residential District.
- Where the property is currently utilized for Residential purposes, a distance equal to the lesser of (i) the present average setback of properties located 200 feet from the nearest point on the subject property and (ii) twice the minimum setback established for the CD–4C District.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Building Standards

Building Height*

Principal Building	2 Stories min. – 4 stories max
Accessory Building	2 Stories max

Along any District boundary where a PUD-MU District adjoins a Residential District that is not included within a PUD-MU District no Building within the commercial planned unit Development shall project through imaginary planes starting at the maximum height permitted in the adjoining District and leaning inward from District boundaries at an angle representing an increase of 1/2 foot in height for each foot of horizontal distance perpendicular to the boundary.

*Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, belfries, parapet walls, aerials, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

May not exceed 14 ft. from finished floor to finished ceiling, except for a first floor Commercial, Office, Retail/Personal Service, or Accommodation / Lodging Use, which must be a minimum of 11 ft. with a maximum of 25 ft.

Building Composition

Vertical Composition	Each Principal Building must have an identifiable Base, Middle, & Cap
Finished Floor Level	Residential: 18 in. –48 in. above finished grade at Facade Non-Residential & Mixed Use: 48 in. max. above finished grade at Facade

Facade

Main Entrance	Main Entrance must be in Facade of Principal Frontages. If Shopfront Frontage at corner, Main Entrance may be at Principal Frontage or at corner.
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Facade & Facade Element Design Proportions	Must be vertically proportioned
Blank Walls	 at Frontage

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Building Standards (continued)

Facade (continued)

Facade Articulation	A Façade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Façade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Façade elements; and (2) is composed with a defined center and edges. (See Illustration 4.3.5.A-3)
Facade Openings	Windows and/or doors spaced ≤ 20 ft. apart. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	20% – 60% of total Facade area for non-Shopfront; 70% of total Facade area min. for Shopfront Frontage.
Window Shape	Square or vertical in proportion., except for transoms
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Window Types	Except in Shopfront or Gallery Frontage, and except for transoms and sidelights, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Window Glazing Material	Clear glass R for all Elevations.
Window Trim in 1st Layer	Min. 4 in. trim with sill and top plate if siding surrounding window; soldier course above lintel and rollock course below sill if brick or stone surrounds window
Shutters	If any, must be functional and proportioned to cover half of window width from each side or entire window width, with shutter dogs
Facade Window Sill Height	If Residential: 5 ft. min. above avg. grade at Facade. Shopfront Frontages: at knee wall.
Porch Frontages	Min. 6 ft. clear depth, excluding rails, pillars, columns or other features
Shopfront Frontages	12 in.-24 in. knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade

Roof Type & Pitch

Flat **P**

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Building Standards (continued)

Shed	P at rear only and if ridge is attached to an exterior Building wall; except for porches, stoops or dormers which may have a shed roof anywhere on the Building
Hip	P
Gable	P
Pitch	6:12 – 14:12, except for shed roofs which may be 3:12 – 14:12 and except roof pitch may match the primary roof pitch of an existing Building that is less than 6:12

Roof Design

Eaves shall extend no less than nine inches beyond the supporting walls.

Gable end rakes shall overhang at least six inches.

Eaves and rakes on Accessory Buildings and dormers shall overhang at least six inches.

Soffits shall be placed perpendicular to the Building wall, not sloping in plane with the roof (except for gable end rakes).

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum or vinyl siding	NP
	Cementitious siding	P	Corrugated and/or sheet metal	NP
Changes in Building Materials	Primary materials must continue along side Elevations through 2nd Layer. Primary materials shall continue for entire length of all Facades facing a Frontage. Any material changes must coincide with form, structural, or massing changes and shall not occur at outside corner of such change.			
Building Colors	Up to 3 colors, including the natural color of any allowed materials, but excluding trim colors			
Foundation Cladding	R ; brick or natural stone			
Porch Pier Cladding	R ; brick or natural stone, with any space under Porch concealed by painted or stained latticework between piers			
Chimney Cladding	R ; brick, natural stone, or material matching primary material of Facade			

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Building Types

House	NP	Commercial	P
Duplex	NP	Mixed Use	P
Townhouse	P	Flex	P
Small Multifamily	P	Mid-Rise	P
Large Multifamily	P	Large Scale Commercial	NP
Live/Work	P	Civic	P

See Table 4.3.8.A (Principal Building Types – Summary) and Table 4.3.8.B (Principal Building Types – Specific Standards). For Development Parcels, see also Table 5.1.10 (Building Type Mix).

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
All Vehicles	P	P in 3rd Layer only

Additional Parking Requirements

Off-Street Parking Surface	Asphalt, concrete or other hard surface
Garage Location	P in 3rd Layer only
	Min. interior dimensions 10 ft. x 20 ft. per vehicle Parking space.
Garage Design	If Garage faces Street: max. Garage door width 33% of total of Garage + Facade width. Garage must be detailed, finished, & designed like rest of Building with carriage house doors; max. Garage door width 9 ft.; each Garage door must have ornamental lighting fixture above it; min. 2 ft. separation between Garage doors
Driveway/Vehicular Entrance Location	P in any Layer
Driveway/Vehicular Entrance Maximum Width	24 ft max. width, regardless if shared or not
Parking Structures	P, if Screened from Frontage by Liner Buildings

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT - MIXED USE

Parking & Circulation (continued)

Parking Structure Pedestrian Exit Location Via pedestrian access to Frontage

Bicycle Parking

See Section 4.3.13

Thoroughfares & Internal Drive Types*

*Only applicable to Development Parcels.

See Article 5 (Development Parcel Standards) for additional requirements.

Loading & Access

Off-Street Loading and Storage	R per Table 4.3.14.B (Loading Space Requirements); P in 3rd Layer only.
Utility Box & Service Meter* Locations (*Not including water meters)	R per Table 4.3.14.B (Loading Space Requirements); P in 3rd Layer only.
Off-Street Trash Receptacle Locations	P in 3rd Layer only.
Off-Street Dumpster Locations	P in 3rd Layer only, must be Screened from Frontage and fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Drive-Through Locations	P in 3rd Layer only.

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P if Screened from Frontage	P
Solar Panels	P if coplanar to and integrated into roof design		P
Antennas & Satellite Equipment	P in 1st or 2nd Layer if such Layer is only possible location possible for satisfactory reception.		P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures, Runs or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P
Transmitting and/or receiving towers or antennas and wind-generating machines	NP	NP	P

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT – MIXED USE

Signs

See Sign Standards in Article 7 (Sign Standards) and Table 7.12.B-1 (Sign Types – Summary) and Table 7.1.2.B-2 (Sign Types – Specific Standards)

Lighting

See Private Lighting requirements in Section 4.3.17 and Table 4.3.17.B (Private Lighting Standards)

Private Landscaping and Fencing

Landscaping

R if 1st Layer $\geq$ 10 ft, minimum of 30% of 1st Layer must be landscaped in compliance with Section 4.3.16, with continuous shrubs around foundation at Facade if 1st Layer is $\geq$ 3 ft. deep, plus if 1st Layer is $\geq$ 15 ft. deep, 1 tree per 50 ft. of Frontage width, planted in 1st Layer. Landscaping must comply with Section 4.3.16.

NA in front if $\leq$ 3 ft front setback.

Additionally, any Yard Adjacent to a Street must be landscaped and maintained for a distance of 10 ft. from the Lot Line or Building Site Line Adjacent to the Street, except for portions that adjoin Lots or Building Sites in Residential Use, which shall be so landscaped and maintained for the full width or depth of the required Yards within 25 feet of adjoining Lot Lines or Building Site Lines.

Side Yards Adjacent to Lots or Building Sites in Residential Use shall be similarly landscaped and maintained for their full required minimum width. No such required landscaped area shall be used for Parking or loading.

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare or Internal Drive, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts and graffiti.

Materials

Natural Wood	P at sides and rear only	Chain Link	P at sides and rear only
Brick, Natural Stone, or Stucco over Masonry	P	Barbed/razor/concertina wire	NP

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Private Landscaping and Fencing (continued)

Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

Additional Standards

Pedestrian connections through to Adjacent Neighborhoods or Uses	R	
Location of Retaining Walls	P	within required Yards, per Section 4.3.10 If supporting grade 8 ft. or higher than grade at interior edge of a required Buffer, must be set back 10 ft. from such interior edge.

Screens, Streetscreens & Buffers

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3 ft. to 5 ft.	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Fence Screen/Streetscreen Height	NP	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Hedge Screen/Streetscreen Height	3 ft. to 5 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, Natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-MU

TABLE 4.3.1-L DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT – MIXED USE

Additional Standards

Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	R ; except at Driveways: Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; Parking Structures must be Screened from Frontages by Liner Buildings. Otherwise, Screening must be by Building, wall, hedge or fence at Frontage or Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.
Rooftop Antennas and HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element
Self-Storage Warehouse Screening	NA (not permitted in District)
Streetscreen Location	2nd Layer
Parcel Buffer	Section 4.3.11.H.
Project Buffer	Section 5.8.

Market Analysis

The Planning Commission may require a market analysis for any proposed PUD-MU Development. The market analysis will be utilized, among other things, to determine the impact of the proposed Development on the long – range Development of the commercial land use in the Columbia area, to determine the timing of any proposed Development, to limit the extent of the PUD-MU; to ascertain the effects of a proposed Development upon other lands used or zoned for similar purposes; to form a basis for evaluating the estimated effects on traffic, and other purposes which assist in an understanding of the public interest pertinent in the evaluation of a proposed Development. The market analysis, if required, shall be provided by the landholder and the landholder shall provide any other economic data or analysis as may be reasonably requested by the Planning Commission or City Council.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

General Description

This District is to allow for utilization of the Planned Unit Development process under TCA Section 13-4-310, implementation of the Comprehensive Plan, and review and approval of a Master PUD Development Plan that complies with these standards and establishes them and other standards as entitlements for a property, including a customized combination of permitted Uses, Building Types, Private Frontage Types, Setbacks and Yards, and Thoroughfares and Internal Drives.

Specifically, this District is intended for predominantly Residential areas on sites where there are sufficient existing infrastructure, services, and utilities available for a proposed Development. Development in this District (a) is walkable and provides a diverse mixture of housing choices and Building Types, (b) is necessary to implement and is consistent with the Comprehensive Plan, (c) cannot under any circumstances, plan, or design conform to one or more of the other Districts and standards therefor due to its necessary and intrinsic Uses or size or form, (d) provides an innovative plan and design, (e) is harmonious with and respects the land use, character, and natural or man-made features of both the subject property and Adjacent property, (f) promotes quality and environmentally sensitive planning and design by taking advantage of special site characteristics, locations and land uses, (g) provides Civic Space, (h) is the best use of the site consistent with the goals of protecting and enhancing the natural environment. There are specific Development standards provided for this District, which may be supplemented by additional standards approved in the applicable Final Master PUD Development Plan.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Density / Intensity **Applicable only to Development Parcels*

12 Density Units per acre max

Parcel Size

Parcel Size Min. more than 10 gross acres

Block Size*

**Applicable only to Development Parcels.*

Block Perimeter 2000 ft. max. or 3,000 ft. max. if a Parking Structure provided within Block

Private Frontage Types

Common Yard	P	Stepfront	P
Porch	P	Shopfront	P
Fence	P	Gallery	NP
Terrace/Lightwell	P	Arcade	NP
Forecourt	P	Officefront	NP
Stoop	P		

See Table 4.3.7.A (Private Frontage Types)

Civic Space Types*

**Applicable only to Development Parcels.*

Natural Area	P	Playground	P
Green	P	Sport Field	NP
Square	P	Community Garden	P
Plaza	P	Pocket Park	P

See Table 5.3.3.A (Civic Space Types - Summary) and Table 5.3.3.B (Civic Space - Specific Standards)

Permitted Uses

See Table 4.3.9.A-1 (Building, Lot & Building Site Principal Use), Table 4.3.9.A-2 (Building, Lot & Building Site Accessory Uses), and Table 4.3.9.A-3 (Building, Lot & Building Site Temporary Uses). For Development Parcels, see also Table 5.1.11 (Principal Use Mix).

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Number of Buildings Per Lot or Building Site

Principal Building	6 max. per Lot / Building Site for attached Townhouse Buildings; otherwise, 1 max. per Lot / Building Site
Accessory Buildings	1 max. per Building Site

Lot Occupation

	18 ft. min; 180 ft. max;
Lot/Building Site Width	For Townhouses with each unit on its own Lot or Building Site: 18 – 36 ft. for single Townhouse unit attached to other Townhouse units X 8 max. attached Townhouse units For multiple Townhouses on a single Lot or Building Site: 18 –20 ft. per Townhouse unit X 8 max. attached Townhouse units
Frontage Buildout	38 ft min. for House, 25 ft min. for each Duplex unit or 50 ft min. for both units of Duplex, and 100 ft. max. for Small Multifamily Building. 60% min
Lot/Building Site Area	NR
Impervious Surface Coverage	70% max; except 90% max. for each group of attached Townhouse units.
Lot/Building Site Enfrontment	Must enfront a vehicular Thoroughfare or Internal Drive, except ≤ 20% of the Lots / Building Sites within a Development Parcel may Enfront a Pedestrian Path, Passage, pedestrian walkway or water body if such Lots / Building Sites have legal and physical vehicular access to a vehicular Thoroughfare via Driveway or Easement.
Lot/Building Site Access	All Lots must have legal and physical vehicular access to a vehicular Thoroughfare via Driveway, Internal Drive or Easement.

Setbacks / Yards

Setbacks / Yards– Principal Building			Setbacks /Yards– Accessory Building		
Front Setback / Yard, Principal Frontage	15 ft. – 35 ft.	A	Front Setback / Yard, Principal Frontage	40 ft. max. from Rear Lot / Building Site Line	E
Front Setback / Yard, Secondary Frontage	15 ft. – 35 ft.	B	Side Setback / Yard	0 ft. min.	F
Side Setback / Yard	0 ft. min. on attached side(s) of attached Building Types, otherwise 10 ft. min; 24 ft. max. per side	C	Rear Setback / Yard	3 ft. max	G
Rear Setback	10 ft. min.	D			

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Building Standards

Building Height*

Principal Building	1-2 Stories for House and Duplex Building Types; 2-3 Stories for Townhouse, Live / Work and Small Multifamily Building Types; 2- 4 Stories for Large Multifamily Building Type
Accessory Building	2 Stories max; Allowed in 3rd Layer only.

*Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, belfries, parapet walls, aerials, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

May not exceed 14 ft. from finished floor to finished ceiling.

Building Composition

Vertical Composition	Each Principal Building must have an identifiable Base, Middle, & Cap
Finished Floor Level	Min. 18 in. above finished grade at Facade

Facade

Main Entrance	Main Entrance must be in Facade of Principal Frontage.
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Facade & Facade Element Design Proportions	Must be vertically proportioned
Blank Walls	NP at Frontage
Facade Articulation	Expect for House Building Types, a Façade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Façade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Façade elements; and (2) is composed with a defined center and edges. (See Illustration 4.3.5.A-3)

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Building Standards (continued)

Facade (continued)

Facade Openings	Facade windows and/or doors must be spaced ≤ 20 ft. apart. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	20% – 60% of total Facade area for non-Shopfront; 70% of total Facade area, min. for Shopfront.
Window Shape	Square or vertical in proportion, except for transoms.
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Window Types	Except in Shopfront or Gallery Frontage, and except for transoms and sidelights, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Window Glazing Material	Clear glass R for all Elevations.
Window Trim in 1st Layer	Min. 4 in. trim with sill and top plate if siding surrounding window; soldier course above lintel and rollock course below sill if brick or stone surrounds window
Shutters	If any, must be functional and proportioned to cover half of window width from each side or entire window width, with shutter dogs
Facade Window Sill Height	If Residential: 5 ft. min. above avg. grade at Facade
Porch Frontages	Min. 6 ft. clear depth, excluding rails, pillars, columns or other features
Shopfront Frontages	12 in.–24 in. knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade

Roof Type & Pitch

Flat	NP
Shed	P at rear only and if ridge is attached to an exterior Building wall; except for porches, stoops or dormers which may have a shed roof anywhere on the Building
Hip	P
Gable	P
Pitch	6:12 – 14:12, except for shed roofs which may be 3:12 – 14:12 and except roof pitch may match the primary roof pitch of an existing Building that is less than 6:12

Roof Design

Eaves shall extend no less than nine inches beyond the supporting walls.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Building Standards (continued)

Gable end rakes shall overhang at least six inches.

Eaves and rakes on Accessory Buildings and dormers shall overhang at least six inches.

Soffits shall be placed perpendicular to the Building wall, not sloping in plane with the roof (except for gable end rakes).

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum or vinyl siding	NP
	Cementitious siding	P	Corrugated and/or sheet metal	NP
Changes in Building Materials	Primary materials must continue along side Elevations through 2nd Layer. Primary materials shall continue for entire length of all Facades facing a Frontage. Any material changes must coincide with form, structural, or massing changes and shall not occur at outside corner of such change.			
Building Colors	Up to 3 colors, including the natural color of any allowed materials, but excluding trim colors			
Foundation Cladding	R; brick or natural stone			
Porch Pier Cladding	R; brick or natural stone, with any space under Porch concealed by painted or stained latticework between piers			
Chimney Cladding	R; brick, natural stone, or material matching primary material of Facade			

Building Types

House	P	Commercial	NP
Duplex	P	Mixed Use	NP
Townhouse	P	Flex	NP
Small Multifamily	P	Mid-Rise	NP
Large Multifamily	P	Large Scale Commercial	NP
Live/Work	P	Civic	P

See Table 4.3.8.A (Principal Building Types – Summary) and Table 4.3.8.B (Principal Building Types – Specific Standards). For Development Parcels, see also Table 5.1.10 (Building Type Mix).

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
All Vehicles	P	P in any Required Yard, unless specifically prohibited

Additional Parking Requirements

Off-Street Parking Surface	Asphalt, concrete or other hard surface	
Garage Location	P in 3rd Layer only	
Garage Design	Min. interior dimensions 10 ft. x 20 ft. per vehicle Parking space.	
	If Garage faces Street: max. Garage door width 33% of total of Garage + Facade width.	
	Garage must be detailed, finished, & designed like rest of Building with carriage house doors; max. Garage door width 9 ft.; each Garage door must have ornamental lighting fixture above it; min. 2 ft. separation between Garage doors	
Driveway/Vehicular Entrance Location	P in any Layer	
Driveway/Vehicular Entrance Maximum Width	10 ft max. in 1st Layer if Residential; 24 ft max. in 1st Layer if non-Residential, regardless if shared or not	
Parking Structures	P , if Screened from Frontage by Liner Buildings	
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage	

Bicycle Parking

See Section 4.3.13

Thoroughfares & Internal Drive Types*

**Only applicable to Development Parcels.*

See Article 5 (Development Parcel Standards) for additional requirements.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

All Development in a PUD-R District must comply with all applicable standards of this Ordinance, including without limitation the following:

A. Design Criteria, General

1. In order to reduce curb cuts and provide a unified corridor image, a secondary frontage road may be required along selected portions of the highway as determined by the Planning Commission. Access points to the highway will be predetermined based on topography, highway alignment, vegetation, etc.

2. Points of access from individual sites onto the highway or frontage road shall be coordinated so as to pair entrances wherever possible.

3. Roads and Parking areas shall follow the natural topography whenever possible to minimize cutting and filling.

B. Design Criteria, Detailed

1. All curb cuts and driveways shall have a minimum separation of 300 feet.

2. Driveways and entrance roads shall be designed according to the following criteria:

a. The surface shall be a permanent, all-weather pavement, such as asphalt or concrete.

b. The design speed shall be 15 mph.

c. Maximum slope shall be 5% in the first 200 feet of the drive. The slope may be increased to 7% if the applicant can show that a lesser slope would result in undue hardship.

d. All drives and roads shall intersect the highway at 90° angles.

e. Where the projected Average Daily Trips (ADT) for a driveway or road is greater than 500, islands extending 20 feet into the property shall be provided for channelization of traffic.

f. Where feasible, curb cuts shall be aligned with existing median cuts.

g. Proposed median cuts must receive the approval of the Planning Commission before being submitted to the State Department of Transportation (DOT) for approval. State DOT approval shall be required for all curb cuts.

h. Where the projected ADT for a crossroad is greater than 1,000 acceleration and deceleration lanes are required. The length of those lanes shall be 450 feet and two 250 feet, respectively.

i. The need for signalization shall be explored with the Tennessee Department of Transportation under the following circumstances:

- The ADT for the highway is greater than 6,720, and the projected ADT exiting a crossroad is greater than 1,600 for one lane or 2,248 for two lanes;

-The ADT for the highway is greater than 10,080, and the projected ADT exiting a crossroad is greater than 850 for one lane or 1,120 for two lanes; and

- The Planning Commission determines that signalization may be warranted.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Loading & Access

Off-Street Loading and Storage	R for Large Multifamily Building per Table 4.3.14.B (Loading Space Requirements); P in 3rd Layer only.
Utility Box & Service Meter* Locations (*Not including water meters)	R for Large Multifamily Building per Table 4.3.14.B (Loading Space Requirements); P in 3rd Layer only.
Off-Street Trash Receptacle Locations	P in 3rd Layer only.
Off-Street Dumpster Locations	P in 3rd Layer only, must be Screened from Frontage and fully enclosed on 3 sides and enclosed on the 4th side with self-closing gate.
Drive-Through Locations	P in 3rd Layer only.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Non-Building Components

	1st Layer	2nd Layer	3rd Layer
Heating and Air Conditioning Equipment, Utility, Service and Mechanical Equipment	NP	P if Screened from Frontage	P
Solar Panels	P if coplanar to and integrated into roof design		P
Antennas & Satellite Equipment	P in 1st or 2nd Layer if such Layer is only possible location possible for satisfactory reception.		P
Recreation or Play Equipment	NP	NP	P
Animal Enclosures, Runs or Shelters	NP	NP	P
Swimming Pools, Hot Tubs and Spas	NP	NP	P
Transmitting and/or receiving towers or antennas and wind-generating machines	NP	NP	P

Signs

See Sign Standards in Article 7 (Sign Standards) and Table 7.12.B-1 (Sign Types – Summary) and Table 7.12.B-2 (Sign Types – Specific Standards)

Lighting

See Private Lighting requirements in Section 4.3.17 and Table 4.3.17.B (Private Lighting Standards)

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Private Landscaping and Fencing

Landscaping

R if 1st Layer $\geq$ 3 ft, 30% of 1st Layer must be landscaped, with continuous shrubs along foundation at Facade and additionally if 1st Layer $\geq$ 15 ft, sod, and 1 tree per 50 ft. of Frontage width, planted in 1st Layer. Landscaping must comply with Section 4.3.16.

Walls & Fencing (not including Screens)

Height	3.5–4 ft. at Frontage; otherwise 6 ft. max; height measured from avg. undisturbed grade of Adjacent property at property line
Construction	Finished side must face Adjacent property, Thoroughfare or Internal Drive, Path, Passage or Waterbody
Maintenance	Must be well-maintained, in upright condition and free of missing or broken parts and graffiti.

Materials

Natural Wood	P at side and rear only	Chain Link	P at sides and rear only
Brick, Natural Stone, or Stucco over Masonry	P	Barbed/razor/concertina wire	NP
Wrought Iron or Aluminum	P	Exposed or painted aggregate concrete	NP
Vinyl	NP	Smooth or split-faced block	NP

Additional Standards

Pedestrian connections through to Adjacent Neighborhoods or Uses	R
Location of Retaining Walls	P within required Yards, per Section 4.3.10 If supporting grade 8 ft. or higher than grade at interior edge of a required Buffer, must be set back 10 ft. from such interior edge.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Screens, Streetscreens & Buffers

Height

	At Frontage or Adjacent to Civic Space	Not at Frontage or Adjacent to Civic Space
Wall Screen/Streetscreen Height	3 ft. to 5 ft.	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Fence Screen/Streetscreen Height	NP	5 ft. to 6 ft.; Min. 6 ft. for Dumpsters and Trash Receptacles
Hedge Screen/Streetscreen Height	3 ft. to 5 ft. at installation	5 ft. to 6 ft. at installation

Materials

Wall Screen or Streetscreen	Brick, Natural Stone or Stucco over Masonry
Fence Screen or Streetscreen	Natural Wood, painted or unpainted
Hedge Screen or Streetscreen	Evergreen plants with min. 80% opacity

Additional Standards

Non-Residential & Multi-Family Residential Screen /Streetscreen Adjacent to or across Thoroughfare from Non-Multi-Family Residential	NR
	R ; except at Driveways:
Screening of Parking, Loading Areas, Service Areas, Outdoor Storage, Drive-Throughs, Trash Receptacles/Dumpsters, HVAC and other equipment Screened from Frontage, Civic Space and Adjacent Property	Parking Lots and Parking Areas must be Screened from Frontage and Civic Space by Building or Streetscreen; Parking Structures must be Screened from Frontages by Liner Buildings. Otherwise, Screening must be by Building, wall, hedge or fence at Frontage or Building, Wall, hedge or fence not at Frontages or Adjacent to Civic Space.
Rooftop Antennas and HVAC, Mechanical and other Equipment Screening	R ; must be Screened from Frontage and Civic Space by Building parapet or other Building Element
Self-Storage Warehouse Screening	NA (not permitted in District)
Streetscreen Location	2nd Layer
Parcel Buffer	Section 4.3.11.H.
Project Buffer	Section 5.8.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

Q3 – 2023 Zoning Text Amendment Sign Standards

Project #:	24-0337	Location:	N/A
Applicant:	Kevin C. McCarthy, AICP	Case Type(s):	Text Amendment
Staff Planner:	Kevin C. McCarthy, AICP	Proposed Use:	N/A

SUMMARY

This request modifies the text of Article 7 of the zoning ordinance revising **sign standards**. Planned unit developments provide an alternative to the thirteen base districts of the zoning ordinance. The standards regulate the size, placement, and materiality of signs throughout Columbia.

The applicant, the Zoning Administrator, requests to amend the text of Ordinance 4400, the zoning ordinance for the City of Columbia. This is the fourth of five rounds of zoning text amendments staff will present to the Planning Commission between December 2023 and December 2024. These changes will implement Connect Columbia, better align zoning regulations with community preferences, and calibrate the standards based on “lessons learned” during the first two years administering the Ordinance. This round of proposed amendments is detailed in the attached list of topics and track changes documents.

- The Planning Commission is a **recommending body** for zoning text amendments. The City Council is the decision-making authority.
- The staff comments section details the proposed changes, which are provided in the agenda packet in ~~striketrough~~ and underlines.
- Planning Commission may recommend adoption of the proposed text, modify the proposal, or decline the request.
- Templates are provided at the end of the report to assist the Planning Commission in crafting properly formatted motions.

CONSISTENCY WITH CONNECT COLUMBIA

The ongoing current process of reviewing and updating the Zoning Ordinance, Subdivision Regulations, Engineering Standards & Specifications, and other regulating documents is part of the implementation of Connect Columbia, the City's comprehensive plan.

REVIEW PROCESS

Section **8.5.18** of the Zoning Ordinance directs the Planning Commission to review and make a recommendation on all proposed changes to the text of the Ordinance. The Planning Commission is the recommending body for text amendments under **§ 8.3.3.B.2** of the Zoning Ordinance.

Section **8.5.18.C** of the Zoning Ordinance requires that Planning Commission determine that the proposed changes are consistent with the comprehensive plan.

8.5.18.G of the Zoning Ordinance establishes the review criteria for approval of all changes to the text of the Ordinance:

- a. The extent to which the proposed Zoning Ordinance Amendment is consistent with the remainder of this Ordinance, including, specifically, any purpose and intent statements;*
- b. The extent to which the proposed Zoning Ordinance Amendment represents a new idea not considered in this Ordinance, or represents a revision necessitated by changing circumstances over time;*
- c. Whether or not the proposed Zoning Ordinance Amendment corrects an error in this Ordinance; and*
- d. Whether or not the proposed Zoning Ordinance Amendment revises this Ordinance to comply with state or federal statutes or case law.*

The criteria for City Council action on a Zoning Ordinance Amendment at § 8.5.18.J.4 are identical to the criteria for Planning Commission review at 8.5.18.G.3.

COMMENTARY FROM PROFESSIONAL PLANNING STAFF

The City Council adopted the current ordinance on July 14, 2022. The Zoning Ordinance implements the City's comprehensive plan, Connect Columbia. On November 8, 2023, the Planning Commission recommended adoption of a five-year update of the framework, land use, and transportation elements of Connect Columbia. The framework element of the plan directs planning staff to initiate revisions to the ordinance in order to bring it into consistency with the future land use plan. It further directs staff to engage residents and property owners to solicit suggestions for further changes to the ordinance. As mentioned above, this is the second and third of five rounds of zoning text amendments staff plans to present to the Planning Commission between December 2023 and December 2024.

Proposed changes include:

- **§7.1.7– Temporary Signs**
 - Revises standards for the size and number of temporary signs to be more specific regarding the size of particular signs types (i.e. banners and ground signs).
- **New §7.1.8 – Residential Subdivision Signs**
 - Adds a new section related to subdivision signs.
 - Distinguishes temporary and permanent subdivision signs.
 - Establishes standards for size and placement of subdivision signs.
 - Permits subdivision signs in open spaces and easements.
- **§7.1.10 (renumbered to 7.1.11) – Exempt Signs**
 - Exempts Camps Signs from permit.
 - Exempts Home Occupation Signs from permit.
- **TABLE 7.1.2.B-2 – Monument Signs**
 - Adds a reference to the proposed subdivision sign standards.
- **TABLE 7.1.2.B-2 – Campus Signs**
 - Create a new sign type.
 - Defines and establishes standards for internally-oriented signs on large properties which include more than one building.
- **TABLE 7.1.2.B-2 – Band Sign**
 - Removes limitation on placement of a Band Sign (above the main entrance).
 - Adds a provision which permits the combination of a Band Sign and a Wall Sign on the same elevation.
- **TABLE 7.1.2.B-2 – Wall Sign**
 - Removes prohibition of Wall Signs from Façade elevations.
 - Clarifies that the combined use of Wall and Band Signs does not increase the total amount of sign area on the elevation.

The Planning Commission may recommend approval of the proposed text amendments, direct staff to prepare an alternative text amendment, or decline to act on the proposed changes.

SAMPLE MOTIONS

Approve:

Move to find, based on the analysis provided by city staff, that the criteria listed in section **8.5.18** of the City of Columbia Zoning Ordinance have been satisfied and recommend approval of the proposed text amendments [may be subject to modifications proposed by the Planning Commission].

Deny:

Move to recommend denial of the requested text amendment having found, based on the analysis provided by city staff, that the criteria listed in section **8.5.18** of the City of Columbia Zoning Ordinance are not satisfied [*list specific reasons for denial and provide direction to staff*].

Defer:

Move to find that there is insufficient information to decide, defer the matter to the next regularly scheduled meeting of the Planning Commission, and direct staff to provide: [*list additional information*] for review at a future meeting.

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

Proposed Changes

§7.1.7 Temporary Signs	2
§7.1.8 Residential Subdivision Signs	4
§7.1.10 Exempt Signs	6
TABLE 7.1.2.B-2 Monument Sign	7
TABLE 7.1.2.B-2 Campus Sign.....	9
TABLE 7.1.2.B-2 Band Sign	10
TABLE 7.1.2.B-2 Wall Sign	12

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

§7.1.7

Temporary Signs (p. 383)

Revise standards as follows:

Pagination reflects July 2022 adopted version. Precise location of standard may differ slightly based on City Council action on other ZTAs in September 2024.

7.1.7 Temporary Signs

In addition to all other Signs allowed in accordance with Table 7.1.2.B-1 (Sign Types – Summary) and Table 7.1.2.B-2 (Sign Types – Specific Standards), non-illuminated Temporary Signs are allowed without a Sign Permit subject to the following:

A. Single-Family, Two-Family, Owner-Occupied Multi-Family Residential.

On any Lot or Building Site used as a single-family, two-family, or owner-occupied multi-family dwelling, up to 2 temporary Signs may be displayed on a pole or stake affixed to the ground. Such Signs shall not exceed 9 square feet in area per side, and the top of such Sign shall be no taller than 5 feet from ground.

B. Other Lots and Building Sites.

On any Lot or Building Site not used as a single-family, two-family, or owner occupied multi-family dwelling, up to 2 Temporary Signs may be displayed on either (1) a pole or stake affixed to the ground or on a banner affixed to a Building on the Lot or Building Site. ~~Such Signs shall not exceed 24 square feet in area per side, unless the lot or site is greater than 10 acres in which a sign of 32 square feet is permitted. The top of the Sign shall be no more than 5 feet from ground level unless the Sign is a banner affixed to a building. If affixed to the ground, they shall be supported by posts and shall be spaced at least 15 feet apart from one another.~~

1. Temporary Ground Sign: One Ground Sign per Lot or Building Site shall be permitted. Such sign shall not exceed 24 square feet in area per side, unless the lot or site is greater than 10 acres, in which case, a sign of 32 square feet is permitted. The top of the sign shall be no more than 5 feet from ground level and affixed to the ground supported by posts.

Provides greater detail on temporary signage

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

32 2. Temporary Banner Sign: One Temporary Banner Sign
33 per business shall be permitted. Such signs shall not
34 exceed 32 square feet in size and shall be securely
35 attached flat against the wall of the building.

36 C. Materials & Condition.

37 Temporary Signs must be made of waterproof materials and
38 kept in good repair.

39 D. Setback & Visibility

40 Temporary Signs must be set back at least 5 feet from the
41 property line and may not be placed in a manner that obstructs
42 visibility for drivers on an adjacent street.

43 E. See section 7.1.8 for standards related to temporary
44 subdivision signs.

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

§7.1.8

Residential Subdivision Signs (p. 383)

Add new section (and renumber subsequent paragraphs) as follows:

A. Permanent Residential Subdivision Signs

1. Residential subdivision signs shall be located at the primary entrance(s) to a development as identified on a Site Development Plan, Preliminary Plat, or Planned Unit Development Master Plan approved in accordance with Article 8. T
2. Such signs shall be located on private property and may be within any platted sign and/or landscape easement or within common open space.
3. Such signs shall be maintained by an established property owners' association or similar entity.
4. One sign shall be permitted for each entrance to the subdivision, up to a maximum of three entrances per subdivision. See Monument Sign for design standards.
5. Subdivision signs shall be setback at least ten (10) feet from edge of pavement or the edge of the public right-of-way, whichever is greater, unless more space is necessary to preserve the sight distance triangle.

Adds provisions for temporary subdivision signs.

B. Temporary Residential Subdivision Signs

1. One temporary residential subdivision sign may be erected on a site for the purpose of advertising the development of a subdivision and the sale of included lots. The sign may remain until sale of all subdivision lots is completed.
2. No other temporary development signs shall be permitted, including individual builder signs. The names of participating builders may be included on the subdivision temporary development sign.
3. Specifications:
 - a. Maximum sign face area, thirty-two (32) square feet.

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

- 75 b. If only one (1) sign face is used per sign and sixteen
76 (16) square feet per sign face if two sign faces are
77 used on (1) sign.
78 c. Maximum height, six (6) feet.
79 1.4. Multiphase developments may utilize a temporary
80 residential subdivision sign for each phase.

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

§7.1.10

Exempt Signs (p. 386)

Renumber and revise standards as follows:

- 82 7.1.10 ~~11~~ Exempt Signs Not Requiring a Sign Permit.
- 83 The following Signs are Exempt Signs and do not require a Sign Permit:
- 84 1. Address Sign
- 85 One Address Sign per tenant or owner.
- 86 2. Certain Small Signs
- 87 On-premises Signs not exceeding four (4) square feet in area that
- 88 are located along the route to a place or location within such
- 89 premises or are provided for safety.
- 90 3. Governmental Signs
- 91 Signs placed by the City or any other governmental unit with
- 92 jurisdiction over the area where the Sign is placed.
- 93 4. Certain Integrated Signs
- 94 Signs carved into stone, concrete or similar material or made of
- 95 bronze, aluminum, or other permanent construction and made an
- 96 integral part of the Structure.
- 97 5. Temporary Signs
- 98 Temporary Signs allowed under Section 7.1.7.
- 99 6. Campus Signs
- 100 Internally oriented on signs on large multi-building sites adhering
- 101 to the Campus Sign standards.
- 102 7. Home Occupation Signs
- 103 Small identification signs of no more than 4 square feet
- 104 associated with a permitted Home Occupation
- 105

*Exempts Campus Signs and
Home Occupation signs from
permit*

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
 Deletions are Strikethrough

TABLE 7.1.2.B-2

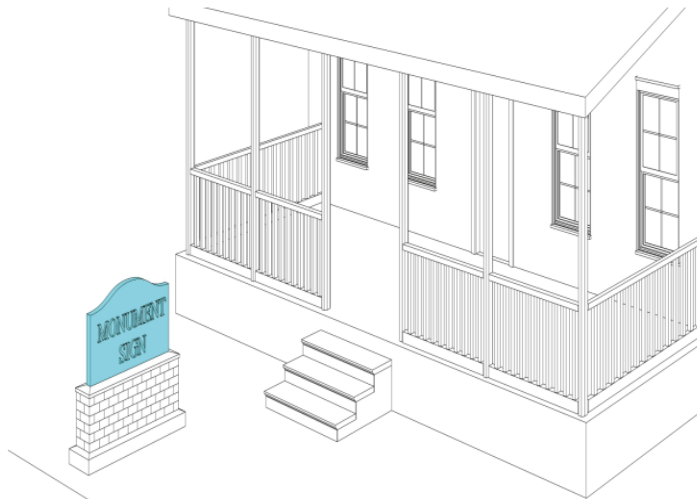
Sign Types Specific Standards

Monument Sign (p. 374)

Replace current table with changes to formatting and revise standards as follows:

MONUMENT SIGN	TABLE 7.1.2.B-2 SIGN TYPES SPECIFIC STANDARDS							
	CD-2	CD-3L	CD-3	CD-4	CD-4C	SD-INT	SD-LI	SD-HI CV
General Description	A Sign that is erected on a solid base directly on the ground, and that is itself constructed of a solid material.							
Standards	Quantity (max) All Permitted Districts: 1 per Development Entrance; CD-2, CD-3L & CD-3: all other Permitted Districts other than CD-2, CD-3L							
Additional Standards	In addition to all other applicable standards, each Monument Sign allowed under this Article: - shall be located at Development Entrance, if applicable, otherwise within the 1st Lot Layer; - shall incorporate a supporting base that is at least 75 percent of the width of the Sign face at its widest point; - shall have a supporting base constructed of brick, stone, masonry or scored concrete;							

Add reference to new standard for entrance signs



Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

	& CD-3: 1 per Frontage	
Area (max)	CD-2, CD-3L & CD-3: 18 sf; Other Permitted Districts: 50 sf	d. and shall not be allowed at the Frontage if there is a Post Sign on the Lot.
Height (max)	CD-2, CD-3L, CD-3 & CD-4: 6 ft; Others: 10 ft.	e. Large scale commercial and multi-tenants (5 or more tenants) uses are allowed an additional 32 square feet. <u>See Section 7.1.8 for additional residential subdivision sign standards.</u>
Letter Height	Not Regulated	

Article 7 Sign Standards

Proposed Zoning Text Amendment

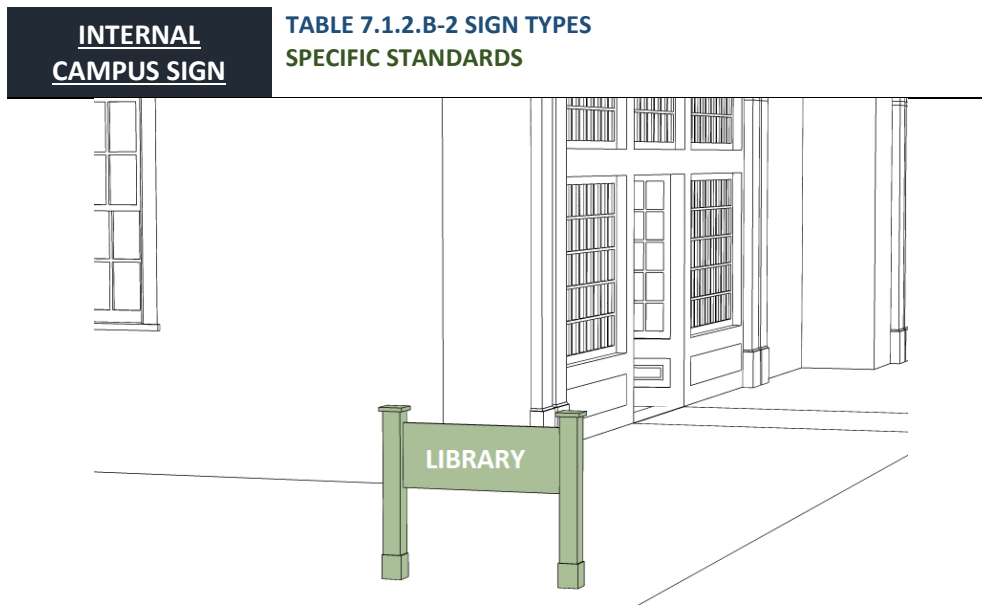
Additions are Underlined
 Deletions are Strikethrough

TABLE 7.1.2.B-2

Sign Types Specific Standards

Campus Sign (p. N/A)

Add new sign type to the table as follows:



Add a sign type for signage internal to an institutional site.

Permitted in all districts.

General Description		Additional Standards
A small, ground-mounted sign for pedestrian and vehicular circulation within a large multi-building site such as a church, hospital, or school. Campus signs direct visitors to parking and building locations.		In addition to all other applicable standards, each Internal Campus Sign shall be:
Standards		1. Conform to the minimum setback at the property line applicable to an accessory structure; and
Quantity	Internal campus signs are unregulated when they are not visible from the right-of-way.	2. Shall not be internally illuminated.
Area	Unregulated where not visible from the right-of-way.	
Width/Height	Unregulated where not visible from the right-of-way.	

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
Deletions are Strikethrough

TABLE 7.1.2.B-2

Sign Types Specific Standards

Band Sign (p. 368)

Replace current table with changes to formatting and revise standards as follows:

Clarifies appropriate location of Band Sign and provides for combination of Band Sign and Wall Sign

Band Sign

TABLE 7.1.2.B-2 SIGN TYPES SPECIFIC STANDARDS



CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV

General Description

A Sign that is flat against the Façade ~~and placed directly above the main entrance~~ and often runs horizontally along the entablature of traditional Buildings. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.

Standards

Quantity (max)	1 per Façade plus 1 per first floor Business Frontage
Area (max)	1.5 sf per linear ft of Façade
Width/Height	max 100% width of Façade max 3 ft height except CD-4C and SD-INT no max height

Additional Standards

In addition to all other applicable standards, each Band Sign allowed under this Article:

- shall be applied to the first Story Façade and not project vertically above the roof line.
- shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or printed or etched on the same surface as the background. shall not obscure any architectural element of the Building and shall be in vertical alignment with the center of an architectural element such as

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

Depth/Projection	excluding mounting hardware max 7 in	a storefront window or entrance, or centered over the bay or over all space occupied by the Business.
Clearance	Min 7ft	c. <u>Where a Wall Sign is used on the same elevation as a Band Sign, the area of the Wall Sign shall be subtracted from the maximum allowable area of the Band Sand.</u>

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
Deletions are Strikethrough

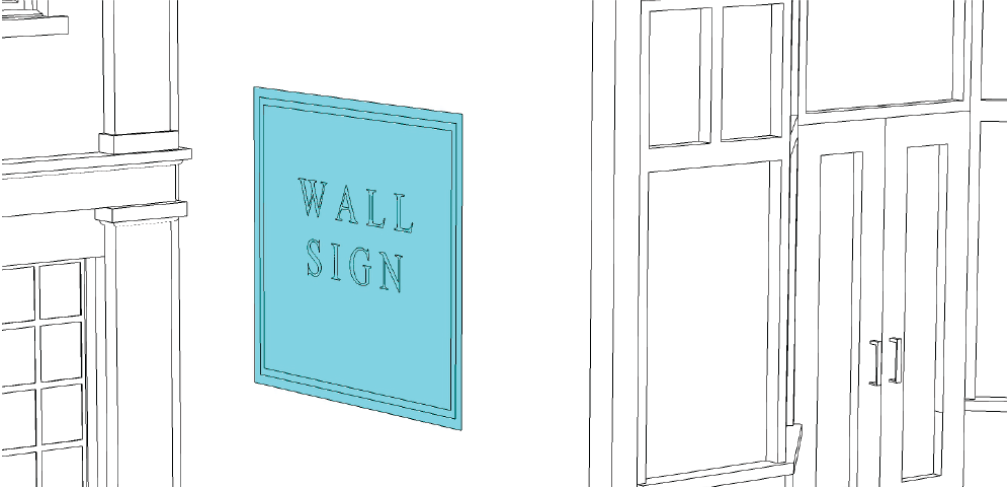
TABLE 7.1.2.B-2

Sign Types Specific Standards

Wall Sign (p. 368)

Replace current table with changes to formatting and revise standards as follows:

Provides for combination of Band Sign and Wall Sign

Wall Sign	TABLE 7.1.2.B-2 SIGN TYPES SPECIFIC STANDARDS
	
CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV	
General Description	Additional Standards
A Sign that is flat against the Facade of a Secondary Frontage <u>a building elevation</u>. These Signs are typically painted directly on the Building and contain a combination of text and graphic elements. They are intended to be visible from a greater distance and shall be accompanied by additional signage on the Facade at the Principal Frontage.	In addition to all other applicable standards, each Band Sign allowed under this Article: - shall not project vertically above the roof line; - shall include only letters, background, lighting, and an optional logo, with such information shall consist only of the name and/or logo of the Businesses located in such Building; - shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or painted, printed or etched on the same surface as the background; and - shall not obscure any architectural element and be in vertical alignment with the center of an architectural
Standards	
Quantity (max)	1 per Business
Area	Max 32 sf
Depth/Projection	3 inches
Clearance	Not Regulated

Article 7 Sign Standards

Proposed Zoning Text Amendment

Additions are Underlined
~~Deletions are Strikethrough~~

element such as a storefront window or entrance, or centered over the bay or overall space occupied by the Businesses.

- e. When used on the same elevation as a Band Sign, the area of the Wall Sign shall reduce the maximum allowable size of the

ARTICLE 7: SIGN STANDARDS

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SECTION 7.1
SIGN STANDARDS

7.1.1 Purpose.

The purpose of this Section 7.1 is to establish a comprehensive scheme for the regulation of Signs in the City. More specifically, this Section is intended to address aesthetic, traffic safety, and property value concerns for the benefit of the public health, safety and welfare, while allowing the use of signs as a medium for conveying messages.

A. Communication & Navigation

Encourage the effective use of Signs as a means of communication and to facilitate navigation from place to place within the City.

B. Conveyance of Information & Traffic Safety

Balance the need for information for motorists and pedestrians with the need for traffic safety by limiting Signs or characteristics of Signs that may be distracting to drivers.

C. Expression & Maintenance of Environment

Balance the desire and need of individuals to express themselves through Signs with the desire to maintain a pleasing, safe, and navigable environment for residents and visitors.

D. Means of Expression

Provide for the display of noncommercial messages in Residential areas, recognizing the unique value of Residential signage as a means of exercising constitutional freedom of expression.

E. Property Value

Protect and enhance the value of property in the City by providing for Signs consistent with the character of the area in which it is located.

7.1.2 Compliance.

A. General.

Signs must comply with the requirements of this Article.

B. Sign Types, Standards, and Numbers

Within each District, the allowed types and numbers of Signs shall be as provided in **Table 7.1.2.B-1 (Sign Types – Summary)**, **Table 7.1.2.B-2 (Sign Types – Specific Standards)**, and **this Section 7.1**. Each Sign type shall be subject to the applicable standards and requirements of **Table 7.1.2.B-1 (Sign Types – Summary)** and **Table 7.1.2.B-2 (Sign Types – Specific Standards)**.

ARTICLE 7: SIGN STANDARDS

TABLE 7.1.2.B-1 SIGN TYPES – SUMMARY

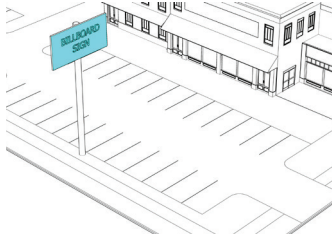
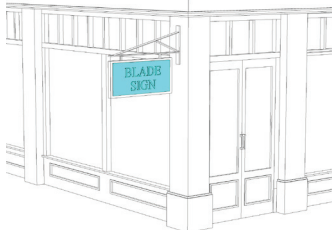
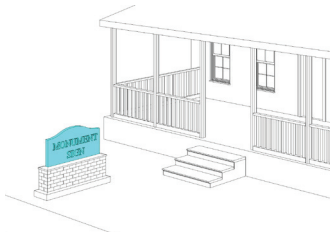
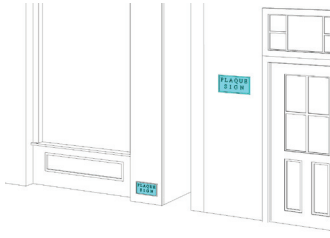
Specific Sign Type	Illustration	Districts
Awning Sign An awning that contains lettering painted, screen printed, or appliquéd on the awning valance.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Band Sign A Sign that is flat against the Facade and placed directly above the main entrance and often run horizontally along the entablature of traditional Buildings. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Billboard Sign A Sign intended for viewing from extended distances, which is mounted on one or two poles. A Pylon Sign is not a Billboard.		SD-INT
Blade Sign A Sign mounted on the first floor of a Building perpendicular to a Building Facade Wall, typically hung from decorative cast or wrought iron bracket in a manner that permits it to swing slightly. These Signs are small, pedestrian-scaled, and easily read from both sides.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Directory Sign A Sign that displays the tenant names and locations for a Building containing multiple tenants.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Illustrations are provided for illustrative purposes only.		

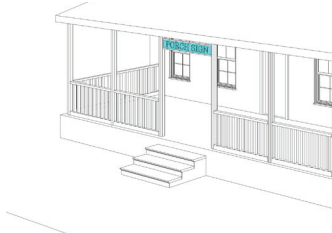
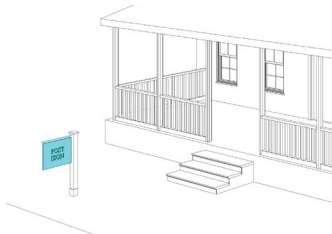
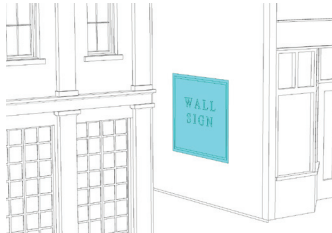
TABLE 7.1.2.B-1 SIGN TYPES – SUMMARY

Specific Sign Type	Illustration	Districts
Large Projecting Sign A Sign attached above the first floor of a multi-floor Building and projecting from a Building Facade at a 90-degree angle, or if oriented to a Block corner, a 45 degree angle.		CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Marquee Sign A Sign that is located either along the Facade where it projects perpendicular to the Facade or at the corner of a Building where it projects at a 45 degree angle. These Signs often extend beyond the parapet of the Building, but may also terminate below the cornice or eave. Marquee Signs may have neon lettering used in conjunction with painted colored or changeable lettering.		CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Monument Sign A Sign that is erected on a solid base directly on the ground, and that is itself constructed of a solid material.		CD-2 CD-3L CD-3 CD-4 CD-4C SD-INT SD-LI SD-HI CV
Outdoor Display Case A Sign consisting of a lockable metal- or wood-framed cabinet with a hinged transparent door inside of which information may be viewed and accessed for maintenance and updating.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Plaque Sign A Sign that identifies a Building or its builder, or on professional office Buildings, which might name the firm or partners in a firm. May also be referred to as an Architectural Sign.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV

Illustrations are provided for illustrative purposes only.

ARTICLE 7: SIGN STANDARDS

TABLE 7.1.2.B-1 SIGN TYPES – SUMMARY

Specific Sign Type	Illustration	Districts
Porch Sign Signs that are mounted on a porch. Signs must be placed parallel to the Building Facade.		CD-4 CD-4C SD-INT SD-LI SD-HI CV
Post Sign A Sign that is mounted on one or two posts in the First Lot Layer.		CD-4 CD-4C SD-INT SD-LI SD-HI CV
Pylon Sign A Freestanding Sign that is mounted on two poles.		CD-3 CD-4C CD-5C SD-INT SD-LI SD-HI
Sidewalk Sign A free-standing, double-sided Sign with lettering painted or applied to the surface, placed at the entrance to a Building in a primarily pedestrian environment. Sidewalk Signs provide secondary signage.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Wall Sign A Sign that is flat against the Facade of a Secondary Frontage. These Signs are typically painted directly on the Building and contain a combination of text and graphic elements. They are intended to be visible from a greater distance and shall be accompanied by additional signage on the Facade at the Principal Frontage.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV
Window Sign A Sign that is professionally painted or applied directly on the inside of a window or hanging inside a window, consisting of individual letters and designs.		CD-4 CD-4C CD-5 CD-5C SD-INT SD-LI SD-HI PUD-MU CV

Illustrations are provided for illustrative purposes only.

AWNING SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

An awning that contains lettering painted, screen printed, or appliquéd on the awning valance.

Dimensions	
Quantity (max)	1 per window
Width/Height	max width = width of facade max height= n/a letters, numbers, and graphics covering no more than 70% of the valance area
Depth / Projection	min 8 ft fully extended, back of curb, whichever is less
Clearance	min 8 ft
Letter Height	min 5 in, max 10 in
Valance Height	max 12 in

- Additional Standards**
- In addition to all other applicable standards, each Awning Sign allowed under this Article:
- a. shall be only on an awning that:
 - i. does not conceal an architectural feature;
 - ii. has no side panels or soffit;
 - iii. is rectangular in elevation and triangular in cross-section with straight edges and is not quarter-round or domed; and
 - iv. has a metal structure covered in opaque authentic or synthetic canvas or painted metal; and
 - b. shall be limited to the valance of the awning.

ARTICLE 7: SIGN STANDARDS

BAND SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4

CD-4C

CD-5

CD-5C

SD-INT

SD-LI

SD-HI

PUD-MU

CV

General Description

A Sign that is flat against the Facade and placed directly above the main entrance and often run horizontally along the entablature of traditional Buildings. Band Signs are typically intended to be seen from a distance and are often accompanied by additional pedestrian-scaled signage.

Dimensions

Quantity (max)	1 per Facade plus 1 per first floor Business Frontage
Area	1.5 sf per linear ft of Facade
Width/Height	max 100% width of Facade max 3 ft height except CD-4C and SD-INT no max height
Depth / Projection	excluding mounting hardware max 7 in
Clearance	min 7 ft

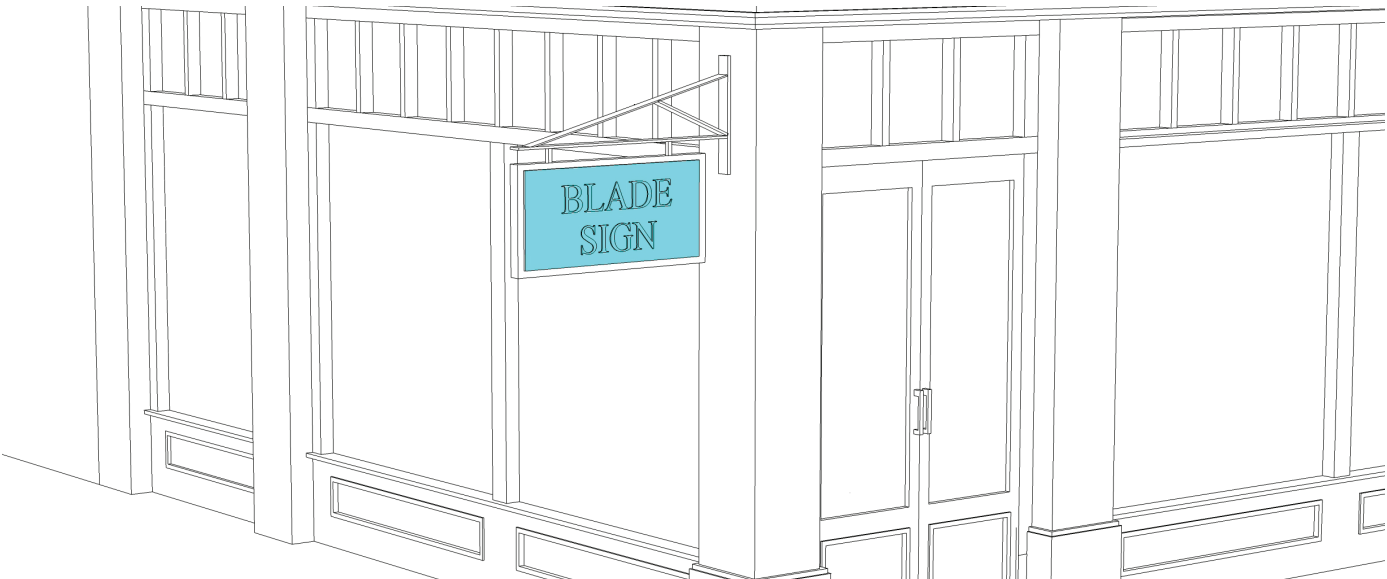
Additional Standards

In addition to all other applicable standards, each Band Sign allowed under this Article:

- shall be applied to the first Story Facade and not project vertically above the roof line;
- shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or printed or etched on the same surface as the background; and
- shall not obscure any architectural element of the Building and shall be in vertical alignment with the center of an architectural element such as a storefront window or entrance, or centered over the bay or overall space occupied by the Business.

BLADE SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

A Sign mounted on the first floor of a Building perpendicular to a Building Facade Wall, typically hung from decorative cast or wrought iron bracket in a manner that permits it to swing slightly. These Signs are small, pedestrian-scaled, and easily read from both sides.

Dimensions

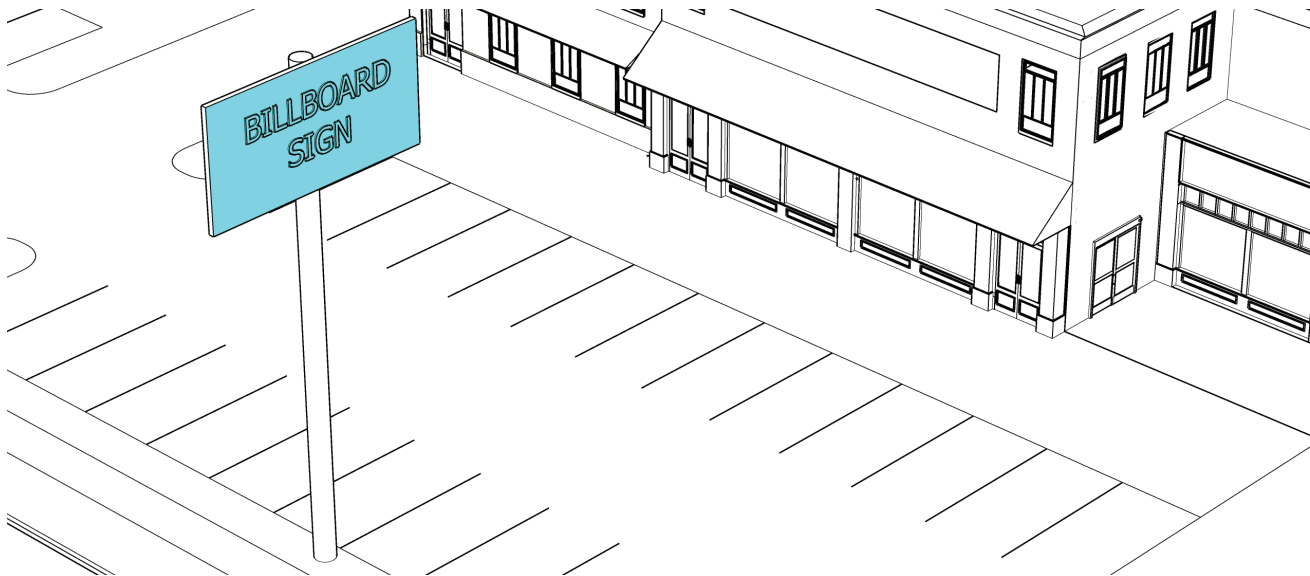
Quantity (max)	1 per Business, no closer than 18 ft from another Blade Sign
Area	8 sf
Width / Height	max 2 ft / max 4 ft
Depth / Projection	max 4 ft
Clearance	min 8 ft clear above the Sidewalk
Letter Height	max 8 in

Additional Standards

- In addition to all other applicable standards, each Blade Sign allowed under this Article:
- a. shall be permanently installed perpendicular to the Façade; and
 - b. all exposed edges of the Sign shall be finished.

ARTICLE 7: SIGN STANDARDS

BILLBOARD SIGN TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

SD-INT

General Description

A Sign intended for viewing from extended distances, which is mounted on one or two poles. A Pylon Sign is not a Billboard.

Dimensions

Quantity (max)	1 per Business
Area	50-300 sf
Height	50 ft max
Depth / Projection	Not Regulated
Clearance	Not Regulated
Letter Height	Not Regulated

Additional Standards

In addition to all other applicable standards, each Billboard Sign allowed under this Article:

- a. shall be on the same premises as the activity concerning which the Sign provides information is conducted;
- b. shall be within 1320' of closest right-of-way line of an interstate highway; and
- c. shall be subject to TCA Title 54, Chapter 21.

DIRECTORY SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

A Sign that displays the tenant names and locations for a Building containing multiple tenants.

Dimensions

Quantity (max)	1 per ground floor entrance to upper floor Business(es)
Area	6 sf max
Width / Height of Sign Panel	2 ft max width/ 3 ft max height

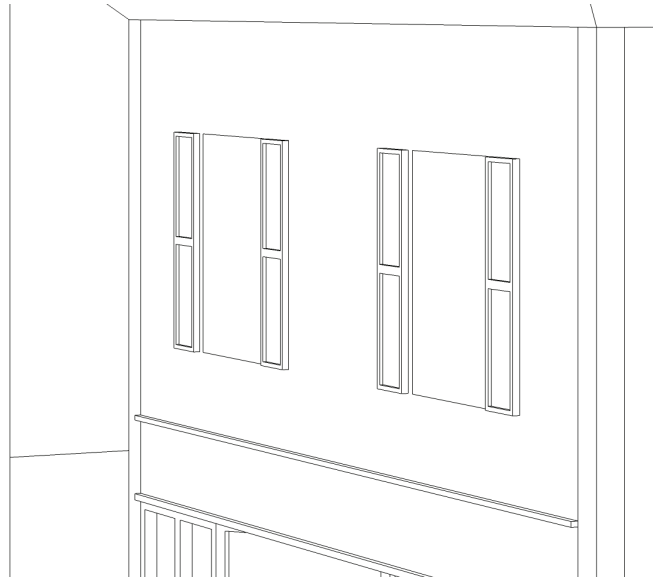
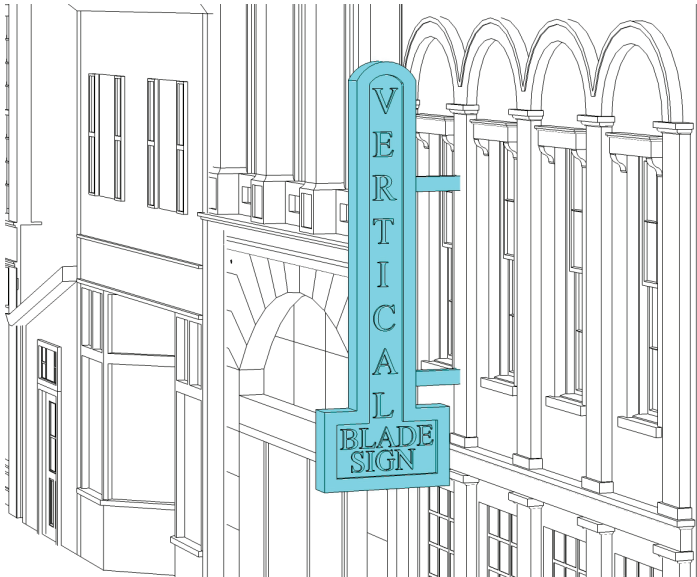
Additional Standards

- In addition to all other applicable standards, each Directory Sign allowed under this Article:
- a. shall be attached to and parallel with the first floor Facade; and
 - b. shall not be attached to or placed within shopfront windows.

ARTICLE 7: SIGN STANDARDS

LARGE PROJECTING SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-5

CD-5C

SD-INT

SD-LI

SD-HI

PUD-MU

CV

General Description

A Sign attached above the first floor of a multi-floor Building and projecting from a Building Facade at a 90-degree angle, or if oriented to a Block corner, a 45 degree angle.

Dimensions

Quantity (max)	1 per building
Height (max)	max width = width of facade max height= n/a letters, numbers, and graphics covering no more than 70% of the valance area
Area (max)	min 8 ft fully extended, back of curb, whichever is less
Clearance	min 8 ft
Letter Height	min 5 in, max 10 in
Depth (max)	max 12 in
Projection (max)	7 ft over Sidewalk, but may not project past back of curb

Additional Standards

In addition to all other applicable standards, each Large Projecting Sign allowed under this Article:

- shall be permanently installed to the Façade; and
- shall not be internally lighted or backlit except behind cut-out letters and otherwise shall be lighted with neon tubing or other external means.

MARQUEE SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

A Sign that is located either along the Facade where it projects perpendicular to the Facade or at the corner of a Building where it projects at a 45 degree angle. These Signs often extend beyond the parapet of the Building, but may also terminate below the cornice or eave. Marquee Signs may have neon lettering used in conjunction with painted colored or changeable lettering.

Dimensions

Quantity (max)	1 per Principal Frontage
Width / Height	centered on and no more than 4 ft wider than Principal Entrance bay
Depth / Projection	min 4 ft, max 10 ft over Sidewalk
Clearance	min 10 ft from Sidewalk
Letter Height	removable letter height max 6 in, permanent letter height max 36 in
Distance from Curb	min 3 ft

Additional Standards

- In addition to all other applicable standards, each Marquee Sign allowed under this Article:
- a. shall not be internally lighted or backlit except behind the panels from which changeable letters are hung and shall otherwise be lighted with neon tubing or other external means;
 - b. shall be located only above the Principal Entrance of a Building and attached parallel to the Facade, or if such Building is located on a corner, then such Sign may be located at and attached perpendicular to the corner of the Building;
 - c. shall not have any supports more than eight (8) feet deep and all anchors, bolts, and supporting rods must be concealed within its interior; and
 - d. together with all anchors, bolts, supporting rods and braces, shall be constructed of high quality non-combustible or non-corrodible components and materials and shall be designed by a structural engineer and be subject to approval by the Building Inspector.

ARTICLE 7: SIGN STANDARDS

MONUMENT SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-2

CD-3L

CD-3

CD-4

CD-4C

SD-INT

SD-LI

SD-HI

CV

General Description

A Sign that is erected on a solid base directly on the ground, and that is itself constructed of a solid material.

Dimensions

Quantity (max)	All Permitted Districts: 1 per Development entrance; CD-2, CD-3L & CD-3: All Permitted Districts other than CD-2, CD-3L & CD-3: 1 per Frontage
Area (max)	CD-2, CD-3L & CD-3: 18 sf Other Permitted Districts: 50sf
Height (max)	CD-2, CD-3L & CD-3 & CD-4: 6 ft Others: 10 ft
Letter Height	Not Regulated

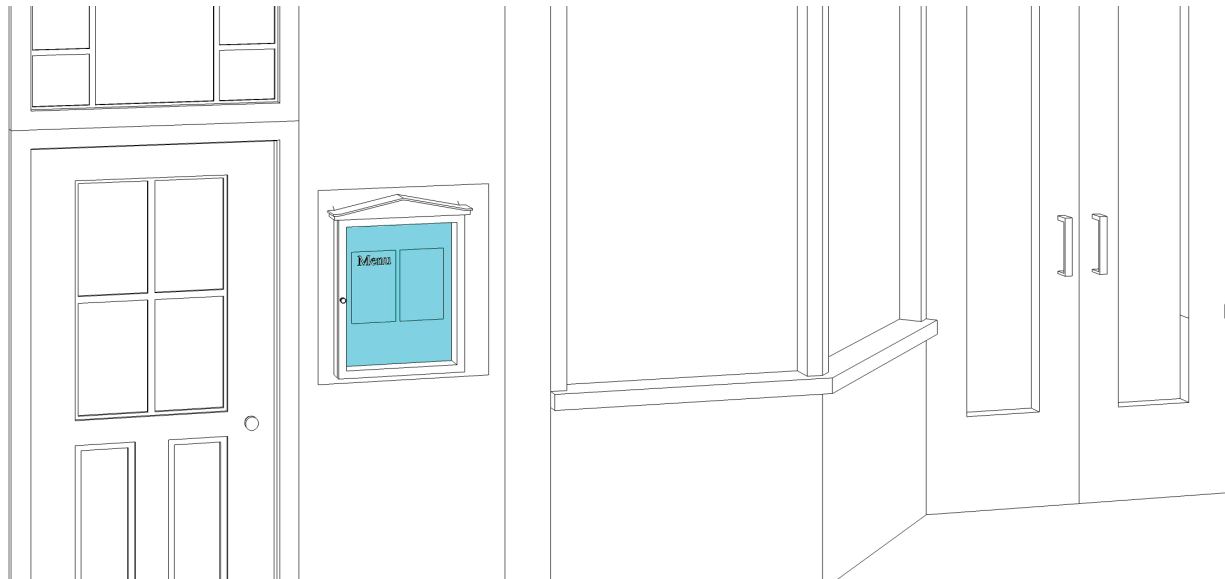
Additional Standards

In addition to all of the applicable standards, each Monument Sign allowed under this Article:

- shall be located at Development Entrance, if applicable, otherwise within the 1st Lot Layer;
- shall incorporate a supporting base that is at least 75 percent of the width of the Sign face at its widest point;
- shall have a supporting base constructed of brick, stone, masonry or scored concrete; and
- shall not be allowed at the Frontage if there is a Post Sign on the Lot.
- Large scale commercial and multi-tenants (5 or more tenants) uses are allowed an additional 32 square feet.

OUTDOOR DISPLAY CASE

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4

CD-4C

CD-5

CD-5C

SD-INT

SD-LI

SD-HI

PUD-MU

CV

General Description

A Sign consisting of a lockable metal- or wood-framed cabinet with a hinged transparent door inside of which information may be viewed and accessed for maintenance and updating.

Dimensions

Quantity (max)	1 per Principal Frontage
Area	max 8 sf, except in the case of theaters, which may not exceed 20 sf
Depth / Projection	max 5 in.
Clearance	min 30 in.
Letter Height	Not Regulated

Additional Standards

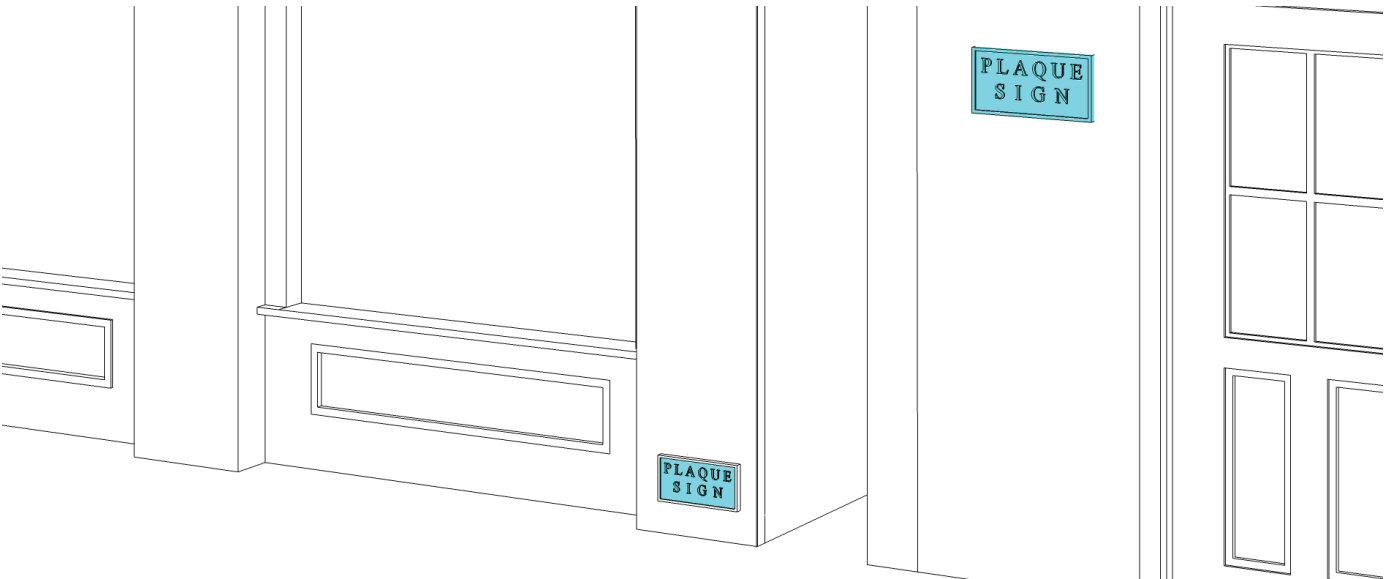
In addition to all other applicable standards, each Outdoor Display Case allowed under this Article:

- a. shall be permanently attached to and parallel with the first floor Façade;
- b. may be externally illuminated or lighted by a recessed light source within the cabinet; and
- c. shall not be attached to or be placed within shopfront windows.

ARTICLE 7: SIGN STANDARDS

PLAQUE SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

A Sign that identifies a Building or its builder, or on professional office Buildings, which might name the firm or partners in a firm. May also be referred to as an Architectural Sign.

Dimensions

Quantity (max)	1 per Principal Frontage
Area	max 1 sf
Width / Height	max 18 in / max 2 ft
Depth / Projection	max 3 in
Mounting Height max	7 ft

Additional Standards

In addition to all other applicable standards, each Plaque Sign allowed under this Article shall consist of either a panel or individual letters inset or applied flush with a Building wall within ten (10) feet of an entrance to the Building.

No more than 1 Plaque Sign may be used for a Home Occupation in CD-3.

PORCH SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

CD-4 CD-4C SD-INT SD-LI SD-HI CV

General Description

Signs that are mounted on a porch. Signs must be placed parallel to the Building Facade.

Dimensions

Quantity (max)	1 per address (2 for Corner Building)
Area	max 6 sq ft
Width / Height	max 100% width of entrance / max 2 ft
Depth / Projection	n/a
Clearance	min 7 ft
Letter Height	max 8 in

Additional Standards

In addition to all other applicable standards, each Porch Sign allowed under this Article:

- a. shall be hung above the entrance to the porch or elsewhere on the architrave (beam at top of columns); and
- b. shall be permanently installed parallel to the Facade of the Building.

ARTICLE 7: SIGN STANDARDS

POST SIGN **TABLE 7.1.2.B-2 SIGN TYPES**
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- SD-INT
- SD-LI
- SD-HI
- CV

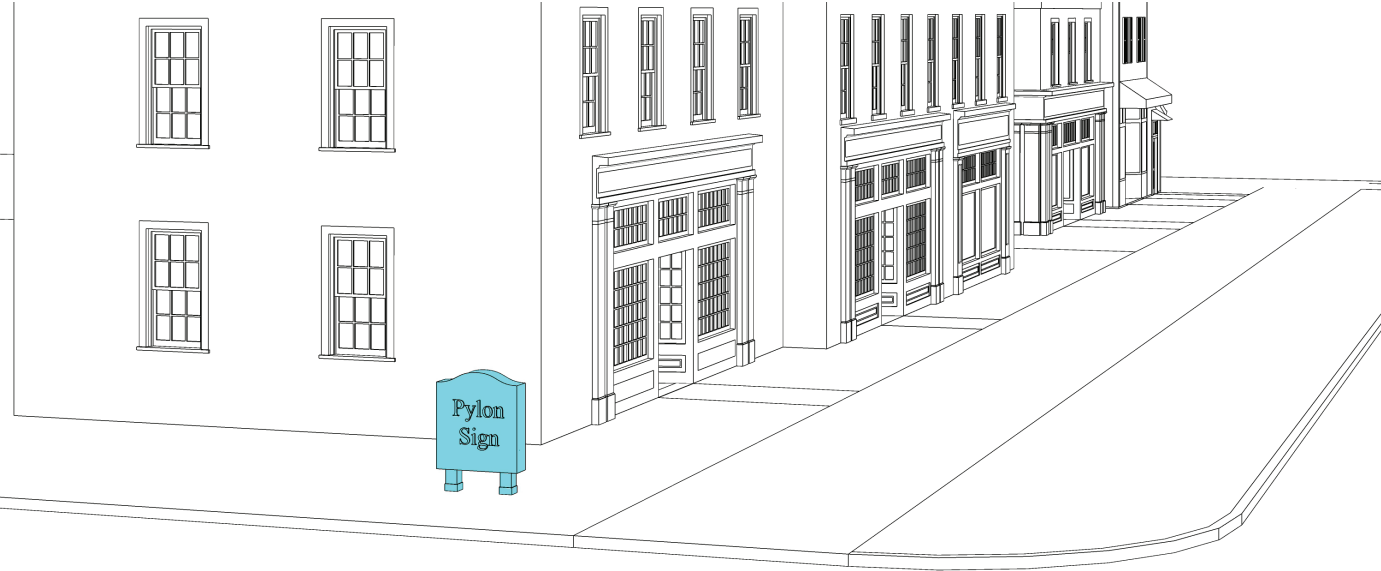
General Description
A Sign that is mounted on one or two posts in the First Lot Layer.

Dimensions	
Quantity (max)	1 per Building
Area	12 sf
Width / Height of Sign panel	max 48 in / max 40 in
Apex	6 ft
Letter Height	max 10 in

Additional Standards
In addition to all other applicable standards, each Post Sign allowed under this Article:

- a. may be mounted on one or two posts; and
- b. shall be set perpendicular to the Building Facade.

PYLON SIGN TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-3
- CD-4C
- CD-5C
- SD-INT
- SD-LI
- SD-HI

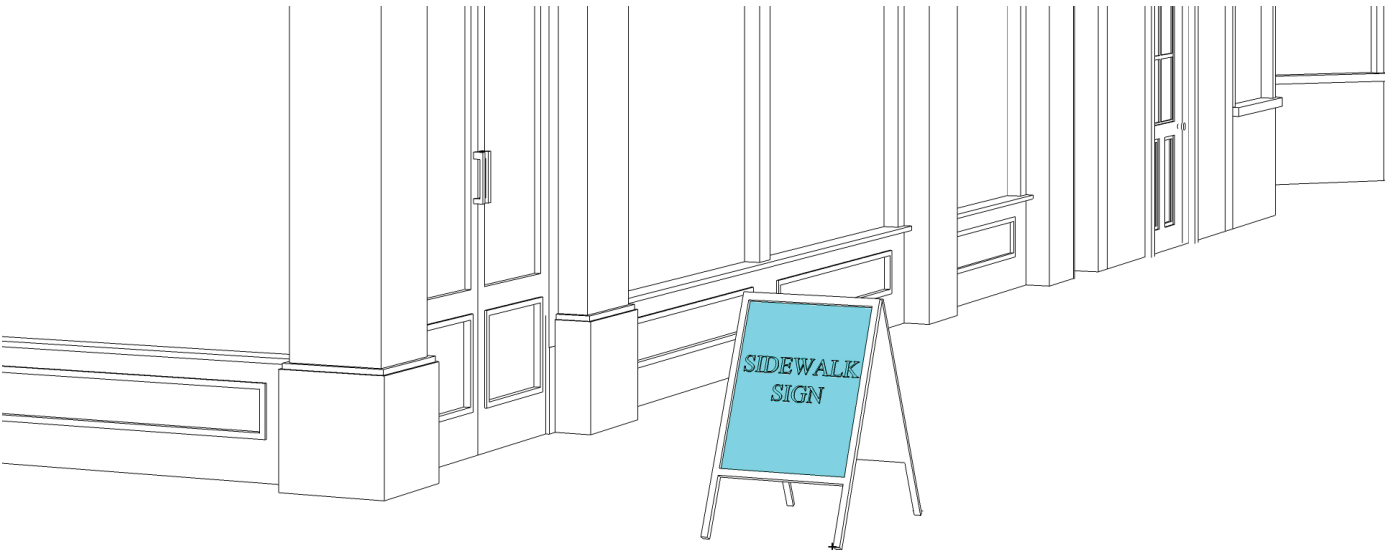
General Description	
A Freestanding Sign that is mounted on two finished poles.	
Dimensions	
Quantity (max)	1 per Frontage
Area	SD-INT: 300 sf Others: 40 sf
Height including Poles	CD-3, CD-4C & CD-5C: 15 ft SD-LI & SD-HI: 20 ft SD-INT: Not Regulated
Letter Height	Not Regulated
Finished Pole Face Size (each face)	12.5% of the width of the Sign

Additional Standards
In addition to all other applicable standards, each Pylon Sign allowed under this Article:
a. shall not be allowed if there is another Sign in the First Layer
b. poles shall be faced on each side with masonry, stone, or aluminum
c. Large scale commercial and multi-tenants (5 or more tenants) uses are allowed an additional 32 square feet.

ARTICLE 7: SIGN STANDARDS

SIDEWALK SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS

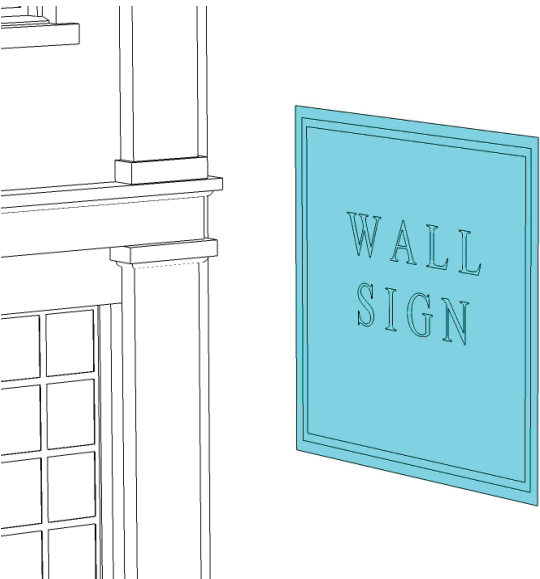


Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description	Additional Standards (continued)
A free-standing, double-sided Sign with lettering painted or applied to the surface, placed at the entrance to a Building in a primarily pedestrian environment.	c. shall be marked with the approved permit or permit number. Sidewalk signs without permits shall be disposed of at owner's expense; d. shall not be illuminated or have any moving parts; e. shall only be displayed between 9:00 a.m. .and 11:00 p.m. and shall be removed from public rights-of-way in the event of snow accumulation until such time that accumulation is removed; f. shall not be made of paper or cardboard; and g. may be removed by the City from the right-of-way for municipal purposes.
Dimensions	
Quantity (max)	1 per Business
Area	max 10 sf
Width / Height	max 30 in / max 48 in
Additional Standards	
In addition to all other applicable standards, each Sidewalk Sign allowed under this Article: a. shall be located directly in front of the space occupied by the sign permit holder; b. shall not be placed so as to cause the width of the sidewalk to be reduced below five feet in width, nor shall they be erected or maintained in a manner that prevents free ingress or egress from any door, window, or fire escape;	

WALL SIGN TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

A Sign that is flat against the Facade of a Secondary Frontage. These Signs are typically painted directly on the Building and contain a combination of text and graphic elements. They are intended to be visible from a greater distance and shall be accompanied by additional signage on the Facade at the Principal Frontage.

Dimensions

Quantity (max)	1 per Business
Area	max 32 sf
Depth / Projection	3 inches
Clearance	Not Regulated

Additional Standards

- In addition to all other applicable standards, each Wall Sign allowed under this Article:
- a. shall not project vertically above the roof line;
 - b. shall include only letters, background, lighting, and an optional logo, with such information shall consist only of the name and/or logo of the Businesses located in such Building;
 - c. shall have letters individually attached to the wall, on a separate background panel affixed to the wall, or painted, printed or etched on the same surface as the background; and
 - d. shall not obscure any architectural element and be in vertical alignment with the center of an architectural element such as a storefront window or entrance, or centered over the bay or overall space occupied by the Businesses.

ARTICLE 7: SIGN STANDARDS

WINDOW SIGN

TABLE 7.1.2.B-2 SIGN TYPES
SPECIFIC STANDARDS



Permitted Districts

- CD-4
- CD-4C
- CD-5
- CD-5C
- SD-INT
- SD-LI
- SD-HI
- PUD-MU
- CV

General Description

A Sign applied directly on the inside of a window or hanging inside a window.

Dimensions

Area	max 33% of glass onto which it is applied
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Additional Standards

- In addition to all other applicable standards, each Window Sign allowed under this Article:
- a. shall be of one of the following types:
 - i. Letters painted or applied directly on the window;
 - ii. Hanging Sign that hangs parallel to the window;
 - iii. Neon Sign; and
 - iv. Door Sign applied to or hanging inside the glass portion of an entrance doorway.
 - b. shall not interfere with the primary function of windows, which is to enable passersby and public safety personnel to see through windows into premises and view product displays; and
 - c. may list services and/or products sold on the premises, or provide phone numbers, operating hours or other messages, provided that the total aggregate area of these messages shall not exceed the area dimensional limit provided herein.

7.1.3 Permit Required.

Except for Exempt Signs, no Sign shall be erected on a Lot or Building Site, installed or placed on a Building, or otherwise exist on a Lot, Building Site or Building unless a Sign Permit has been issued for such Sign in accordance with Section 8.5.23 and such Sign Permit remains in full force and effect.

7.1.4 Violation, Enforcement, & Appeal.

Any violation of this Section 7.1 shall be enforceable and appealable in accordance with the enforcement and appeal provisions of this Ordinance.

7.1.5 Allowed Signs.

There shall be no Signs allowed other than as specified in this Section 7.1.

7.1.6 Address Signs

An Address Sign is required for each Building in compliance with **Table 7.1.2.B-1 (Sign Types – Summary)** and **Table 7.1.2.B-2 (Sign Types – Specific Standards)**.

7.1.7 Temporary Signs

In addition to all other Signs allowed in accordance with **Table 7.1.2.B-1 (Sign Types – Summary)** **Table 7.1.2.B-2 (Sign Types – Specific Standards)**, non-illuminated Temporary Signs are allowed without a Sign Permit subject to the following:

A. Single – Family, Two – Family, Owner-Occupied Multi-family Residential.

On any Lot or Building Site used as a single-family, two-family, or owner-occupied multi-family dwelling, up to 2 temporary Signs may be displayed on a pole or stake affixed to the ground. Such Signs shall not exceed 9 square feet in area per side, and the top of such Sign shall be no taller than 5 feet from ground.

B. Other Lots or Building Sites.

On any Lot or Building Site not used as a single-family, two-family, or owner occupied multi-family dwelling, up to 2 Temporary Signs may be displayed on a pole or stake affixed to the ground or on a banner affixed to a Building on the Lot or Building Site. Such Signs shall not exceed 24 square feet in area per side, unless the lot or site is greater than 10 acres in which a sign of 32 square feet is permitted. The top of the Sign shall be no more than 5 feet from ground level unless the Sign is a banner affixed to a building. If affixed to the ground, they shall be supported by posts and shall be spaced at least 15 feet apart from one another.

C. Materials & Condition.

Temporary Signs must be made of waterproof materials and kept in good repair.

D. Setback & Visibility.

Temporary Signs must be set back at least 5 feet from the property line and may not be placed in a manner that obstructs visibility for drivers on an adjacent street.

7.1.8 General Provisions Applicable to All Non-Exempt Signs

Without limitation to any applicable specific Sign standards, all Signs other than Exempt Signs shall comply with the following additional standards:

A. Materials, Fabrication, & Condition.

Signs shall be constructed of durable and weather-resistant material, shall be fabricated and installed by qualified Sign painters and mechanics, and shall be kept in good repair.

ARTICLE 7: SIGN STANDARDS

B. Lighting.

Certain signs may, but are not required to be, lighted unless otherwise specifically stated for the particular Sign type in **Table 7.1.2.B-2 (Sign Types – Specific Standards)**. Within districts CD-2, 3, and 3L signs shall not be internally illuminated or back-lighted. In all other districts, internal illumination is allowed for sign letters and insignias only. External illumination shall be allowed in all districts.

Electrical Elements.

Except for the light fixture itself, all electrical elements such as wires, conduits, junction boxes, transformers, ballasts, switches and panel boxes shall be concealed to extent possible from public view.

C. Mounting

Signs shall be mounted in such a way that their removal does not damage and/or alter the original surface of the Building. If the original surface of a Building is damaged during removal of a Sign, the damage must be repaired and the original surface condition restored concurrently.

D. Historic Signs

In addition to Sign types allowed pursuant to **Table 7.1.2.B-1 (Sign Types – Summary)** and **Table 7.1.2.B-2 (Sign Types – Specific Standards)**, Signs that are original to the Building and have been placed on the Building for at least fifty (50) years may remain or be reproduced. New signs regulated by **8.3.5.G-21** that mimic the original building sign in all aspects may be allowed. Any such Signs shall be kept in good repair, both in terms of appearance and operation.

E. Design Drawings

Design drawings of any proposed Sign must be submitted to the Building Official for review of compliance with this Section prior to fabrication and installation. Such drawings shall include Sign

location and size and shall indicate materials, color(s), hanging or mounting device, illumination scheme, and example of lettering.

F. Off-Premises Signs & Billboards

Billboards and Off-Premises Signs are prohibited except as otherwise permitted pursuant to this Article 7 or pursuant to TCA Title 54, Chapter 21.

G. Building Code

All Signs must comply with all applicable provisions of the Building Code.

H. Rights-of-Way

Except as expressly allowed under this Article, Signs are not permitted in public Rights-of-Way.

I. Portable Signs

Portable Signs other than Sidewalk Signs are not permitted.

J. Removal of Abandoned Signs

Except for Signs allowed pursuant to Section 7.1.8.E above, Commercial Signs and supports for Commercial Signs erected by entities that are no longer operating on the premises shall be removed by the owner, agent, or Person having beneficial use of the Sign or the property upon which the Sign is located within 30 days of written notice from the Building Official.

K. Signs in Upper Floor Windows.

Signs in upper floor windows are not permitted, except for Window Signs for an occupant that is separate from the occupant of the ground floor.

L. Removal of Non-Conforming Signs

All Signs that do not conform to this Section 7.1 shall be removed pursuant to Section 1.22.

M. Occupant Rear Door Sign

A Sign for the occupant shall be permitted at rear entrance doors if mounted flush against the Building and not exceeding six (6) square feet in size.

N. Compliance with Electrical Codes

All Signs erected, altered, or maintained in the City shall conform to City and state electrical codes.

O. Certain Lighting Prohibited

No Sign may be illuminated with or include animated, moving, intermittent, or flashing lights, or other active lighting.

P. Moving Elements / Components.

No Sign may have any moving component or element.

Q. Changeable Copy

Signs may have changeable copy with physically changeable letters or an Electronic Message Board allowed pursuant to Section 7.1.9.

R. Imitation of Traffic Safety Control Sign

No Sign may by design or arrangement imitate the size, color, lettering, illumination, word, phrase, or symbol of a Sign used as traffic safety control Sign.

S. Sign Setback Relative to Adjoining Lot or Building Site

Where a Lot or Building Site adjoins another Lot or Building Site, no Freestanding Sign shall be permitted within a triangle formed by the Side Lot or Building Site Line, the Front Lot or Building Site Line and a line beginning on the Side Lot or Building Site Line at the required front Setback distance and extended at 45 degrees to the Front Lot or Building Site Line for an existing Building. The established front Setback of an

Adjacent Building may be substituted for the required Street Yard prescribed within the applicable District.

T. Overhang into Right-of-Way

No Sign may be within or overhang a public right-of-way or required Setback other than a Wall Sign that does not overhang such right-of-way more than 15 inches, a Blade Sign, a Vertical Projecting Sign, a Marquee Sign, or an Awning Sign.

U. Obstruction of Traffic Sign or Control Device, or Street Name Sign; Visibility; Hazard

No Sign may obstruct a traffic-control device, traffic Sign, or street name Sign, block the vision of drivers at any Driveway, street intersection or crosswalk, or be unsafe or constitute a hazard of any type.

V. Affixing on Improper Support; Attachment

No Sign or Sign support may be affixed to a tree, rock, utility pole or other improper Sign support, or contain any attachment, other Sign, symbol, flag, pennant or other attention-getting device (other than the Sign itself).

7.1.9 Electronic Message Boards.

A. Districts Permitted

Electronic Message Boards shall be permitted, only as part of a permitted Monument Sign, Pylon Sign, or Marquee Sign. Such Signs shall be subject to the following conditions:

1. The electronic lighting shall not exceed a brightness level of 0.3 foot candles above ambient light as measured using a foot candle (lux) meter at a pre-set distance depending on sign area. The measurement distance shall be calculated with the following formula: the square root of the product of the sign area (in square feet) and 100. For example, the brightness of a 12 square foot sign

ARTICLE 7: SIGN STANDARDS

shall be measured at a distance of 34.6 feet. Light measurement shall be taken with the meter aimed directly at the sign message face, or the area of the sign emitting the brightest light.

2. The frequency of message and/or image change shall be no more than once every 8 seconds.

3. The transition or change sequence between messages and images shall appear instantaneous as perceived by the human eye, without any animation such as scrolling or flashing.

B. Area

The area of an Electronic Message Board shall be considered a part of the Sign of which it is a part for purposes of calculating the total sign area of such sign, and the area of the Electronic Message Board itself shall not exceed 50% of the total Sign area.

C. Distance Between

A new electronic message board may not be constructed or installed within 100 feet of any Residential structure, including Multi-Family Dwellings

7.1.10 Exempt Signs Not Requiring a Sign Permit.

The following Signs are Exempt Signs and do not require a Sign Permit:

1. Address Sign

One Address Sign per tenant or owner.

2. Certain Small Signs

On-premises Signs not exceeding four (4) square feet in area that are located along the route to a place or location within such premises or are provided for safety.

3. Governmental Signs

Signs placed by the City or any other governmental unit with jurisdiction over the area where the Sign

is placed.

4. Certain Integrated Signs

Signs carved into stone, concrete or similar material or made of bronze, aluminum, or other permanent construction and made an integral part of the Structure.

5. Temporary Signs

Temporary Signs allowed under Section 7.1.7.

7.1.11 Sign Area Computation.

The area of Sign as regulated herein shall be the computed area of the background upon which lettering, insignia or other devices are placed. Where said display area is the face of a Building, the area of such Sign shall be the product of the total width and the total height occupied by such lettering, devices or insignia. For Signs having two sides, the maximum display area shall be permitted on both sides and the total area of one side shall be deemed to be the total Sign area. The supporting Structures shall not be included in the area computation unless utilized as part of the total display area.

7.1.12 Responsibility for Signs.

All Signs located in the City shall be erected, altered and maintained by the owner of such Sign who shall assume full responsibility for any consequences or damage caused by the Sign. Signs and supports must be removed or corrected within 30 days after the Building Official sends written notice that an unsafe or improperly maintained Sign condition exists.

7.1.13 Non-Conforming Signs.

Any existing non-conforming sign or any Sign that becomes non-conforming as a result of the enactment or amendment of this Chapter shall be subject to the provisions of Section 1.22.

