

1. Agenda

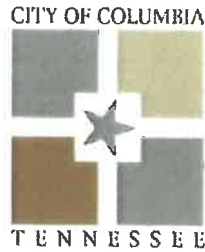
Documents:

[CMPC_20200108AGENDA \(PDF\).PDF](#)

2. Meeting Materials

Documents:

[CMPC_20200108AGENDAPACKET \(PDF\).PDF](#)



DEVELOPMENT SERVICES

To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: January 8, 2020 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, January 8, 2020 at 4:00 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

Call to Order.....Chairman
Roll Call.....Secretary
Approval of Minutes.....Commission Members
Welcome of Visitors.....Chairman

- 1. Review of Bonds and/or Letters of Credit.**
- 2. Acknowledgement of Official Communications of the Columbia City Council on annexation and zoning.**
- 3. Request from Cole Newton, T-Square Engineering, for revised Preliminary Plat approval of Cottages of Bear Creek Subdivision off Tom Sharp Road being Tax Map 74 Parcel 37.03.**
- 4. Request from Martin Engineering & Surveying to annex with a plan of services a portion of Tax Map 51 Parcel 32.00 fronting Nashville Highway and zone the entire parcel RM-1 PUD with a Master Development Plan.**
- 5. Request from Gerald Vick to annex with a plan of services 15.64 acres at 1316 Hampshire Pike being Tax Map 89 Parcel 39.00 with a zoning of RS-10.**
- 6. Request from Ragan Smith Associates for final plat approval with surety in the amount of \$118,500 for Taylor Landing Subdivision Phase 1B off Taylor Bend Road.**

- 7. Request from Martin Engineering for final plat approval with surety in the amount \$135,000 for Phase 1 of Summerdale Subdivision off Precast Drive.**
- 8. Request from Doss Brothers for revised PUD master site plan approval of 988 Baker Road being Tax Map 75 Parcel 11.00.**
- 9. Other Business.**

***Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting.***

CITY OF COLUMBIA



T E N N E S S E E

City of Columbia

Municipal Planning Commission

January 8, 2020

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City of Columbia
MUNICIPAL PLANNING COMMISSION
December 11, 2019

CALL TO ORDER:

Vice Chairman Randy McBroom called the December Planning Commission meeting for the City of Columbia to order at 4:00 p.m. The meeting was held in Council Chambers at City Hall.

ROLL CALL:

Quorum present and included the following:

Present were: Mr. Ray Pace
 Mr. Charlie Goatz
 Mr. Randy McBroom
 Mayor Chaz Molder

Absent was: Dr. Rose McClain
 Mr. Wesley Bryant

Other attendees: Mr. Paul Keltner, Development Services Director
 Mr. Glenn Harper, City Engineer
 Mr. Tony Massey, City Manager
 Mr. Tim Tisher, City Attorney
 Mr. Douglas Toney, Staff Engineer
 Mrs. Melissa Sanders, Planning Associate
 Mrs. Sandra Richardson, Secretary

Vice Chair Mr. Randy McBroom stated that items number seven and eight have been withdrawn.

APPROVAL OF MINUTES:

The November minutes were presented for approval. Mayor Chaz Molder made the motion to approve with Mr. Charlie Goatz seconding. Motion to approve the minutes passed with a vote of four to zero.

REVIEW OF BONDS:

Mr. Glenn Harper stated all letters of credit are in order or in the process of being updated.

City of Columbia
MUNICIPAL PLANNING COMMISSION
December 11, 2019

OFFICIAL COMMUNICATIONS:

AGENDA ITEM #2

Acknowledgement of Official Communication of the Columbia City Council on annexation and zoning.

Director Paul Keltner stated that all items moved forward to the second reading.

AGENDA ITEM #3

Case #19-0142/19-0181

Request from Harakas Development for Multi-Family Site Plan approval with a driveway exception request for property on Hampshire Pike being Tax Map 88N Group A Parcel 9.00.

Staff Recommendation:

Mr. Keltner gave the details of the staff report.

Discussion:

Mr. Jared Gray, Civil Design Consultants, Kurt Harakas, owner, and Eric Powers, Integrous Architecture, were present to answer questions. Discussion included additional parking, studio appearance, bedrooms, parking, handicap, one bedroom unit set up, design, Columbia State name association, possibly, nonstudent applicants possibly, meeting standards, surrounding mix, location, landscaping, retention pond, and compatibility. Motion to approve was made by Mayor Molder, and seconded by Mr. Goatz. Motion passed three to one with Mr. Pace voting nay.

AGENDA ITEM #4

Case #19-0182

Request from T-Square Engineering for Final Plat approval with surety amount of \$190,000 for Homestead at Carters Station section 2 phase 3 and section 5 phase 1 being a portion of Tax Map 41 Parcel 15.00.

Staff Recommendation:

Mr. Keltner gave the details of the staff report. Staff finds this request to be compliant subject to staff notes.

Discussion:

Discussion included final plat approval, council, recommendation, overseeing following through with the master plan, entrance to section five, safety, Master plan overrides, modifications, and Frye Road, phases.

City of Columbia
MUNICIPAL PLANNING COMMISSION

December 11, 2019

Once Council makes approval it is binding, importance of PUDS, traffic improvement, Village at Carter's Station, and putting lights in first instead of at the end. Mr. Keltner stated that at a Master Plan level staff will provide a traffic study, and that traffic study will give recommendations. If the Commission want to modify the recommendations they have the right to do that. If the Council thinks where it is saying section five is where it should come in and you believe it should come in at section three, then the Commission can make that a part of the recommendation to Council. Other discussion, Nashville Highway, traffic control devises, slowing traffic down, and safety factors.

Motion to approve was made by Mr. Goatz based on staff finding the request to be compliant. Mayor Molder seconded the motion. The motion passed three to one, with Mr. Pace voting nay.

AGENDA ITEM #5

Case #19-0183

Request from Martin Engineering and Surveying for master plan revision of Summerdale Subdivision off Precast Drive being Tax Map 114 Parcel 19.00.

Staff Recommendation:

Mr. Keltner gave the details of the staff report, and staff finds this request to be compliant.

Discussion:

Discussion included, revision to the Master Plan, the plan conforming to driveway standards, mail kiosk, double car and, single car garages. Mr. Goatz made the motion to approve subject to staff comments, with Mayor Molder seconding. The motion passed four to zero.

AGENDA ITEM #6

Case #19-0184

Request from Cole Newton, T-Square Engineering, for revised Preliminary Plat approval of Cottages of Bear Creek Subdivision off Tom Sharp Road being Tax Map 74 Parcel 37.03.

Staff Recommendation:

Mr. Keltner gave the details of the staff report. Staff noticed the modified house plans from the original submittal when they were submitted after Technical meeting. One of the things about conservation subdivisions it is similar to a PUD to the fact that this is a traditional zoning, but you are giving a special right to do a much smaller lot to reduce setbacks in trade for open space. Looking at conservative subdivisions, it talks about having neighborhoods that have strong neighborhood identity, and character in your neighborhood. Looking at the plans submitted it does cause concern for staff on some of these models. The

City of Columbia
MUNICIPAL PLANNING COMMISSION

December 11, 2019

Commission is giving a lot of rights here. The request came back to the Commission to approve it under one thing, but the homes are completely different style homes that is being asked for now. Staff just wanted to bring this to your attention.

Discussion:

Mr. Cole Newton, T-Square Engineering, was present to answer questions. Discussion included the model style home, Bahama, is plain, 5,000 square feet lots, conservation overlay, the original elevations, basements, materials, renderings, buffers, open space, and having a unique identity. Mr. McBroom made a motion to defer, and seconded by Mr. Goatz. The motion to defer passed four to zero.

AGENDA ITEM #7

Case #19-0177

Request from Cole Newton, T-Square Engineering, to rezone 102 Rinks Circle being Tax Map 90J Group C Parcel 3.00 from R-10 to an RM-1.

This item was deferred.

AGENDA ITEM #8

Case #19-0180

Request from Martin Engineering & Surveying to annex with a plan of services a portion of Tax Map 51 Parcel 32.00 fronting Nashville Highway and zone the entire parcel RM-1 PUD with a Master Development Plan.

This Item Is Withdrawn.

AGENDA ITEM #9

Case #19-0185

Request from Jamie Reed for preliminary and Final Plat approval of 3 lots on the corner of Williamsport Pike and Hicks Lane being Tax Map 88 Parcel 3.03.

Staff Recommendation:

Mr. Keltner gave the details of the staff report.

Discussion:

Mr. Jamie Reed was present to answer questions. Discussion was on the driveway exception still being required, and water service.

Mayor Molder made the motion to approve subject to Technical comments. Mr. Pace seconded the motion. The motion passed with a vote of three to zero with Mr. Goatz abstaining.

OTHER BUSINESS:

City of Columbia
MUNICIPAL PLANNING COMMISSION
December 11, 2019

- a. Mr. McBroom inquired about Autumn Brook at Theta Pike. There was suppose to be a guardrail put up. Further discussion included the drop off, moving rock, thirty inches for pedestrian guardrail, sloping, material, jack hammering, and pulling the audio for review and clarification, to report back to this Commission. Smith Douglas Home, is the builder.
- b. Mr. Harper, City Engineer discussed a previously approved driveway exception and exchange, the property's change of use and its current status on James Campbell boulevard, and discussions with TDOT.
- c. Election of officers: Wesley Bryant was nominated for Chairman. Mayor Molder made the motion and Mr. McBroom seconded. Motion passed four to zero. Mr. McBroom nominated Mr. Goatz as Vice Chair. Mr. Pace seconded the motion. The motion passed four to zero.
Mayor Molder nominated staff as Secretary, and Mr. McBroom seconded. The motion passed four to zero.
- d. Mayor Molder stated that Ken Wiles will be replacing Mr. Mark King's position on the Commission, subject to tomorrow night's Council approval.

ADJOURNMENT:

Mr. McBroom made the motion to adjourn, with Mr. Goatz seconding the motion.
Meeting adjourned at 5:04 p.m.

Planning Commission Chairman

Date

CURRENT LETTERS OF CREDIT

JANUARY 2, 2020

NO.	EXP. DATE	DEVELOPER	DEVELOPMENT	AMOUNT	FINAL PLAT	ORIGINAL SURETY AMOUNT
1	09.09.2016	Sterling Martin	Colter Place Subdivison, Section 1 (rds/drainage)	\$ 44,502.69	9/15/2015	\$44,502.69
2	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 3	\$ 55,000.00	1/25/2018	\$55,000.00
3	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 4	\$ 61,000.00	1/25/2018	\$61,000.00
4	05.30.2018	FP,TCI, CCS, LLC	Homestead Carters's Creek Station Sec.1 / Phase1C	\$ 211,000.00	6/22/2017	\$211,000.00
5	08.25.2018	Shaw Enterprises - (cashier's check)	The Landings Subdivision, Phase 2, Section 2	\$ 108,000.00	10/10/2017	\$108,000.00
6	11.09.2018	McBroom Family Limited Partnership	Wellington Plac Subdivision, Section 2	\$ 25,000.00	7/6/2005	\$100,000.00
7	12.13.2018	Honey Farms Management, LLC	Honey Farm Townhomes- Phase 1A (completion of roads)	\$ 20,000.00	1/11/2017	\$20,000.00
8	12.19.2018	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 1	\$ 141,000.00	2/1/2018	\$141,000.00
9	12.19.2018	Estate of Cyril Evers	Fieldstone Farms - Section 4 (roads/drainage)	\$ 21,000.00	8/29/2008	\$210,000.00
10	01.12.2019	Honey Farms Management, LLC	Honey Farms Townhomes Phase 2, Section 2 (roads)	\$ 40,000.00		\$40,000.00
11	04.16.2019	FP,TCI, CCS, LLC	Homestead @Carter's Creek Station, Section 2, Phase 1B	\$ 65,000.00		\$65,000.00
12	05.05.2019	General Homes of Columbia, LLC	Armstrong Meadow, Phase 1, Section 3 (roadsd/drainage)	\$ 203,500.00	6/27/2017	\$203,500.00
13	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivision, Phase 2, Section 5	\$ 66,000.00	6/27/2018	\$66,000.00
14	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivisionm Phase 2, Sectin 6	\$ 49,000.00	6/27/2018	\$49,000.00
15	08.14.2019	Fortuna Capital, LLC	Grove Park Subdivison, Phase 6 (roads and drainage)	\$ 120,000.00	10/2/2018	\$120,000.00
16	09.07.2019	J.D.Eartherly and Charles Raines	Honey Farms Subdivision, Phase 2, Section 1	\$ 7,500.00	5/19/2017	\$75,000.00
17	09.07.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 1, Section 3	\$ 11,300.00	9/28/2016	\$113,000.00
18	10.10.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 2, Section 7	\$ 70,000.00	10/17/2018	\$70,000.00
19	01.24.2020	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 2A	\$ 87,000.00		\$87,000.00
20	02.27.2020	JD Eatherly & Charles Raines	Honey Farm Subdivision, Phase 2, Section 2	\$ 9,900.00	9/19/2017	\$99,000.00
21	03.07.2020	LPT, LLC	Greystone Subdivision	\$ 166,500.00	5/18/2017	\$166,500.00
22	04.04.2020	Victor Beck, III (B&B Development)	Cherry Springs Subdivision - Roads & Drainage	\$ 10,600.00	12/6/2004	\$98,500.00
23	04.10.2020	Fortuna Capital, LLC	Grove Park Subdivision - Phase 4	\$ 21,000.00	10/9/2017	\$211,000.00
24	04.25.2020	Arlington Heights General Partnership	Arlington Heights Subdivision, Phase 2, Section 2	\$ 105,000.00		\$105,000.00
25	05.09.2020	Arlington Heights General Partnership	Arlington Heights Subdivision, Phase 1, Section 2	\$ 106,000.00	6/26/2018	\$106,000.00
26	05.09.2020	Charles Raines Construction, LLC	Honey Farms Subdivision, Phase 2, Section 8	\$ 145,000.00	5/14/2019	\$145,000.00
27	05.20.2020	Arden Village, LLC	Arden Village - Section 2, Phase 2	\$ 165,000.00	6/13/2017	\$165,000.00
28	05.21.2020	FP,TCI,CCS,LLC	Homestead @ Carter's Station, Section 4, Phase 1B	\$ 120,000.00	6/29/2018	\$120,000.00
29	05.21.2020	FP, TCI,CCS, LLC	Homestead @ Carter's Station, Section 4, Phase 1A	\$ 134,000.00	6/29/2018	\$134,000.00
30	05.23.2020	Charles Raines Construction, LLC	Honey Farms Subdivision, Phase 2, Section 10	\$ 103,000.00	6/21/2019	\$103,000.00
31	05.23.2020	Columbia Properties, LLC	Polk Place PUD Subdivision, Phase 1 (roads & drainage)	\$ 28,000.00	9/19/2019	\$28,000.00
32	06.06.2020	SDHomes of Nashville, LLC	Autumn Brook Subdivision - (roads and drainage)	\$ 103,000.00	6/6/2019	\$103,000.00
33	06.20.2020	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Secion 4 , Phase 2	\$ 121,000.00	6/21/2019	\$121,000.00
34	06.20.2020	Charles Raines Construction, LLC	Honey Farms, Phase 2, Section 9	\$ 96,000.00	8/7/2019	\$96,000.00
35	06.30.2020	Meritage Homes of Tenn., Inc.	Taylor Bend - (roads and drainage)	\$ 303,000.00		\$303,000.00
36	07.31.2020	Haury & Smith Contractors, Inc.	The Highlands of Bear Creek - Phase 1 (roads/drainage)	\$ 25,000.00	4/5/2012	\$250,184.00
37	08.29.2020	D.R. Horton, Inc.	Highland Bear Creek , Phase 2, Section 1	\$ 8,200.00	9/12/2017	\$82,000.00
38	09.05.2020	Campbell and Lovell Rentals	Savannah Cove Subdivision - roads/drainage	\$ 45,000.00	12/17/2007	\$160,260.00
39	09.09.2020	FP,TCI,CCS,LLC	Homestead @ Carter's Station, Section 1, Phase 1C	\$ 21,000.00	6/22/2017	\$121,000.00
40	09.11.2020	FP, TCI,CCS, LLC	Homestead @ Carter's Station, Section 2, Phase 2B	\$ 111,000.00	9/19/2019	\$111,000.00
41	09.11.2020	Shaw Enterprises, LLC	Elan Subdivision, Phase 1 (roads & drainage)	\$ 157,000.00	9/30/2019	\$157,000.00
42	09.30.2020	Meritage Homes of Tenn., Inc.	Taylor Landing, Phase 1A (roads and drainage)	\$ 90,000.00		\$90,000.00
43	11.18.2020	P & L Development	Summerdale, Phase 1 (roads & drainage)	\$ 135,000.00		\$135,000.00
44	11.19.2020	FP,TCI,CCS,LLC	Homestead@Carter's Creek Station - Sections 2.3 & 5.1	\$ 190,000.00		\$190,000.00
45	11.20.2020	D.R.Horton, Inc.	The Highlands of Bear Creek - Phase 2, Section 2	\$ 25,900.00	11/17/2017	\$259,000.00
46	11.30.2020	Meritage Homes of Tenn., Inc.	Taylor Landing, Phase 1B (roads & drainage)	\$ 118,500.00		\$118,500.00

Case Number:

19-0184

Request:

Request from Cole Newton, T-Square Engineering, for revised Preliminary Plat approval of Cottages of Bear Creek Subdivision off Tom Sharp Road being Tax Map 74 Parcel 37.03.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

2019-0184

APPLICANT/PROPERTY OWNER

T-Square Engineering

PUBLIC HEARING DATE

NA

PROPERTY ADDRESS/LOCATION

Tom Sharp Road**BRIEF SUMMARY OF REQUEST**

This revised conservation subdivision request comes after a previously approved plan was submitted in 2017. This proposed plan has a similar number of single family units, but have removed the rear loaded garage option thus eliminating the secondary access roads throughout the site. Removing that option has modified the house floor plan from the original submittal.

Staff Notes:

Being a conservation minded subdivision consideration should be given to a stronger landscape package overall and per lot.

The homes have greatly changed with a forward garage style and materials for homes that lack character which does not build strong neighborhood identity as requested in the standards of a conservation subdivision.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RS-10 Residential	Residential	Residential	NA	40 acres

COMPATIBILITY with the COMPREHENSIVE PLAN**NA****PROPERTY HISTORY**

This property is undeveloped.

COMPATIBILITY with the ZONING ORDINANCE

Staff finds this request to not be compliant subject to city policies.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

















COTTAGES OF BEAR CREEK

(CONSERVATION SUBDIVISION)

TOM SHARP ROAD
Columbia, Maury County, Tennessee

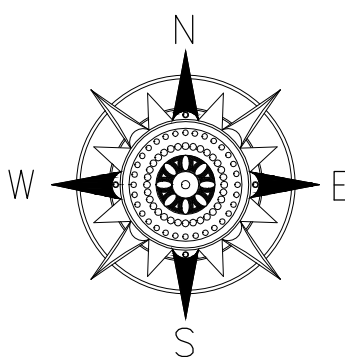
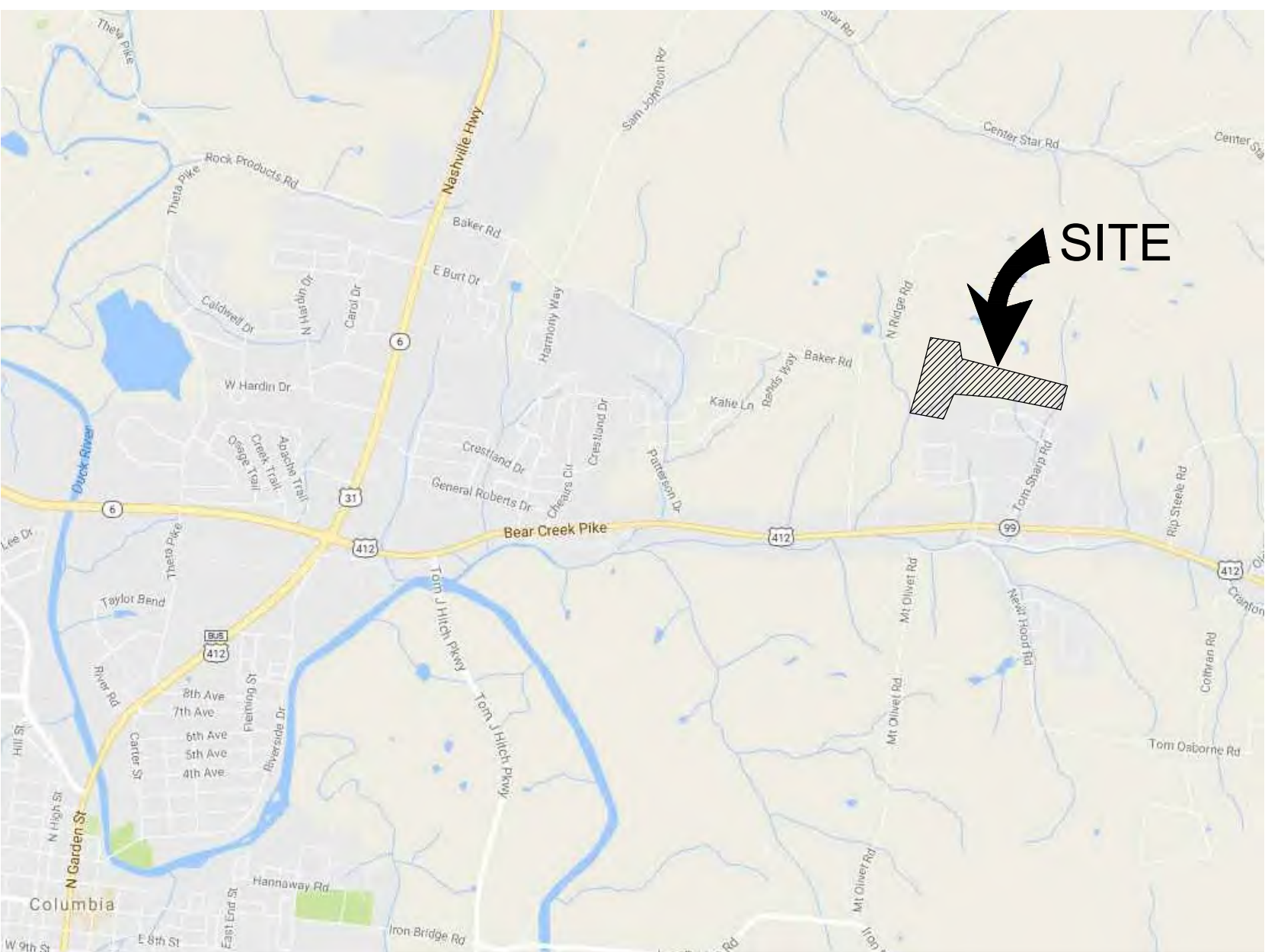
Tax Map 74, PARCEL 37.03 and 37.04, +/- 40.5 ACRES
R10 ZONING
PRELIMINARY PLAT

Owner / Developer: TENNESEE REGIONAL HOLDING
LLC and RIVERSTONE HOMES LLC,
3452 JIM WARREN ROAD
SPRING HILL TN, 37174
615-260-5523

Engineer:
T-SQUARE ENGINEERING
701 WEST MAIN STREET • FRANKLIN, TN • 615-678-8212 • WWW.T2-ENG.COM
THE PROPERTY DESCRIBED ON THIS PLAN DOES NOT LIE WITH
AN AREA OF SPECIAL FLOOD HAZARD AS DELINEATED ON THE
CURRENT FLOOD INSURANCE RATE MAP, PREPARED BY THE
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), PANEL
NUMBER: 47119C0190E, REVISED: APRIL 16, 2007

TRAFFIC STUDY WAS SUBMITTED 12/1/2016

Surveyor: S & A Surveying, Inc.
306 Bluegrass Circle
Lebanon, TN, 37090
(615) 394-7564



VICINITY MAP
N.T.S.

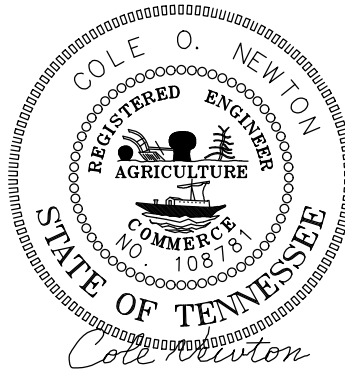
- Sheet Schedule
- C-0.0 Cover Sheet
 - C-1.0 Existing Conditions
 - C-2.1 Preliminary Plat Overall
 - C-2.2 Parcel Line and Curve Data
 - C-2.3 Preliminary Plat Detail
 - C-9.0 Off Site Roadway Plan

OWNER OF RECORD
TENNESEE REGIONAL HOLDING LLC (37.03) and RIVERSTONE HOMES LLC AND JAN WATSON (37.04) Tax Parcel ID: 060074 03703 and 060074 03704
APPLICANT
TENNESEE REGIONAL HOLDING LLC and RIVERSTONE HOMES LLC, 3452 JIM WARREN ROAD SPRING HILL, TN, 37174 615-260-5523

DATE:	NO.	DATE	REVISIONS
11/18/2019	1	12/2/19	REVISED PER CITY COMMENTS
SCALE:			
AS SHOWN			
DRAWN BY:			
T-SQUARE			
REVIEWER:			
TET			

COVER SHEET
SUBDIVISION PLAN
MAP 74, PARCEL 37.03
MAURY COUNTY, TENNESSEE

COTTAGES OF BEAR CREEK



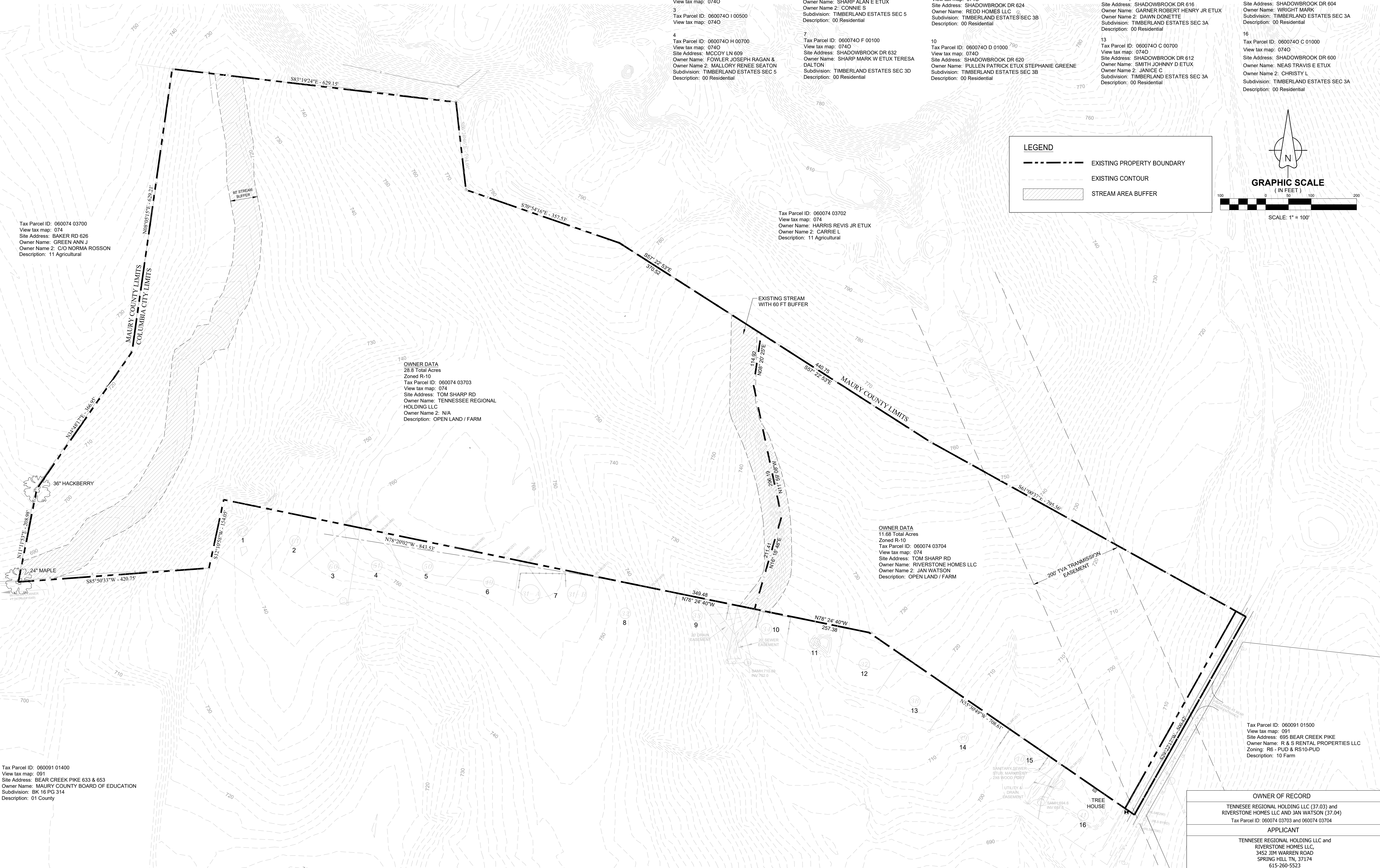
12-2-19

PROJECT
16-0628

SHEET
C-0.0

- NOTES:
1. THE SITE DOES NOT CONTAIN ANY KNOWN BUILDINGS OR STRUCTURES, BROWNFIELDS, WASTE SITES, PAVED AREAS OR CULTIVATED LANDS.
 2. THE SITE DOES CONTAIN A TENNESSEE VALLEY AUTHORITY ELECTRICAL EASEMENT (SHOWN ON PLANS - 200 FT WIDE).
 3. THE SITE DOES NOT CONTAIN ANY KNOWN CRITICAL HABITAT AREAS FOR RARE, THREATENED OR ENDANGERED SPECIES.
 4. THE SITE DOES NOT CONTAIN ANY KNOWN UNIQUE GEOLOGICAL RESOURCES.
 5. THE SITE DOES NOT CONTAIN ANY KNOWN CULTURAL RESOURCES, HISTORICALLY IMPORTANT LANDSCAPES OR ARCHEOLOGICAL FEATURES.

6. HOME OWNERS ASSOCIATION TO MAINTAIN ALL OPEN SPACE (PRIMARY AND SECONDARY) / BUFFER AREA AND ENTRANCE LANDSCAPING
7. CONTOURS SHOWN ARE FROM GIS DATA PROVIDED BY THE CITY OF COLUMBIA. THE BOUNDARY SHOWN IS FROM AN ACTUAL FIELD RUN SURVEY. ADDITIONAL TOPOGRAPHIC DATA WILL BE USED IN THE FULL CONSTRUCTION PLAN DESIGN.
8. HOME OWNERS ASSOCIATION TO MAINTAIN ALL OPEN SPACE (PRIMARY AND SECONDARY) / BUFFER AREA AND ENTRANCE LANDSCAPING



ADJACENT PROPERTY OWNERS

1 Tax Parcel ID: 0600740 H 00700
View tax map: 0740
Site Address: MCCOY LN 609
Owner Name: FOWLER JOSEPH RAGAN &
Owner Name 2: MALLORY RENEE SEATON
Subdivision: TIMBERLAND ESTATES SEC 5

2 Tax Parcel ID: 0600740 I 00600
View tax map: 0740

3 Tax Parcel ID: 0600740 I 00500
View tax map: 0740

4 Tax Parcel ID: 0600740 H 00700
View tax map: 0740
Site Address: MCCOY LN 609
Owner Name: FOWLER JOSEPH RAGAN &
Owner Name 2: MALLORY RENEE SEATON
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

5 Tax Parcel ID: 0600740 H 00600
View tax map: 0740
Site Address: MCCOY LN 610
Owner Name: BROWN MICHAEL ALAN
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

6 Tax Parcel ID: 0600740 H 00500
View tax map: 0740
Site Address: MCCOY LN
Owner Name: SHARP ALAN E ETUX
Owner Name 2: CONNIE S
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

7 Tax Parcel ID: 0600740 F 00100
View tax map: 0740
Site Address: SHADOWBROOK DR 632
Owner Name: SHARP MARK W ETUX TERESA DALTON
Subdivision: TIMBERLAND ESTATES SEC 3D
Description: 00 Residential

8 Tax Parcel ID: 0600740 D 00800
View tax map: 0740
Site Address: SHADOWBROOK DR 628
Owner Name: HEICHELBECH DANIEL A JR ETUX
Owner Name 2: JACLYN R
Subdivision: TIMBERLAND ESTATES SEC 3B
Description: 00 Residential

9 Tax Parcel ID: 0600740 D 00900
View tax map: 0740
Site Address: SHADOWBROOK DR 624
Owner Name: REDD HOMES LLC
Subdivision: TIMBERLAND ESTATES SEC 3B
Description: 00 Residential

10 Tax Parcel ID: 0600740 D 01000
View tax map: 0740
Site Address: SHADOWBROOK DR 620
Owner Name: PULLEN PATRICK ETUX STEPHANIE GREENE
Subdivision: TIMBERLAND ESTATES SEC 3B
Description: 00 Residential

11 Tax Parcel ID: 0600740 D 01200
View tax map: 0740
Site Address: SHADOWBROOK DR 618
Owner Name: LANIER CLIFFORD W JR ETUX
Owner Name 2: JENNIFER O
Subdivision: TIMBERLAND ESTATES SEC 3B
Description: 00 Residential

12 Tax Parcel ID: 0600740 C 00600
View tax map: 0740
Site Address: SHADOWBROOK DR 616
Owner Name: GARNER ROBERT HENRY JR ETUX
Owner Name 2: DAWN DONETTE
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

13 Tax Parcel ID: 0600740 C 00700
View tax map: 0740
Site Address: SHADOWBROOK DR 612
Owner Name: SMITH JOHNNY D ETUX
Owner Name 2: JANICE C
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

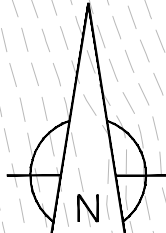
14 Tax Parcel ID: 0600740 C 00800
View tax map: 0740
Site Address: SHADOWBROOK DR 608
Owner Name: DURAN ROBERT B ETUX JENNIFER W
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

15 Tax Parcel ID: 0600740 C 00900
View tax map: 0740
Site Address: SHADOWBROOK DR 604
Owner Name: WRIGHT MARK
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

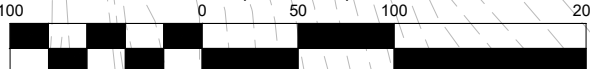
16 Tax Parcel ID: 0600740 C 01000
View tax map: 0740
Site Address: SHADOWBROOK DR 600
Owner Name: NEAS TRAVIS E ETUX
Owner Name 2: CHRISTY L
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING CONTOUR
- STREAM AREA BUFFER



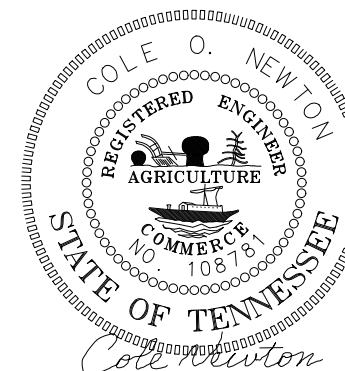
GRAPHIC SCALE
(IN FEET)



SCALE: 1" = 100'

EXISTING CONDITIONS

SUBDIVISION PLAN
MAP 74, PARCEL 37.03
MAURY COUNTY, TENNESSEE



12-2-19

PROJECT
16-0628

SHEET
C-1.1

- NOTES:
1. THE SITE DOES NOT CONTAIN ANY KNOWN BUILDINGS OR STRUCTURES, BROWNFIELDS, WASTE SITES, PAVED AREAS OR CULTIVATED LANDS.
 2. THE SITE DOES CONTAIN A TENNESSEE VALLEY AUTHORITY ELECTRICAL EASEMENT (SHOWN ON PLANS - 200 FT WIDE).
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1
Tax Parcel ID: 0600740 H 00700
View tax map: 0740
Site Address: MCCOY LN 609
Owner Name: MCCOY JOSEPH RAGAN &
Owner Name 2: MALLORY RENEE SEATON
Subdivision: TIMBERLAND ESTATES SEC 5

2
Tax Parcel ID: 0600740 I 00600
View tax map: 0740

3
Tax Parcel ID: 0600740 I 00500
View tax map: 0740

4
Tax Parcel ID: 0600740 H 00700
View tax map: 0740
Site Address: MCCOY LN 609
Owner Name: MCCOY JOSEPH RAGAN &
Owner Name 2: MALLORY RENEE SEATON
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

5
Tax Parcel ID: 0600740 H 00600
View tax map: 0740
Site Address: MCCOY LN 610
Owner Name: MCCOY MICHAEL ALAN
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

6
Tax Parcel ID: 0600740 H 00500
View tax map: 0740
Site Address: MCCOY LN
Owner Name: SHARP ALAN E ETUX
Owner Name 2: CONNIE S
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

7
Tax Parcel ID: 0600740 F 00100
View tax map: 0740
Site Address: SHADOWBROOK DR 632
Owner Name: SHARP MARK W ETUX TERESA
DALTON
Subdivision: TIMBERLAND ESTATES SEC 3D
Description: 00 Residential

8
Tax Parcel ID: 0600740 D 00800
View tax map: 0740
Site Address: SHADOWBROOK DR 628
Owner Name: HEICHELBECH DANIEL A JR ETUX
Owner Name 2: JACLYN R
Subdivision: TIMBERLAND ESTATES SEC 3B
Description: 00 Residential

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Tax Parcel ID: 0600740 D 01000
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Site Address: SHADOWBROOK DR 620
Owner Name: PULLEN PATRICK ETUX STEPHANIE GREENE
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Tax Parcel ID: 0600740 D 01200
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Site Address: SHADOWBROOK DR 618
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Description: 00 Residential

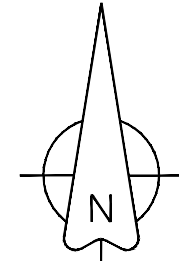
13
Tax Parcel ID: 0600740 C 00700
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Owner Name: SMITH JOHNNY D ETUX
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Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

14
Tax Parcel ID: 0600740 C 00800
View tax map: 0740
Site Address: SHADOWBROOK DR 608
Owner Name: DURAN ROBERT B ETUX JENNIFER W
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

16
Tax Parcel ID: 0600740 C 01000
View tax map: 0740
Site Address: SHADOWBROOK DR 600
Owner Name: NEAS TRAVIS E ETUX
Owner Name 2: CHRISTY L
Subdivision: TIMBERLAND ESTATES SEC 3A
Description: 00 Residential

LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING CONTOUR
- STREAM AREA BUFFER
- PROPOSED CONTOUR
- PROPOSED 8" WATER LINE
- PROPOSED WATER SERVICE METER
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED LOT LINES
- PROPOSED DRAINAGE EASEMENT
- PROPOSED PUBLIC UTILITY EASEMENT
- PRIMARY OPEN SPACE
- SECONDARY OPEN SPACE



GRAPHIC SCALE
(IN FEET)



SCALE: 1" = 100'

CONSERVATION RESIDENTIAL DEVELOPMENT REQUIREMENTS & SITE DATA

TOTAL ACREAGE	40.5 AC +/-
PROPERTY ZONING	R-10
ADJ. PROP. ZONING	R-10
PROPOSED NUMBER OF LOTS	67
LOT SIZE (min.) SF (AC)	5,000 (0.11)
OPEN SPACE REQD	50% (20.25 AC)
MIN. YARD REQD	400 SQFT
OPEN SPACE PROVIDED	65% (26.3 AC)
PRIMARY OPEN SPACE	21.42
SECONDARY OPEN SPACE	4.87 AC
ADDITIONAL BUFFER SPACE	0.25 AC
ALLOWABLE DENSITY	146 UNITS
PROPOSED DENSITY	67 UNITS

- NOTES:
1. ALL OPEN SPACE BOTH PRIMARY AND SECONDARY, TO BE MAINTAINED BY THE HOA.
 - 1.1. SECONDARY OPEN SPACE SHOWN ON THE PLAN IS PROPOSED TO BE BUFFER AREAS, WOODLANDS AND FIELDS.
 2. THE LANDSCAPE BUFFER ALONG THE TOM SHARP ROAD TO BE MAINTAINED BY THE HOA.

Lot	Square Feet	ACRES
1	6806.70 SF	0.16 AC
2	6732.87 SF	0.15 AC
3	6632.82 SF	0.15 AC
4	6311.45 SF	0.14 AC
5	6088.56 SF	0.14 AC
6	5089.34 SF	0.14 AC
7	5036.37 SF	0.14 AC
8	5073.33 SF	0.13 AC
9	5010.44 SF	0.13 AC
10	5747.48 SF	0.13 AC
11	5684.51 SF	0.13 AC
12	6241.42 SF	0.21 AC
13	8747.73 SF	0.20 AC
14	5343.51 SF	0.12 AC
15	5200.86 SF	0.12 AC
16	5216.36 SF	0.12 AC
17	5180.31 SF	0.12 AC
18	5618.18 SF	0.13 AC
19	7229.21 SF	0.17 AC
20	5496.77 SF	0.13 AC
21	5716.80 SF	0.13 AC
22	5951.46 SF	0.14 AC
23	6184.73 SF	0.14 AC
24	6261.28 SF	0.14 AC
25	5533.88 SF	0.13 AC

Lot	Square Feet	ACRES
26	9885.39 SF	0.23 AC
27	13940.88 SF	0.32 AC
28	12295.98 SF	0.28 AC
29	6961.66 SF	0.16 AC
30	5580.12 SF	0.13 AC
31	6353.62 SF	0.15 AC
32	5560.89 SF	0.14 AC
33	6234.01 SF	0.14 AC
34	6144.34 SF	0.14 AC
35	7702.71 SF	0.18 AC
36	8709.63 SF	0.20 AC
37	7292.18 SF	0.17 AC
38	5809.44 SF	0.13 AC
39	5530.03 SF	0.13 AC
40	5746.76 SF	0.13 AC
41	8408.86 SF	0.19 AC
42	7475.06 SF	0.17 AC
43	7068.01 SF	0.16 AC
44	6872.11 SF	0.16 AC
45	5983.48 SF	0.13 AC
46	7248.69 SF	0.17 AC
47	6874.69 SF	0.16 AC
48	6250.01 SF	0.14 AC
49	6250.01 SF	0.14 AC
50	6251.99 SF	0.14 AC

Lot	Square Feet	ACRES
51	8961.01 SF	0.21 AC
52	6000.00 SF	0.14 AC
53	6000.00 SF	0.14 AC
54	6000.00 SF	0.14 AC
55	8181.97 SF	0.19 AC
56	6010.84 SF	0.14 AC
57	6042.49 SF	0.14 AC
58	6055.22 SF	0.14 AC
59	6074.26 SF	0.14 AC
60	6093.30 SF	0.14 AC
61	6112.33 SF	0.14 AC
62	6131.37 SF	0.14 AC
63	6150.44 SF	0.14 AC
64	6167.52 SF	0.14 AC
65	6240.29 SF	0.14 AC
66	6476.76 SF	0.15 AC
67	6746.47 SF	0.15 AC

Lot	Square Feet	ACRES
OS-1	57021.56 SF	1.31 AC
OS-2	45902.08 SF	1.05 AC
OS-3	8326.94 SF	0.19 AC
OS-4	95556.27 SF	2.20 AC
OS-7	26728.66 SF	0.61 AC
OS-8	153484.06 SF	3.52 AC

Tax Parcel ID: 060091 01400
View tax map: 091
Site Address: BEAR CREEK PIKE 633 & 653
Owner Name: MAURY COUNTY BOARD OF EDUCATION
Subdivision: BK 16 PG 314
Description: 01 County

Tax Parcel ID: 060074 03702
View tax map: 074
Owner Name: HARRIS REVIS JR ETUX
Owner Name 2: CARRIE L
Description: 11 Agricultural

CONNECT TO EXISTING CITY OF COLUMBIA WASTEWATER SYSTEM (EXISTING UTILITY EASEMENT PER DEED BOOK 13 / PAGE 244)

EXTEND 8" WATER LINE APPROXIMATELY 700' UP TOM SHARP ROAD FROM PROMINENCE ROAD PER COLUMBIA POWER AND WATER SYSTEM STANDARD DETAILS

Tax Parcel ID: 060091 01500
View tax map: 091
Site Address: 695 BEAR CREEK PIKE
Owner Name: R & S RENTAL PROPERTIES LLC
Zoning: R6 - PUD & RS10-PUD
Description: 10 Farm

OWNER OF RECORD

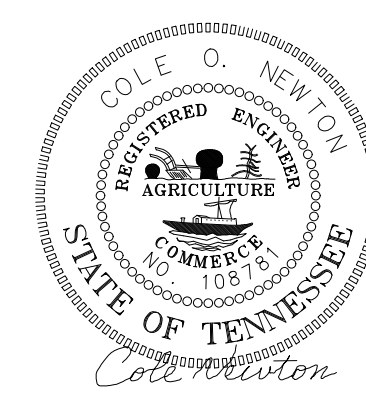
TENNESSEE REGIONAL HOLDING LLC (37.03) and
RIVERSTONE HOMES LLC and JAN WATSON (37.04)
Tax Parcel ID: 060074 03703 and 060074 03704

APPLICANT

TENNESSEE REGIONAL HOLDING LLC and
RIVERSTONE HOMES LLC,
3453 JIM WARREN ROAD
SPRING HILL, TN, 37174
615-260-5523

OVERALL PRELIMINARY PLAT

SUBDIVISION PLAN
MAP 74, PARCEL 37.03
MAURY COUNTY, TENNESSEE



12-2-19

PROJECT
16-0628

SHEET
C-2.1

- NOTES:
1. THE SITE DOES NOT CONTAIN ANY KNOWN BUILDINGS OR STRUCTURES, BROWNFIELDS, WASTE SITES, PAVED AREAS OR CULTIVATED LANDS.
 2. THE SITE DOES CONTAIN A TENNESSEE VALLEY AUTHORITY ELECTRICAL EASEMENT (SHOWN ON PLANS - 200 FT WIDE).
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1
Tax Parcel ID: 0600740 H 00700
View tax map: 0740
Site Address: MCCOY LN 609
Owner Name: FOWLER JOSEPH RAGAN &
Owner Name 2: MALLORY RENEE SEATON
Subdivision: TIMBERLAND ESTATES SEC 5

2
Tax Parcel ID: 0600740 I 00600
View tax map: 0740

3
Tax Parcel ID: 0600740 I 00500
View tax map: 0740

4
Tax Parcel ID: 0600740 H 00700
View tax map: 0740
Site Address: MCCOY LN 609
Owner Name: FOWLER JOSEPH RAGAN &
Owner Name 2: MALLORY RENEE SEATON
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

5
Tax Parcel ID: 0600740 H 00600
View tax map: 0740
Site Address: MCCOY LN 610
Owner Name: BROWN MICHAEL ALAN
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

6
Tax Parcel ID: 0600740 H 00500
View tax map: 0740
Site Address: MCCOY LN
Owner Name: SHARP ALAN E ETUX
Owner Name 2: CONNIE S
Subdivision: TIMBERLAND ESTATES SEC 5
Description: 00 Residential

7
Tax Parcel ID: 0600740 F 00100
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Site Address: SHADOWBROOK DR 632
Owner Name: SHARP MARK W ETUX TERESA
DALTON
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Site Address: SHADOWBROOK DR 612
Owner Name: SMITH JOHNNY D ETUX
Owner Name 2: JANICE C
Subdivision: TIMBERLAND ESTATES SEC 3A
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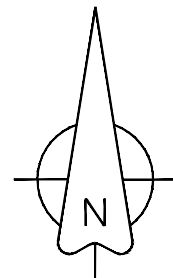
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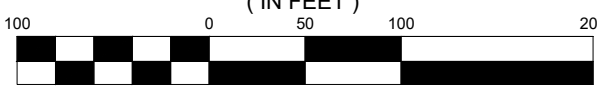
16
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Site Address: SHADOWBROOK DR 600
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Owner Name 2: CHRISTY L
Subdivision: TIMBERLAND ESTATES SEC 3A
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LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING CONTOUR
- STREAM AREA BUFFER
- PROPOSED CONTOUR
- PROPOSED 8" WATER LINE
- PROPOSED WATER SERVICE METER
- PROPOSED FIRE HYDRANT
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- PROPOSED LOT LINES
- PROPOSED DRAINAGE EASEMENT
- PROPOSED PUBLIC UTILITY EASEMENT
- PRIMARY OPEN SPACE
- SECONDARY OPEN SPACE



GRAPHIC SCALE (IN FEET)



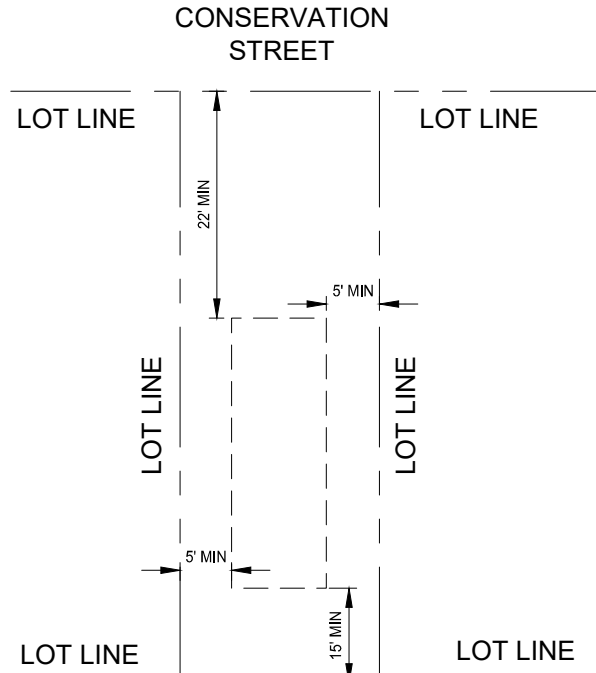
SCALE: 1" = 100'

CONSERVATION RESIDENTIAL DEVELOPMENT REQUIREMENTS & SITE DATA

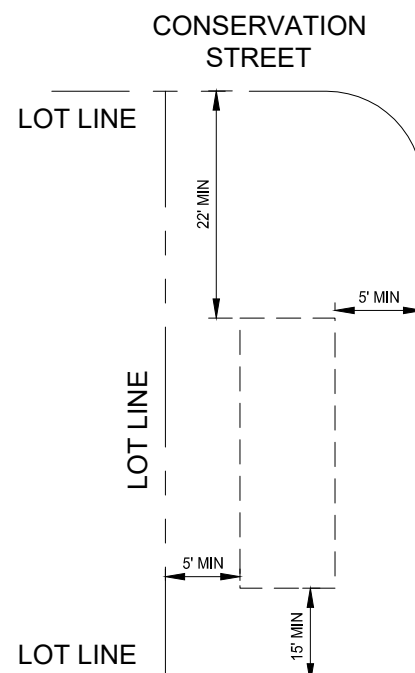
TOTAL ACREAGE	40.5 AC +/-
PROPERTY ZONING	R-10
ADJ. PROP. ZONING	R-10
PROPOSED NUMBER OF LOTS	67
LOT SIZE (min.) SF (AC)	5,000 (0.11)
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MIN. YARD REQD	400 SQFT
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Site Address: BEAR CREEK PIKE 633 & 653
Owner Name: MAURY COUNTY BOARD OF EDUCATION
Subdivision: BK 16 PG 314
Description: 01 County



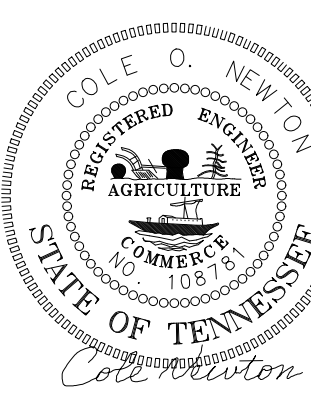
TYPICAL INTERIOR LOT
(50 FT X 100 FT - MIN)
N.T.S.



TYPICAL CORNER LOT
(50 FT X 100 FT - MIN)
N.T.S.

DETAILED PRELIMINARY PLAT

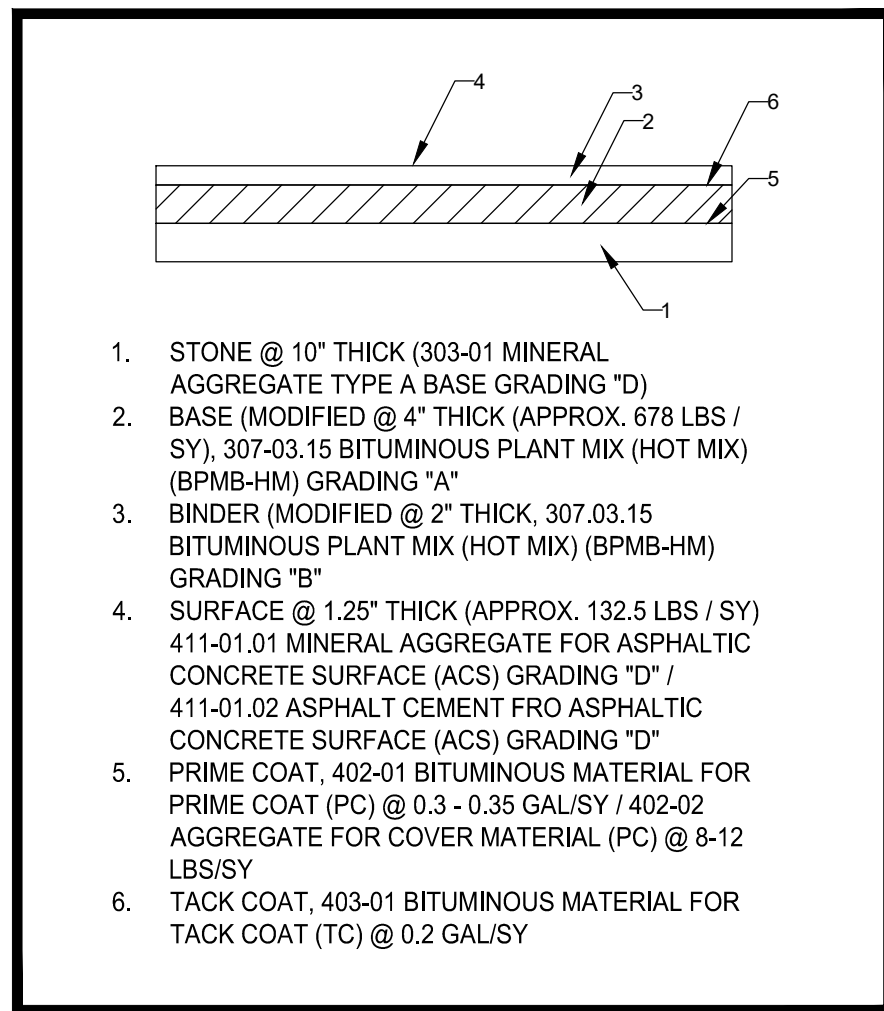
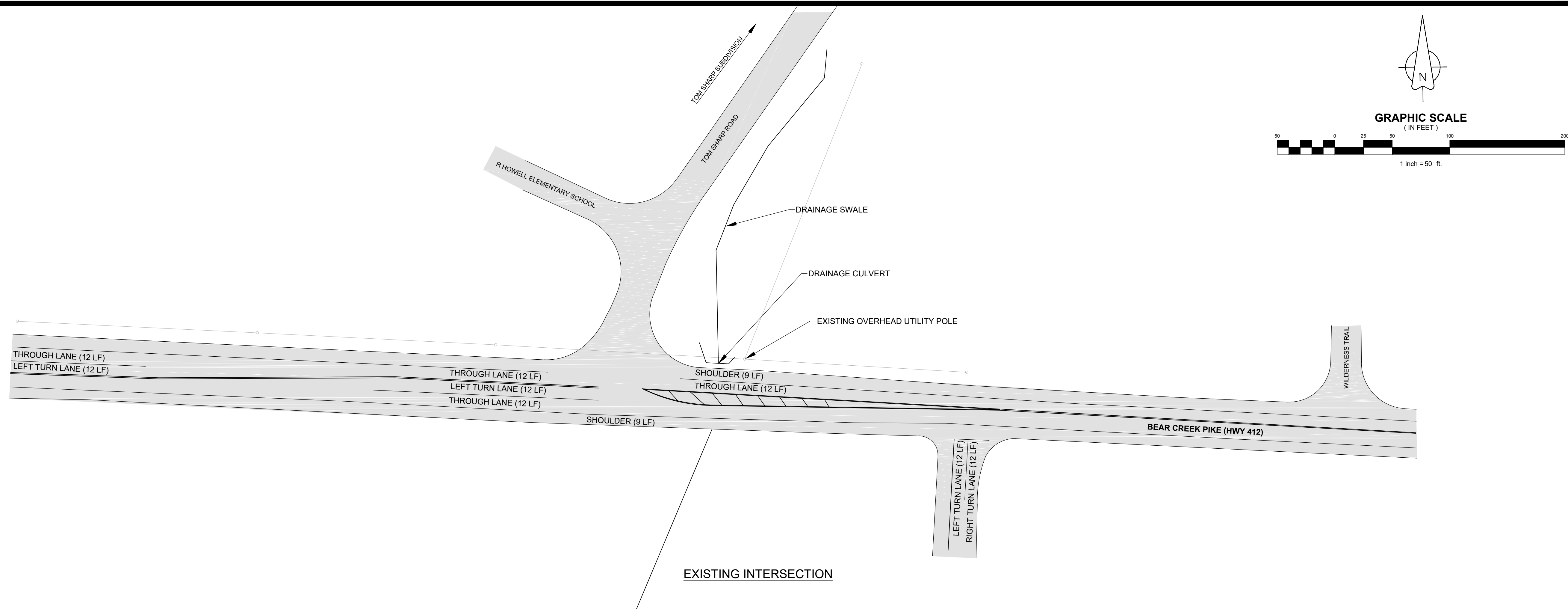
SUBDIVISION PLAN
MAP 74, PARCEL 37.03
MAURY COUNTY, TENNESSEE



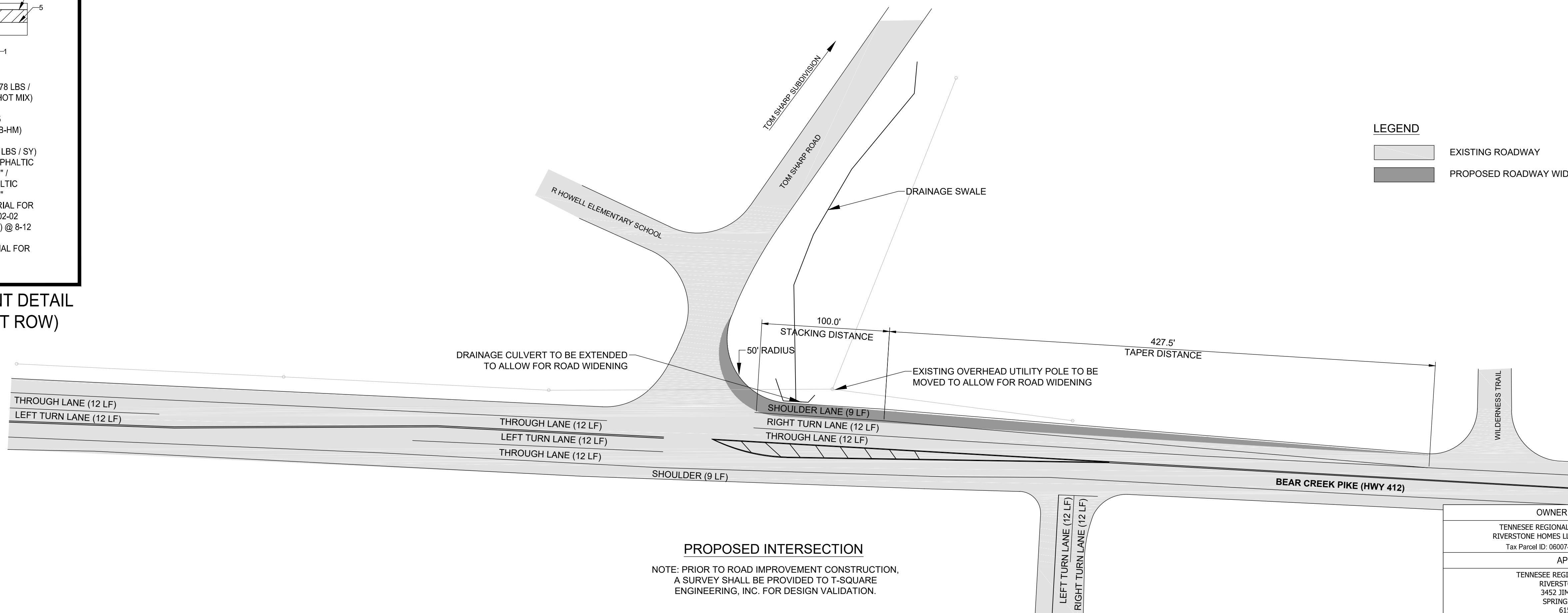
12-2-19

PROJECT
16-0628

SHEET
C-2.3



TDOT ASPHALT PAVEMENT DETAIL
(TO BE USED WITH TDOT ROW)



PROPOSED INTERSECTION

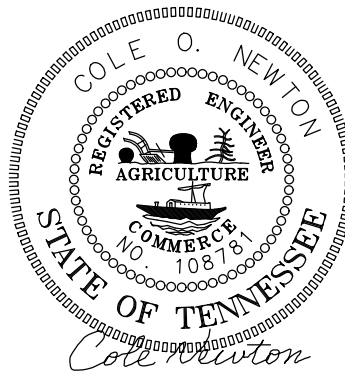
NOTE: PRIOR TO ROAD IMPROVEMENT CONSTRUCTION,
A SURVEY SHALL BE PROVIDED TO T-SQUARE
ENGINEERING, INC. FOR DESIGN VALIDATION.

OWNER OF RECORD
TENNESSEE REGIONAL HOLDING LLC (37.03) and RIVERSTONE HOMES LLC AND JAN WATSON (37.04) Tax Parcel ID: 060074 03703 and 060074 03704
APPLICANT
TENNESSEE REGIONAL HOLDING LLC and RIVERSTONE HOMES LLC, 3452 JIM WARREN ROAD SPRING HILL, TN, 37174 615-260-5523

DATE:	NO.	DATE	REVISIONS
11/18/2019	1	12/2/19	REVISED PER CITY COMMENTS
SCALE:			
AS SHOWN			
DRAWN BY:			
T-SQUARE			
REVIEWER:			
TET			

OFF-SITE ROAD IMPROVEMENTS
SUBDIVISION PLAN
MAP 74, PARCEL 37.03
MAURY COUNTY, TENNESSEE

COTTAGES OF BEAR CREEK



12-2-19

PROJECT
16-0628

SHEET
C-9.0

Case Number:

19-0180

Request:

Request from Martin Engineering & Surveying to annex with a plan of services a portion of Tax Map 51 Parcel 32.00 fronting Nashville Highway and zone the entire parcel RM-1 PUD with a Master Development Plan.



TECHNICAL COMMITTEE MEETING

Monday, December 23, 2019

ITEM NO.

19-0180

DESCRIPTION: Request to Annex and rezone to RM-1 PUD and obtain PUD Master Plan approval for Drumright development consisting of 108-Townhome Units and 190 single-family lots.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Engineering

1. Subject to construction plan approval
2. Subject to TIS comments – updated trip generation memo required for new unit counts
3. Provide hydraulic determinations for streams
4. Note: median lawn/landscaping to be maintained be HOA.
5. Recommend Ludwig connection straight through to Gretsche
6. Cul-de-sac at the end of Stagg does not appear to meet geometric standards of SD-08
7. Corder changing from public to private should be at an intersection. Can townhomes be reconfigured to be north of Gibraltar?
8. Provide cross access easement along Gretsche Dr to western property line
9. Provide 50' P.U.D.E along private roadways to allow for utilities
10. Provide adequate R.O.W. along Gammon Blvd at Nashville Hwy to account for three exiting lanes

Fire

11. Verify spacing between fire Hydrants are spaced no more than 500 feet apart. Townhomes to be constructed according to the 2018 IRC.
12. No new comments.

Wastewater

13. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

TECHNICAL

19-0180

Page 1 of 3

Building

14. No comment.

Police

15. No comments provided.

Public Works

16. No comments provided.

Columbia Power

17. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Columbia Water

18. Existing 12" water line on Nashville Hwy (West side) Existing 4" on Greens Mill Road (North side) 2) CPWS will be able to serve this site.
19. Water is available for Domestic and fire protection (Installed by CPWS specifications).

Atmos Energy

20. No comments provided.

Maury County E911

21. No comments provided.

Maury County Schools

22. No comments provided.

Duck River Electric Membership Corp

23. No comments provided.

Planning

- 24. Need housing elevations for all sides with materials listed
- 25. Gammon Blvd. and Ludwig Blvd. will function in the future as a collector, street setbacks should be adjusted to reflect that to a 30' setback
- 26. Verify lots have at least 40 foot of road frontage for single family ie..lot 123,124,110,111
- 27. Townhomes on Corder Bend should have variation for the number of units in a row.
- 28. Need legal descriptions for annexation portion

ATTACHMENTS: PUD WITH A MASTER PLAN

PLAN OF SERVICES

FOR ANNEXATION
Drumright PROPERTY
+/-45.6 ACRES,
BEING
TAX MAP 51 PARCEL 32.00

A. Water

CPWS will be able to service this site.

As the property will be within the City of Columbia, water service will include fire protection to the property as required by the City of Columbia Fire Department standards.

B. Sewer

1. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rules, regulations, and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail designed plans for any extension of sewers have been proposed at this time.

C. Police

The jurisdiction of the Columbia Police Department will be extended to the areas annexed immediately upon the effective date of annexation.

D. Fire and Rescue

1. The City of Columbia Fire & Rescue provides an array of services to the residents and visitors of the City of Columbia. These services include but may not be limited to non-emergency services such as fire prevention and codes enforcement, pre-incident planning, public education programs, smoke alarm check/replacement, emergency management preparedness, and emergency services such as fire suppression, heavy rescue, emergency medical first response, and hazardous materials response. The Columbia Fire & Rescue Department currently holds an Insurance Service Organization (ISO) class 1 rating.
Columbia Fire & Rescue strives to provide all services in a timely, courteous, and professional manner. Due to the nature of emergency services, we strive to arrive at the incident scene as quickly as possible but without posing additional dangers to the residents/visitors we meet while responding to your location.
2. The proposed annex will be located on the property at 2372 Nashville Highway in Columbia, Tennessee. This location is approximately 1.2 miles from Columbia Fire Station #5 located at 2633 Nashville Highway, 4.8 miles from Fire Station #3 located at 1306 Nashville Highway, 7.5 miles from Fire Station #1 located at 1000 South Garden Street in Columbia, Tennessee. These distances are used to calculate an estimated response time to your development for the different levels of emergency response that may be needed at your facilities.
3. The Columbia Fire & Rescue Department recommends a multi-faceted fire suppression approach. First, future homes should be constructed to meet or exceed all applicable fire and life safety codes. Secondly, even if not required by building, fire, or life safety codes, you should insist that fire sprinkler systems be installed for all future homes.

E. Development Services

1. The planning and zoning jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
2. The property shall be zoned RM-1 PUD (High Density Residential Districts) upon the effective date of the annexation.
3. The code administration jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.

4. Upon the effective date of annexation, all development will be required to abide by the Columbia Zoning Ordinance.

F. Streets

1. Upon acceptance by City Council and all warranties have expired; all streets and drainage systems will be maintained by Public Works. Service will include street sweeping, catch basin cleaning, street repair and snow removal.
2. Upon acceptance by City Council, all approved street signs will be maintained by Public Works.

G. Parks and Recreation

Residents of the annexed areas may use all existing recreational facilities, parks, etc., on the effective date of annexation. The same standards and policies now used in the present City will be followed in expanding the recreational program and facilities in the enlarged City.

H. Refuse Collection

Sanitation will provide weekly refuse collection. Bi-weekly recycling will be offered on a subscription basis. Brush and bulky item collection will be provided.

I. Power

Columbia Power System has an existing power line near the proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

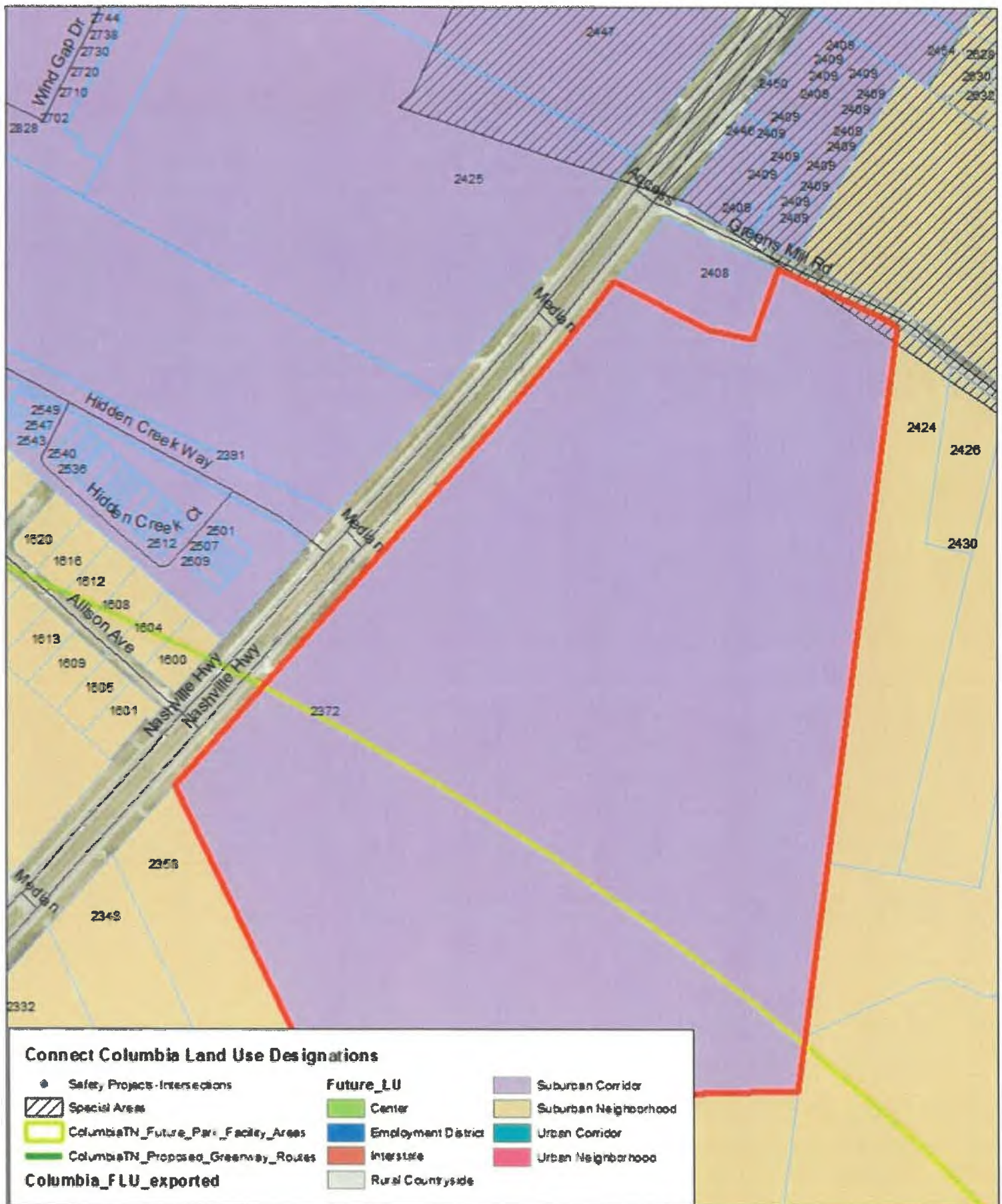
J. Schools

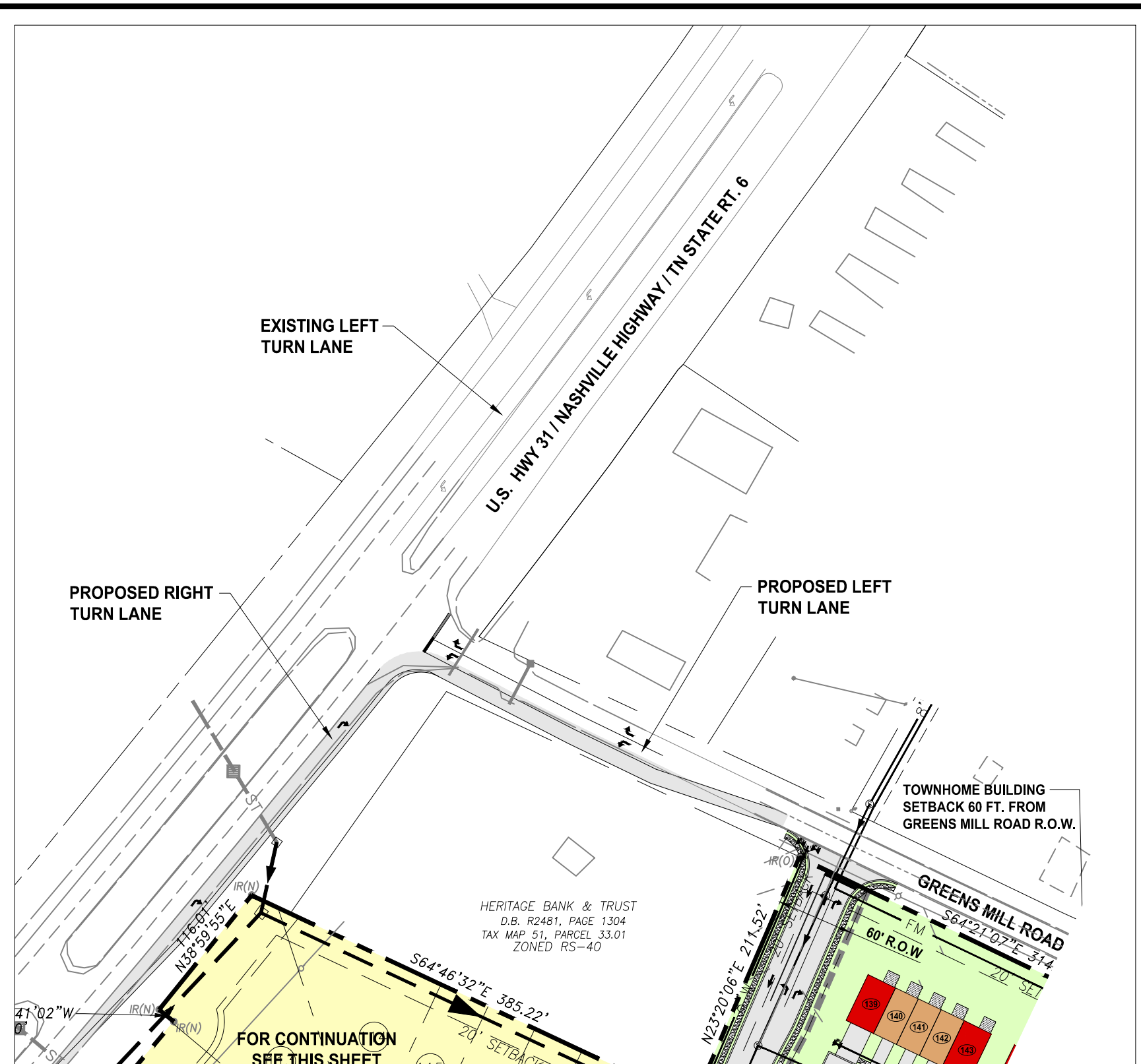
This property falls under the jurisdiction of Maury County Public School System.

Case #19-0180
Tax Map 51 Parcel 32



Case #19-0180
Tax Map 51 Parcel 32





TOWNHOME DENSITY - SOUTH			TOWNHOME DENSITY - NORTH		
UNITS	ACRES	UNITS/AC.	UNITS	ACRES	UNITS/AC.
101	10.54	9.58	46	5.20	8.85

TOWNHOME PARKING SUMMARY - NORTH					
TYPE UNIT	# UNITS	TOTAL BR'S	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	OFFSTREET PARKING PROVIDED
20'X40' - 3BR (1 CAR GARAGE)	28	84	28(0)	28	
24'X40' - 3BR (2 CAR GARAGE)	18	54	36(5)	36	
TOTAL	46	138	64(5)	64(64)	32
TOTAL PARKING PROVIDED 64 + 64 + 32 = 160					
TOTAL PARKING REQUIRED 138/2 X 1.5 = 104					
TOTAL PARKING ALLOWED BY REGS. 5 + 64 + 32 = 101					

TOWNHOME PARKING SUMMARY - SOUTH					
TYPE UNIT	# UNITS	TOTAL BR'S	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	OFFSTREET PARKING PROVIDED
20'X40' - 3BR (1 CAR GARAGE)	61	183	61(0)	61	
24'X40' - 3BR (2 CAR GARAGE)	40	120	80(12)	80	
TOTAL	101	303	141(12)	141(141)	76
TOTAL PARKING PROVIDED 141 + 141 + 76 = 358					
TOTAL PARKING REQUIRED 303/2 X 1.5 = 228					
TOTAL PARKING ALLOWED BY REGS. 12 + 141 + 76 = 229					

DEVELOPMENT SCHEDULE						
PHASE	NUMBER OF TOWNHOME UNITS	UNITS	NUMBER OF 50' SINGLE-FAMILY LOTS	LOTS	NUMBER OF 41' SINGLE-FAMILY LOTS	LOTS
PHASE 1	24	1-24	25	1-25	20	70-89
PHASE 2	37	24-61	20	26-45	30	90-119
PHASE 3	40	62-101	24	46-69	34	120-153
PHASE 4	46	102-147				
TOTAL	147		69		84	

PURPOSE OF SUBMITTAL - TO REZONE TO RM-1 PUD AND OBTAIN MASTER PLAN APPROVAL FOR 147-TOWNHOME UNITS AND 153 SINGLE-FAMILY RESIDENTIAL LOTS ON THE PROPERTY, PARCEL 32.00 IN TAX MAP 51.

PROJECT DESCRIPTION: DEVELOP 147-TOWNHOME UNITS AND 153 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 58.14 ACRES OF LAND.

PUD MASTER PLAN DRUMRIGHT PROPERTY

COLUMBIA, TENNESSEE
MAURY COUNTY
DECEMBER 16, 2019



MARTIN ENGINEERING & SURVEYING, LLC
5226 Main Street, Suite C-3
Spring Hill, TN 37174
615.812.2147
gary@martinengr.com

50' WIDE LOTS			40' WIDE LOTS			40' WIDE LOTS		
LOT NO.	AREA (SF)	AREA (AC)	LOT NO.	AREA (SF)	AREA (AC)	LOT NO.	AREA (SF)	AREA (AC)
1	9,504	70	8,441	112	6,612			
2	7,744	71	5,002	113	14,266			
3	10,434	72	5,002	114	10,805			
4	6,491	73	5,002	115	5,041			
5	6,000	74	8,263	116	5,179			
6	6,000	75	11,637	117	5,125			
7	11,655	76	10,260	118	5,125			
8	6,247	77	8,921	119	7,113			
9	6,000	78	11,384	120	5,832			
10	6,369	79	16,411	121	5,002			
11	7,111	80	9,729	122	5,002			
12	6,000	81	6,703	123	5,002			
13	6,000	82	6,781	124	5,002			
14	6,000	83	6,859	125	5,002			
15	6,229	84	6,600	126	5,033			
16	7,332	85	4,920	127	5,108			
17	8,150	86	4,920	128	8,779			
18	7,096	87	4,920	129	9,650			
19	6,002	88	4,920	130	10,748			
20	6,742	89	6,586	131	8,688			
21	6,055	90	6,745	132	4,920			
22	7,809	91	4,920	133	4,920			
23	6,997	92	4,920	134	4,920			
24	6,466	93	4,920	135	4,920			
25	6,793	94	4,920	136	4,920			
26	7,489	95	6,000	137	8,278			
27	6,000	96	7,080	138	4,920			
28	6,000	97	4,890	139	4,920			
29	6,000	98	4,890	140	5,520			
30	6,072	99	4,890	141	5,653			
31	6,709	100	4,890	142	6,541			
32	8,772	101	8,257	143	6,683			
33	6,231	102	6,936	144	6,064			
34	6,561	103	7,014	145	4,920			
35	6,904	104	7,092	146	4,920			
36	10,599	105	7,296	147	4,920			
37	13,897	106	6,560	148	9,447			
38	17,887	107	6,560	149	9,447			
39	10,673	108	6,560	150	4,920			
40	8,268	109	6,560	151	4,920			
41	6,487	110	6,560	152	5,174			
42	6,514	111	6,570	153	9,797			
43	7,120							
44	7,488							
45	9,095							
46	8,000							
47	8,000							
48	8,000							
49	8,000							
50	8,025							
51	9,927							
52	11,807							
53	6,000							
54	6,000							
55	6,000							
56	6,000							
57	6,234							
58	8,624							
59	10,721							
60	8,350							
61	8,436							
62	10,676							
63	12,234							
64	12,188							
65	12,821							
66	10,434							
67	13,388							
68	9,860							
69	9,999							

Case Number:

19-0202

Request:

Request from Gerald Vick to annex with a plan of services 15.64 acres at 1316 Hampshire Pike being Tax Map 89 Parcel 39.00 with a zoning of RS-10.

Case Number:

19-0202

Request:

Request from Gerald Vick to annex with a plan of services 15.64 acres at 1316 Hampshire Pike being Tax Map 89 Parcel 39.00 with a zoning of RS-10.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0202

APPLICANT/PROPERTY OWNER
Gerald Vick

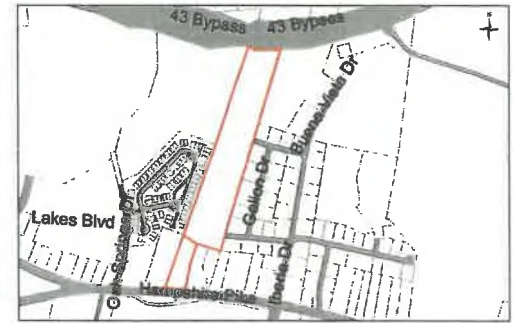
PUBLIC HEARING DATE

March 12th 2020

PROPERTY ADDRESS/LOCATION
1316 Hampshire Pike

BRIEF SUMMARY OF REQUEST

This is an annexation request for 15.6 acres and zoning of RS-10 being single family homes on 10,000 lots. The RS-10 would potentially allow for 42 parcels according to the concept plan for a density of 2.7 homes per acre.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
County Zoning	Vacant	Residential	Residential	15.6+- acres

COMPATIBILITY with the COMPREHENSIVE PLAN

Suburban Neighborhood does allow for the zoning RS-10.

PROPERTY HISTORY

This property has been denied twice this year with a different designs and proposed uses.

COMPATIBILITY with the ZONING ORDINANCE

Staff finds this request is compatible with the Comprehensive Plan for this property.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE): **Zoning Ordinance 3.19.6**

Section 3.19.6 of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items for the amendment:

3.19.6 CRITERIA FOR PLANNING COMMISSION RECOMMENDATIONS

...

The recommendations of the Planning Commission to the City Council shall show that the Planning Commission has studied and considered the proposed change in relation to the following, where applicable:

- Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;
 - Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;
 - Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general; and
 - Whether the subject parcel is of adequate shape and size to accommodate the proposed change.
-

Staff's review of Section 3.19.6 in relation to this request finds the following:

- A. Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;

The Comprehensive Plan designation for this property is Suburban Neighborhood which does support the RS-10 designation zoning request thus meeting the intent, goals, objectives, policies, guiding principles and programs of any adopted plans.

- A. The legal purposes for which zoning exists are not contravened;

All future development of the property will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

- B. Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;

The surrounding properties are primarily developed as residential and commercial uses or vacant land. The proposed plan will continue those established patterns within the area thus be incompatible.

- C. Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general;

The proposed uses on the property at the time of development will be required to conform to the Zoning Ordinance standards in effect at that time to mitigate any potential adverse impacts upon adjoining property owners

- D. Whether the subject parcel is of adequate shape and size to accommodate the proposed change;

The parcel exceeds the minimum lot area required as stated in Zoning Ordinance 3638.

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONING'S

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

The Comprehensive Plan designates the subject property as Suburban Neighborhood. The request would be in agreement with such district.

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The use would be surrounded by residential uses thus continuing the development pattern thus not effecting the area.

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

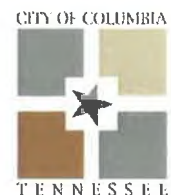
The proposal is similar in development and supported by the comprehensive plan in which the general public representatives confirmed.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

In the community, housing demands within the city limits have increased to a sufficient extent to warrant an amendment to the City's Zoning Map to RS-10.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

No reports from any facilities that the annexation cannot be serviced.



TECHINICAL COMMITTEE MEETING

Monday, December 23, 2019

ITEM NO.

19-0202

DESCRIPTION: Request for annexation.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Engineering

1. Subject to Construction Plan Approval

Fire

2. No Comments.

Columbia Water

3. Water is available for domestic/fire protection. *Water line to connect to existing water. * Line on "Avalon Drive". * Allow possible utility easement between (some) lots to access our 12" & 16" water line.

Wastewater

4. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local. State and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

Building

5. No comments.

Police

6. No comments provided.

Public Works

7. No comments provided.

Atmos Energy

8. No comments provided.

Maury County E911

9. No comments provided.

Maury County Schools

10. No comments provided.

Duck River Electric Membership Corp

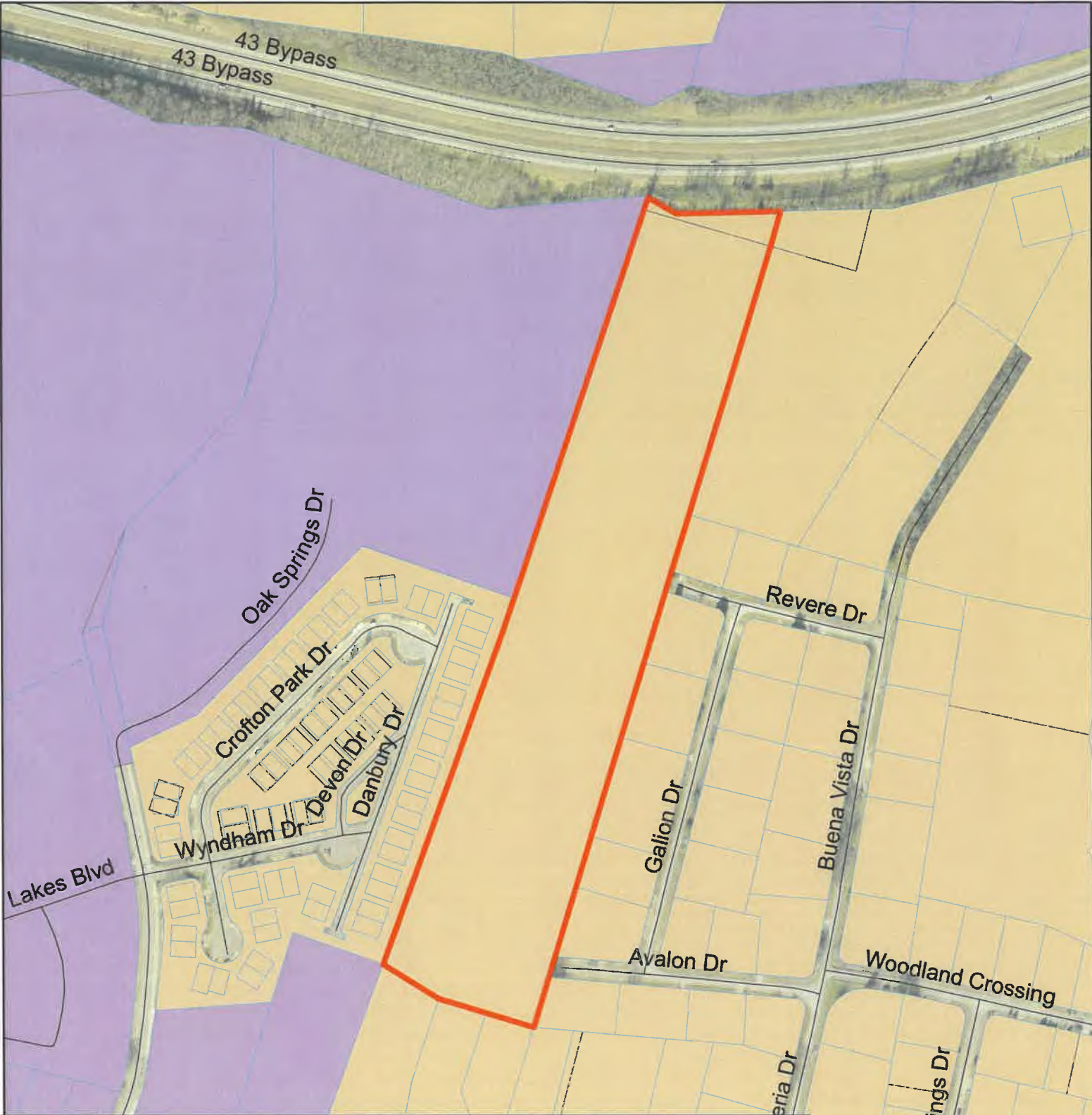
11. No comments provided.

Planning

12. No Comments

ATTACHMENTS: Concept Plan.

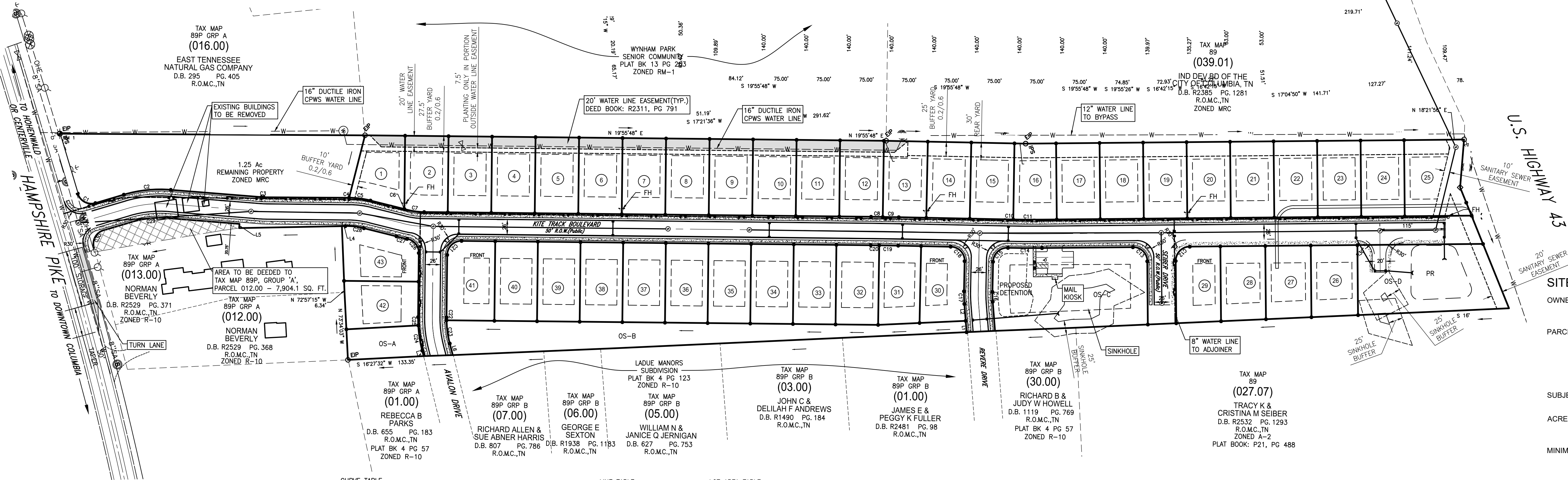




Connect Columbia Land Use Designations

● Safety Projects-Intersections	Future_LU	Suburban Corridor
Special Areas	Center	Suburban Neighborhood
ColumbiaTN_Future_Park_Facility_Areas	Employment District	Urban Corridor
ColumbiaTN_Proposed_Greenway_Routes	Interstate	Urban Neighborhood
Columbia_FLU_exported	Rural Countryside	

PACER POINTE SUBDIVISION
PRELIMINARY CONCEPT PLAN



- SITE DATA:**
- OWNER: DONALD NORMAN
1316 HAMPSHIRE PIKE
COLUMBIA, TN 38401
- PARCEL NUMBER: TAX MAP 89P GRP A PARCEL 15.00
DEED BOOK: R2535, PG 1349
- TAX MAP 89 PARCEL 39.00
DEED BOOK: R2535, PG 1345
PLAT BOOK 10, PAGE 531
- SUBJECT PARCEL ZONING: A-2 (COUNTY)
RS-10 (PROPOSED)
- ACREAGE OF SITE: 15.64 Ac TAX MAP 89 PARCEL 39.00
1.96 Ac TAX MAP 89P GRP A PARCEL 15.00
17.62 Ac Total
- MINIMUM REQUIRED BUILDING SETBACKS:
- 30' FRONT (MINOR)
30' REAR
10' SIDE (20' BETWEEN STRUCTURES)
- UTILITY SERVICES:
- WATER SERVICE
COLUMBIA POWER & WATER SYSTEMS
201 PICKENS LANE
COLUMBIA, TENNESSEE 38401
(931) 388-4833
- ELECTRIC SERVICE
COLUMBIA POWER & WATER SYSTEMS
201 PICKENS LANE
COLUMBIA, TENNESSEE 38401
(931) 388-4833
- NATURAL GAS
ATMOS ENERGY
810 NASHVILLE HIGHWAY
COLUMBIA, TENNESSEE 38401
(931) 388-9136
- PURPOSE NOTE: TO DEMONSTRATE OUR REQUEST OF ANNEXATION
OF 15.64 ACRE TRACT AND CHANGE ZONING FROM
A-2 - RURAL RESIDENTIAL (COUNTY ZONING) TO
RS-10 (CITY ZONING) 43 LOTS - 3,066 LINEAR FEET OF
ROADWAY.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.21'	35.31'	N 47°45'28" E	89°51'28"
C2	225.00'	83.49'	83.01'	S 13°27'32" W	21°15'54"
C3	125.00'	3.85'	3.84'	N 23°01'27" E	1°45'45"
C4	184.00'	1.09'	1.09'	N 19°52'33" E	0°22'55"
C5	164.00'	38.02'	37.94'	S 28°42'32" W	13°17'01"
C6	125.00'	0.52'	0.52'	N 36°17'24" E	0°14'20"
C7	125.00'	35.43'	35.31'	S 28°03'01" W	16°14'26"
C8	5025.00'	20.55'	20.55'	N 20°02'50" E	0°14'04"
C9	5025.00'	28.14'	28.14'	S 20°19'29" W	0°19'05"
C10	1975.00'	8.31'	8.31'	N 20°21'52" E	0°14'28"
C11	1975.00'	50.01'	50.01'	S 19°31'07" W	1°27'03"
C12	25.00'	39.27'	35.36'	N 28°12'25" W	90°00'00"
C13	25.00'	39.27'	35.36'	S 63°47'35" W	90°00'00"
C14	2025.00'	59.80'	59.80'	S 19°38'21" W	1°41'31"
C15	25.00'	39.27'	35.36'	S 24°30'54" E	90°00'00"
C16	175.00'	17.30'	17.29'	N 72°00'49" W	5°39'51"
C17	225.00'	22.24'	22.23'	S 72°20'49" E	5°39'51"
C18	25.00'	39.27'	35.36'	N 65°29'06" E	90°00'00"
C19	4975.00'	33.41'	33.41'	N 20°17'34" E	0°23'00"
C20	4975.00'	14.79'	14.79'	N 20°00'54" E	0°10'13"
C21	25.00'	39.27'	35.36'	S 25°04'12" E	90°00'00"
C22	175.00'	5.11'	5.11'	S 70°54'21" E	1°40'18"
C23	175.00'	41.28'	41.18'	N 78°29'57" W	13°30'54"
C24	225.00'	45.03'	44.95'	N 79°31'25" W	11°27'58"
C25	225.00'	14.61'	14.61'	S 71°55'49" E	3°43'14"
C26	25.00'	35.03'	32.24'	S 69°47'03" W	80°17'30"
C27	175.00'	19.23'	19.22'	N 32°47'13" E	6°17'51"
C28	125.00'	32.91'	32.81'	N 25°48'32" E	15°05'01"
C29	175.00'	65.01'	64.64'	S 13°28'16" W	21°17'02"
C30	25.00'	39.33'	35.40'	N 42°14'32" W	90°08'34"

LINE BEARING	DISTANCE	Lot	SQ. FT.	ACRES
L1 N 75°10'45" W 20.01'	1	10,008.48	0.23	25
L2 N 75°10'45" W 29.85'	2	10,187.85	0.23	26
L3 N 85°15'24" W 19.96'	3	10,251.00	0.24	27
L4 S 19°16'01" W 6.11'	4	10,251.00	0.24	28
L5 N 66°05'41" W 7.42'	5	10,251.00	0.24	29
L6 N 85°15'24" W 21.15'	6	10,251.00	0.24	30
L7 S 19°16'01" W 6.11'	7	10,251.00	0.24	31
L8 N 25°10'45" W 20.01'	8	10,251.00	0.24	32
L9 S 19°16'01" W 6.11'	9	10,251.00	0.24	33
L10 S 19°16'01" W 6.11'	10	10,251.00	0.24	34
L11 N 25°10'45" W 20.01'	11	10,251.00	0.24	35
L12 N 25°10'45" W 20.01'	12	10,251.00	0.24	36
L13 N 25°10'45" W 20.01'	13	10,251.00	0.24	37
L14 N 25°10'45" W 20.01'	14	10,251.00	0.24	38
L15 N 25°10'45" W 20.01'	15	10,251.00	0.24	39
L16 N 25°10'45" W 20.01'	16	10,251.00	0.24	40
L17 N 25°10'45" W 20.01'	17	10,251.00	0.24	41
L18 N 25°10'45" W 20.01'	18	10,251.00	0.24	42
L19 N 25°10'45" W 20.01'	19	10,251.00	0.24	43
L20 N 25°10'45" W 20.01'	20	10,251.00	0.24	44
L21 N 25°10'45" W 20.01'	21	10,251.00	0.24	45
L22 N 25°10'45" W 20.01'	22	10,251.00	0.24	46
L23 N 25°10'45" W 20.01'	23	10,251.00	0.24	47
L24 N 25°10'45" W 20.01'	24	10,251.00	0.24	48

Lot	SQ. FT.	ACRES
25	13,308.62	0.32
26	10,214.46	0.23
27	10,195.46	0.23
28	10,291.06	0.24
29	10,351.20	0.24
30	10,170.74	0.24
31	10,083.08	0.23
32	10,508.09	0.24
33	10,500.00	0.24
34	10,500.00	0.24
35	10,500.00	0.24
36	10,500.00	0.24
37	10,500.00	0.24
38	10,500.00	0.24
39	10,500.00	0.24
40	10,500.00	0.24
41	11,653.52	0.27
42	10,433.49	0.24
43	11,290.59	0.26
OS-A	6,985.98	0.16
OS-B	34,101.24	0.78
OS-C	38,008.02	0.87
OS-D	28,886.82	0.66

BENCHMARK
BENCHMARK #1
IRON PIN
ELEV. = 642.11'
N = 470.063.1
E = 1,647.180.1

WARNING! UTILITY LINES!

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

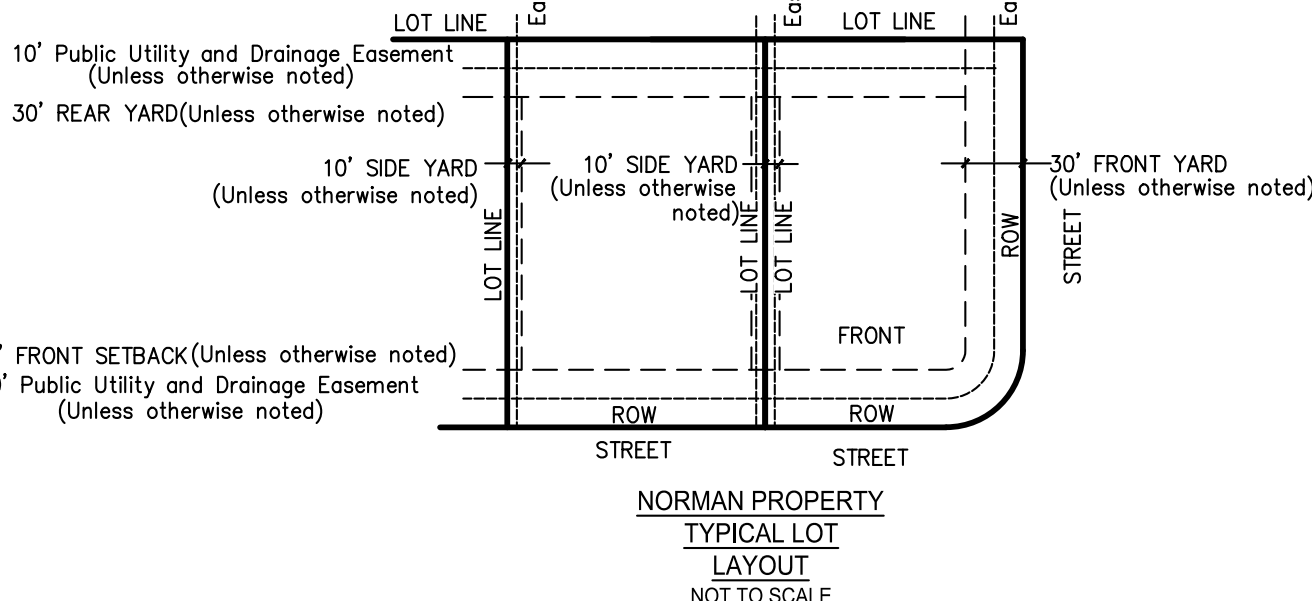
LEGEND

EXISTING PROPOSED

WATER MAIN
SANITARY SEWER
STORM SEWER
OVERHEAD FENCE
GAS
DRAINAGE DITCH
TREE PROTECTION FENCE
UTILITY POLE
IRON PIN SET
EXISTING IRON PIN
CONCRETE MONUMENT
DECIDUOUS TREE
GATE VALVE IN BOX
LIGHT POLE
BENCHMARK

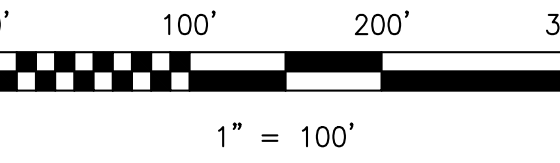
TREE LINE
STORM STRUCTURE LABEL
ASPHALT
CONCRETE
PARKING SPACES

14



OPEN SPACE NOTE:
ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE, DRAINAGE EASEMENTS AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

FLOOD STUDY NOTE:
THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C20280E DATED APRIL 16, 2007 (ZONE "X")



SUBMITTED FOR MUNICIPAL APPROVAL
NOT FOR CONSTRUCTION

Case Number:

19-0198

Request:

Request from Ragan Smith Associates for final plat approval with surety in the amount of \$118,500 for Taylor Landing Subdivision Phase 1B off Taylor Bend Road.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0198

APPLICANT/PROPERTY OWNER
Ragan-Smith Associates

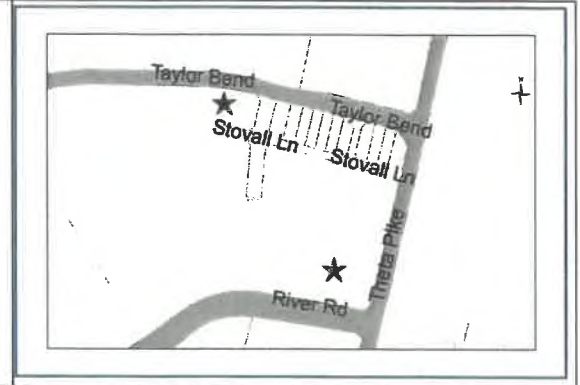
PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
Longleaf Lane and Taylor Bend Road

NA

BRIEF SUMMARY OF REQUEST

This is the second final plat request in Phase 1 to construct 12 single family lots and 1 condo lot with 20 units. This final plat is a portion of the preliminary plat that was approved in November 2018 with a total of 95 single family homes and 7 condo lots within 74 acres.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RM-1 Residential PUD	Residential	Residential Commercial	Homes	5 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY**COMPATIBILITY with the ZONING ORDINANCE**

Staff finds this request to be compliant with the preliminary plat subject to staff comments.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS



TECHNICAL COMMITTEE MEETING

Monday, December 23, 2019

ITEM NO.

19-0198

DESCRIPTION: Taylor Landing, Phase 1B Plat to create 12 single family lots and 1 multi family lot.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Engineering

1. Stovall Ln should be "public"
2. Provide temporary turnaround at the end of Taylor Bend Rd and Stovall Ln. Recommend connecting the two

Fire

3. Any road over 150 feet must have an approved turnaround.

Wastewater

4. Wastewater approves this request.

Building

5. No comment.

Police

6. No comment provided.

Public Works

7. No comment provided.

Columbia Water

8. CPWS must verify pressure test and BT Test have been performed. ***Note! Building Layout "Outer perimeter Envelope" must be shown on Lot 102B

Atmos Energy

9. No comments provided.

Maury County E911

10. No comments provided.

Maury County Schools

11. No comments provided.

Duck River Electric Membership Corp

12. No comments provided.

Planning

13. Per water department show building perimeter on lot 102

Columbia Power

14. No comments provided.

ATTACHMENTS: FINAL PLAT

GENERAL NOTES

- THE PURPOSE OF THIS PLAT IS TO CREATE 12 SINGLE FAMILY LOTS, 1 MULTI-FAMILY LOT, AND 1 OPEN SPACE TRACT.
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO (2) CONTROL POINTS THE SURVEYED PROPERTY TO ESTABLISH AS BASIS FOR BEARING FOR THE SURVEY. TYPE OF EQUIPMENT USED: TRIMBLE MODEL R10, DUAL FREQUENCY RECEIVER. THE TYPE OF SURVEY: NETWORK ADJUSTED REAL TIME KINEMATIC.
- THIS PROPERTY IS CURRENTLY ZONED MU-PUD - (MIXED USE - PLANNED UNIT DEVELOPMENT).
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. THIS PROPERTY LIES WITHIN FLOOD ZONE "X" (OTHER AREAS) AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47119C0170E, WITH AN EFFECTIVE DATE OF APRIL 16, 2007, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 475423 & 470123, PANEL NO. 170, SUFFIX E, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" (OTHER AREAS) AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ALL OPEN SPACES ARE ALSO TO BE PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- ALL SIDEWALKS OUTSIDE THE RIGHT-OF-WAY SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN THE CITY OF COLUMBIA, MAURY COUNTY, TN. ALL MATTERS PERTAINING TO CONSTRUCTION, USE, LOCATION OF IMPROVEMENTS, SIGNAGE, PARKING, NOISE, VIBRATION, EMISSIONS, FIRE HAZARDS, RADIATION, ILLUMINATION, SETBACK PROVISIONS, ETC., ARE SUBJECT TO THE CITY OF COLUMBIA'S ZONING REGULATIONS AS INTERPRETED AND REGULATED BY THE DEPARTMENT OF DEVELOPMENT SERVICES.
- THE RECORDING OF THIS PLAT WILL VOID, VACATE, AND SUPERSEDE THE AFFECTED PART OF THE PLAN ENTITLED "WATERS EDGE AT TAYLOR BEND" OF RECORD IN PLAT BOOK P17, PAGE 319, R.O.M.C.T., THE AFFECTED PART OF THE PLAN ENTITLED "PLATTING OF ROADS OF RIVERPLACE AT NORTHWAY" OF RECORD IN PLAT BOOK 10, PAGE 494, R.O.M.C.T., THE AFFECTED PART OF THE PLAN ENTITLED "SEWER EASEMENT SURVEY OF RIVERPLACE AT NORTHWAY" OF RECORD IN PLAT BOOK 10, PAGE 445, R.O.M.C.T., AND THE AFFECTED PART OF THE PLAN ENTITLED "CHARLES W. TAYLOR IRREVOCABLE TRUST PROPERTY" OF RECORD IN PLAT BOOK 10, PAGE 252, R.O.M.C.T.
- A PUBLIC UTILITY AND DRAINAGE EASEMENT OF 5' ON ALL INTERIOR LOT LINES AND 10' ON ALL FRONT, REAR, AND ADJACENT TO STREETS SHALL BE MADE PART OF THIS PLAT.
- I HEREBY STATE THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:36,865.



DATE: DECEMBER 27, 2019.

PROPERTY MAP REFERENCE

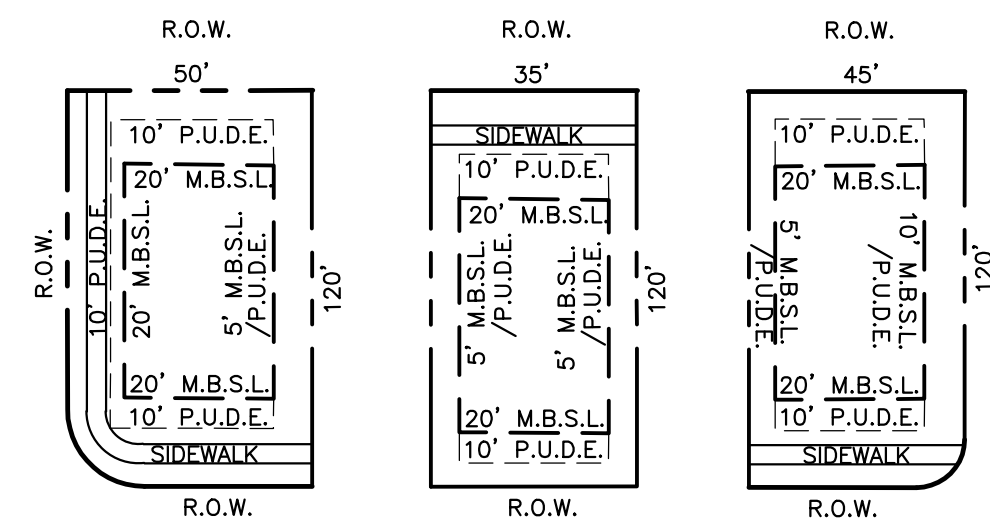
BEING A PORTION OF PARCEL NUMBERS 6.01 AND 7.15 AS SHOWN ON MAURY COUNTY PROPERTY MAP NUMBER 90.

DEED REFERENCE (PARCEL 6.01)

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MERITAGE HOMES OF TENNESSEE, INC. FROM PATRICIA LEE TAYLOR CLAYBORNE, TRUSTEE OF THE CHARLES W. TAYLOR IRREVOCABLE TRUST, PATRICIA LEE TAYLOR CLAYBORNE AND DAVID CHARLES TAYLOR, GLENDA KAYE TAYLOR MARSHALL AND JULIE ANN TAYLOR THOMPSON BY WARRANTY DEED OF RECORD IN DEED BOOK R2556, PAGE 1187, REGISTER'S OFFICE FOR MAURY COUNTY, TENNESSEE.

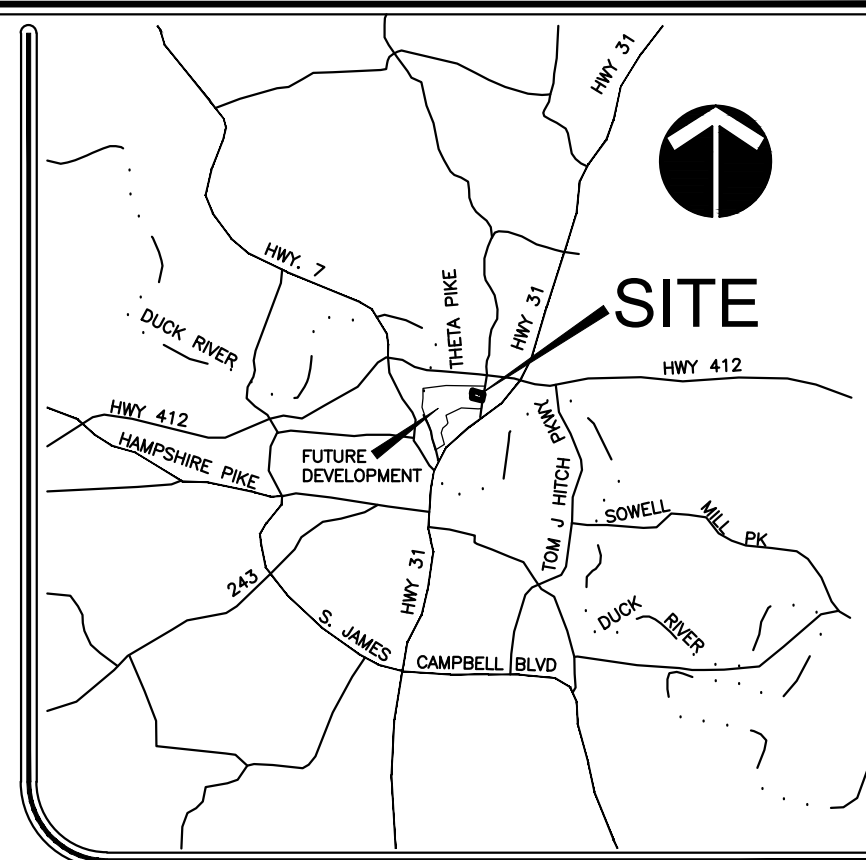
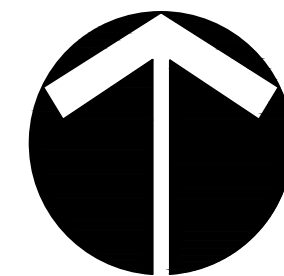
DEED REFERENCE (PARCEL 7.15)

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MERITAGE HOMES OF TENNESSEE, INC. FROM TAYLOR BEND PROPERTIES, LLC. BY WARRANTY DEED OF RECORD IN DEED BOOK R2556, PAGE 1183, REGISTER'S OFFICE FOR MAURY COUNTY, TENNESSEE.

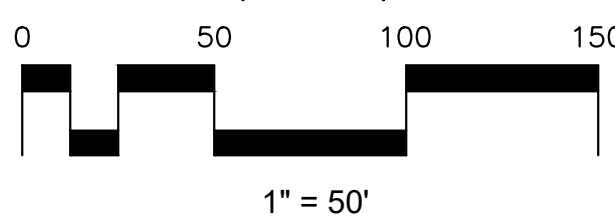
TYPICAL LOT DETAIL
TAYLOR BEND LOTS
(NTS)

LOT	SQ. FT.±	ACRES±
10	4,436	0.10
11	4,428	0.10
12	4,420	0.10
13	4,409	0.10
14	4,398	0.10
15	4,417	0.10
16	4,206	0.10
17	4,206	0.10
18	4,206	0.10
19	4,206	0.10
20	4,206	0.10
21	4,206	0.10
102	103,860	2.38

OPEN SPACE	SQ. FT.±	ACRES±
4	4,478	0.10

LOCATION MAP
NTS

(SEE NOTE 2)



1" = 50'

UTILITY NOTE

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE OR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.



CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C1	32.65'	48.53'	85°09'45"	30.00	44.18'	S55°43'25"W
C2	1596.14'	92.97'	3°20'15"	46.50	92.96'	N83°21'50"W
C3	245.29'	45.57'	10°38'40"	22.85	45.50'	S89°38'41"W
C4	25.00'	34.63'	79°21'57"	20.74	31.93'	N44°38'23"E
C5	25.00'	39.27'	90°00'00"	25.00	35.36'	N40°02'36"W
C6	25.00'	39.27'	90°00'00"	25.00	35.36'	N49°57'24"E
C7	936.00'	222.45'	13°37'01"	111.75	221.93'	N83°06'45"W
C8	1104.75'	244.55'	12°41'00"	122.78	244.06'	S83°34'49"E
C9	25.00'	39.87'	91°22'05"	25.60	35.77'	S31°33'15"E
C10	25.00'	39.01'	89°24'19"	24.74	35.17'	S58°49'57"W
C11	1596.14'	43.67'	1°34'04"	21.84	43.67'	N82°28'45"W
C12	1596.14'	49.30'	1°46'11"	24.65	49.30'	N84°08'52"W
C13	25.00'	38.49'	88°13'11"	24.24	34.80'	N39°09'11"W
C14	25.00'	39.27'	90°00'00"	25.00	35.36'	N49°57'24"E
C15	30.00'	47.12'	90°00'00"	30.00	42.43'	S40°02'36"E
C16	30.00'	47.12'	90°00'00"	30.00	42.43'	S49°57'24"W
C17	25.00'	39.27'	90°00'00"	25.00	35.36'	N40°02'36"W

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C18	960.00'	225.46'	13°27'22"	113.25	224.94'	N83°11'35"W
C19	960.00'	12.88'	0°46'07"	6.44	12.88'	N76°50'57"W
C20	960.00'	34.39'	2°03'08"	17.19	34.38'	N78°15'35"W
C21	960.00'	34.39'	2°03'08"	17.19	34.38'	N80°18'43"W
C22	960.00'	34.39'	2°03'08"	17.19	34.38'	N82°21'51"W
C23	960.00'	34.39'	2°03'08"	17.19	34.38'	N84°24'59"W
C24	960.00'	34.39'	2°03'08"	17.19	34.38'	N86°28'07"W
C25	960.00'	34.25'	2°02'40"	17.13	34.25'	N88°31°01"W
C26	960.00'	6.40'	0°22'54"	3.20	6.40'	N89°43'48"W
C27	1054.75'	233.49'	12°41'00"	117.22	233.01'	S83°34'49"E
C28	1054.75'	35.74'	1°56'28"	17.87	35.73'	S88°57'05"E
C29	1054.75'	38.70'	2°06'08"	19.35	38.70'	S86°55'47"E
C30	1054.75'	38.71'	2°06'10"	19.36	38.71'	S84°49'38"E
C31	1054.75'	38.72'	2°06'11"	19.36	38.72'	S82°43'28"E
C32	1054.75'	38.73'	2°06'13"	19.36	38.72'	S80°37'15"E
C33	1054.75'	38.73'	2°06'14"	19.37	38.73'	S78°31'02"E
C34	1054.75'	4.17'	0°13'35"	2.09	4.17'	S77°21'07"E

LINE	BEARING	DISTANCE
L1	S77°14'18"E	10.74'

SITE DATA TABLE

TOTAL LOT AREA - 3.58 AC.±
TOTAL OPEN SPACE AREA - 0.10 AC.±
TOTAL PRIVATE R.O.W. AREA - 0.48 AC.±
TOTAL PUBLIC R.O.W. AREA - 0.91 AC.±
TOTAL SITE AREA - 5.07 AC.±
TOTAL LINEAR FEET OF ALLEYS - 933 FT.±
TOTAL LINEAR FEET OF NEW ROADS - 307 FT.±
TOTAL LINEAR FEET OF EXISTING ROADS - 465 FT.±
TOTAL LINEAR FEET OF ROADS - 772 FT.±

LEGEND

- CONCRETE MONUMENT (NEW) (4" DIAMETER ALUMINUM DISC W/ 1/2" IRON ROD MARKED "RAGAN-SMITH ASSOCIATES")
- IRON ROD (NEW) (1/2" x 14" W/ OAK STAMPED "RAGAN-SMITH & ASSOCIATES")
- IRON ROD (OLD)
- CATCH BASIN/CURB INLET
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- UTILITY POLE W/ ANCHOR
- UTILITY POLE W/ LIGHT
- OVERHEAD POWER AND TELEPHONE LINES
- SANITARY SEWER LINE
- GAS LINE
- WATER LINE
- REINFORCED CONCRETE PIPE
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT
- CONCRETE SURFACE
- LOT NUMBER
- REGISTER'S OFFICE FOR MAURY COUNTY, TN

TOTAL AREA = 220,668 SQUARE FEET OR 5.07 ACRES±

CERTIFICATE OF OWNERSHIP & DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS SHOWN IN BOOK R2556, PAGE 1183, AND BOOK R2556, PAGE 1187, MAURY COUNTY REGISTER'S OFFICE, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: _____ OWNER: _____

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY OF THE PROPERTY SHOWN HEREON. THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:36,865 AS SHOWN HEREON.

RAGAN - SMITH - ASSOCIATES, INC.

DECEMBER 27, 2019
DATE: _____ JOHN T. DARNALL, RLS NO. 1571

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I HEREBY CERTIFY THAT THE WATER SYSTEM(S) OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "TAYLOR LANDING, PHASE 1B" HAS/HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE: _____ SUPERINTENDENT, COLUMBIA WATER SYSTEM

CERTIFICATION APPROVAL OF STREETS, DRAINAGE, AND UTILITIES

I HEREBY CERTIFY THAT THE STREETS, DRAINAGE, AND UTILITIES DESIGNATED IN "TAYLOR LANDING, PHASE 1B" SURVEY HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY ORDINANCES, OR A PERFORMANCE BOND IN THE AMOUNT OF _____ FOR STREETS AND DRAINAGE HAS BEEN POSTED WITH THE CITY OF COLUMBIA, TENNESSEE, TO ASSURE COMPLETION OF SUCH IMPROVEMENTS.

DATE: _____ CITY ENGINEER, COLUMBIA, TENNESSEE

CERTIFICATE OF APPROVAL FOR SEWER SYSTEM

I HEREBY CERTIFY THAT THE SEWER SYSTEM OUTLINED OR INDICATED ON THIS FINAL SUBDIVISION PLAT HAS BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE: _____ SUPERINTENDENT, COLUMBIA WASTEWATER SYSTEM

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE COLUMBIA SUBDIVISION REGULATIONS WITH THE EXCEPTIONS OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: _____ SECRETARY OF PLANNING COMMISSION, COLUMBIA, TENNESSEE

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES

SUBDIVISION NAME AND STREET NAMES APPROVED BY THE MAURY COUNTY E-911.

DATE: _____ MAURY COUNTY E-911

CERTIFICATE OF COMPLIANCE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE COLUMBIA SUBDIVISION REGULATIONS AND OTHER ADOPTED ORDINANCES AND POLICES.

DATE: _____ CITY ENGINEER, COLUMBIA, TENNESSEE

FINAL PLAT

TAYLOR LANDING

PHASE 1B

LOTS 10-21, 102-B, AND OPEN SPACE 4

9TH CIVIL DISTRICT OF MAURY COUNTY, CITY OF COLUMBIA, TENNESSEE

DRAWN BY: C. KILGORE
REVISED: DECEMBER 27, 2019
DATE: NOVEMBER 18, 2019
JOB NO. 18097
SCALE: 1"=50'
W.S.O. 1210

OWNER/DEVELOPER
MERITAGE HOMES OF TENNESSEE, INC.
C/O BRIAN KENNEDY
5217 MARYLAND WAY, SUITE 222
BRENTWOOD, TENNESSEE 37027
(615) 992-2002
brian.kennedy@meritagehomes.com

RAGAN • SMITH

LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS

315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN. 37206
(615) 244-8591 FAX (615) 244-6739 idan@mail@ragansmith.com

CONTACT: TOM DARNALL, RLS

SHEET 1 OF 1

Case Number:

19-0196

Request:

Request from Martin Engineering for final plat approval with surety in the amount \$135,000 for Phase 1 of Summerdale Subdivision off Precast Drive.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0196

APPLICANT/PROPERTY OWNER
Martin Engineering and Surveying

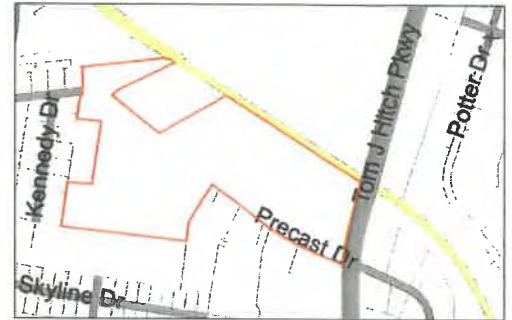
PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
Precast Drive

NA

BRIEF SUMMARY OF REQUEST

This is a final plat request for 17 single family detached homes and 17 townhomes on 8 acres off Precast Drive. The preliminary plat was approved in May of 2019 for the 34 units.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RM-1 Residential	Residential	Residential Industrial	NA	8 acres

COMPATIBILITY with the COMPREHENSIVE PLAN NA	PROPERTY HISTORY Master Plan was approved on February of 2019.
COMPATIBILITY with the ZONING ORDINANCE Staff finds this request to be compliant subject to staff comments.	

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS



TECHNICAL MEETING

Monday, December 23, 2019

ITEM NO.

19-0196

DESCRIPTION: Final Plat request Phase 1 of Summerdale Development Consisting of 17 Town home Units and 17 Single-Family lots.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Fire

1. No comments.

Wastewater

2. Wastewater approves this request.

Building

3. No comments.

Police

4. No comments.

Public Works

5. No comments.

Columbia Water

6. 1. Water has been pressure tested and BT's (Negative) 2. "Revise" Plat with easements required and emailed to Brown Land surveying.

TECHNICAL

19-0196

Page 1 of 2

Atmos Energy

7. No comments provided.

Maury County E911

8. The Street names are correct.

Maury County Schools

9. No comments provided.

Duck River Electric Membership Corp

10. No comments provided.

Planning

11. No comments

Columbia Power

12. No comment provided.

ATTACHMENTS: FINAL PLAT

Surveyor's Notes

- The property shown hereon is located within the City of Columbia, Maury County, TN. All matters pertaining to construction, use, location of improvements, signage, parking, noise, vibration, emissions, fire hazards, radiation, illumination, setback provisions, etc., are subject to the City of Columbia's Zoning Regulations as interpreted and regulated by the Department of Development Services.
- This property currently identified as a portion of Tax Map No. 114, Parcel Number 019.00.
- Deed reference: Record Book R2563, page 693, Register's Office of Maury County, Tennessee.
- Bearings based on: Tennessee State Plane, as determined by GPS observation.
- This drawing was prepared in accordance with our field survey notes. It shows improvements as they exist to the best of our knowledge, but is not guaranteed to be correct in each and every detail.
- This survey was prepared from current deeds of record and does not represent a title search or a guarantee of title, and is subject to any state of facts a current and accurate search may reveal.
- Total area of property surveyed is 7.79 acres.
- There is a 10 foot easement on property lines parallel to the public road for utility and drainage easements. Additional requirements may apply based on actual field conditions.
- Subject property does not lie in a FEMA/FIRM "Special Flood Hazard Area" as shown on Map 47119C0285E dated April 16, 2007.
- Unless otherwise noted, all lot corners are marked with iron rods.
- All townhomes to be constructed to meet the 2012 IRC.

Utility Notes

Public electric and communication utilities serving this development traverse underground and all related fixtures required for this service are encompassed by a 10-foot Public Utility Rights of Way Easement on all property lines parallel and abutting public or private roadways and 5 feet wide easement on all interior lot lines for utility and drainage easements.

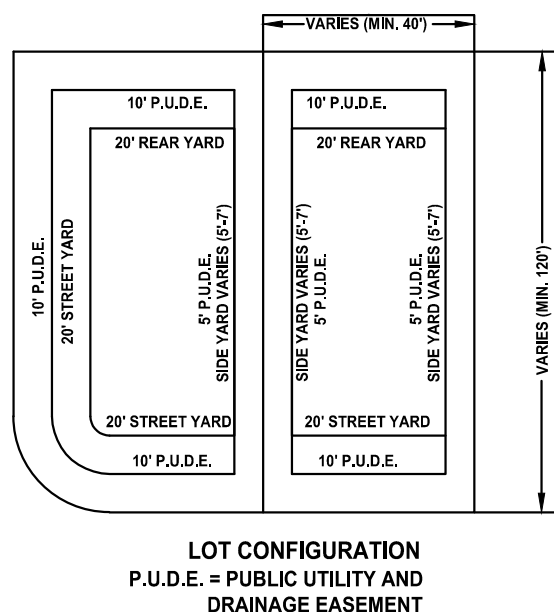
Service lines and fixtures will branch from main utility line and extend to an individual multi-unit structure within this easement. The gang meter base will be attached to the exterior wall of the structure. This gang meter base will serve as a branch in which individual service lines will extend to each unit within the structure.

The gang meter base will be encompassed by a blanket utility easement for service and maintenance as needed and required. Gang meter bases, electrical service entrance conductors from transformer to gang meter bases as well as lines leaving the gang meter base to serve individual units will be the responsibility of the Home Owners Association.

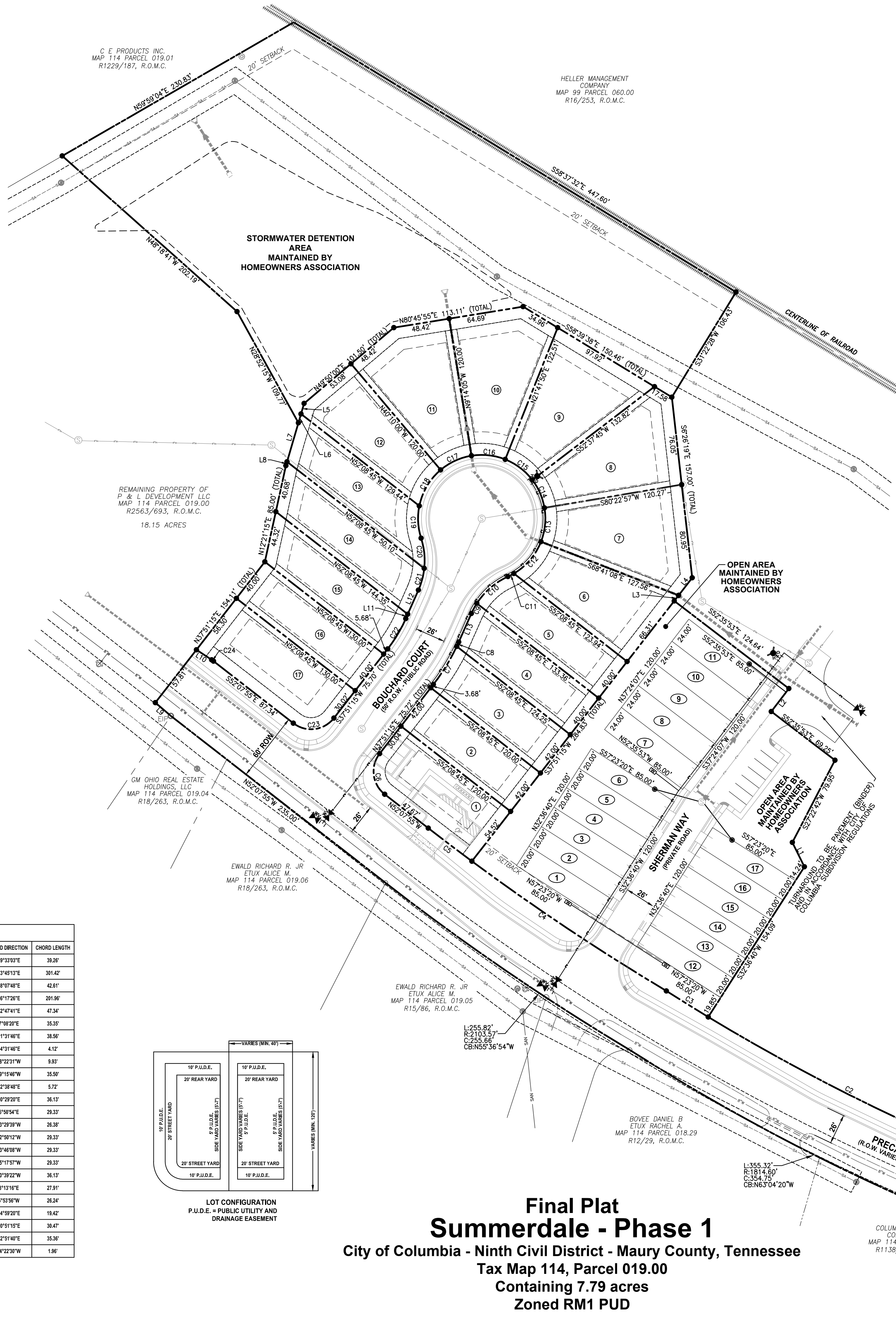
Additionally, a 10-foot Public Utility Rights of Way Easement shall continue vertically from the foundation through the roof on the exterior wall at the location of the meter bases of each building.

LOT NUMBER	SQUARE FEET	ACRES
1	6,464	0.15
2	5,040	0.12
3	5,094	0.12
4	5,165	0.12
5	5,230	0.12
6	6,589	0.15
7	7,951	0.18
8	7,460	0.17
9	7,752	0.18
10	7,903	0.18
11	7,657	0.18
12	6,045	0.14
13	5,564	0.13
14	5,938	0.14
15	5,527	0.13
16	5,200	0.12
17	7,028	0.16

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION
C1	45.15'	25.80'	103°32'33"	N59°33'03"E 39.36'
C2	391.79'	1754.44'	9°51'50"	S63°45'13"E 391.42'
C3	42.81'	1754.44'	1°23'30"	S58°07'46"E 42.81'
C4	202.04'	2043.57'	5°39'52"	S56°17'26"E 201.96'
C5	47.34'	2043.57'	1°19'38"	S52°47'41"E 47.34'
C6	39.26'	25.00'	89°59'10"	S7°08'20"E 35.35'
C7	36.64'	175.00'	12°36'58"	N31°31'40"E 36.56'
C8	4.12'	175.00'	1°21'02"	N24°31'46"E 4.12'
C9	9.94'	63.00'	9°02'31"	S28°22'31"W 9.93'
C10	35.99'	63.00'	32°44'00"	S40°15'45"W 35.50'
C11	5.73'	55.00'	5°57'58"	N62°38'48"E 5.72'
C12	36.81'	55.00'	38°20'57"	N40°29'20"E 36.13'
C13	29.69'	55.00'	30°55'55"	N5°56'54"E 29.33'
C14	26.64'	55.00'	27°45'11"	N23°29'39"W 26.38'
C15	29.69'	55.00'	30°55'55"	N52°50'12"W 29.33'
C16	29.69'	55.00'	30°55'55"	N63°46'08"W 29.33'
C17	29.69'	55.00'	30°55'55"	S65°17'57"W 29.33'
C18	36.82'	55.00'	38°21'15"	S30°39'22"W 36.13'
C19	38.22'	55.00'	29°30'01"	S3°13'16"E 27.91'
C20	26.44'	63.00'	24°52'41"	N9°53'56"W 26.24'
C21	19.59'	63.00'	17°43'50"	N14°59'20"E 19.42'
C22	36.54'	125.00'	14°00'00"	N30°51'15"E 36.47'
C23	39.28'	25.00'	80°00'50"	N62°51'40"E 35.36'
C24	1.96'	25.00'	4°29'10"	N54°22'33"W 1.96'



Final Plat
Summerdale - Phase 1
City of Columbia - Ninth Civil District - Maury County, Tennessee
Tax Map 114, Parcel 019.00
Containing 7.79 acres
Zoned RM1 PUD



Certificate of Ownership and Dedication

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number R2563, page 693, Maury County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.

Date: 11/14/2019
Title: (P & L DEVELOPMENT LLC.)

Certificate of Survey Accuracy

I (we) hereby certify that to the best of my (our) knowledge and belief that this is a true and accurate survey of the property shown hereon; that this is a Class "1" Land Survey as defined in the 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.
Date: 11/14/2019
Registered Land Surveyor: JAB
Number: 2438

Certificate of Approval of Water System

I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled "Final Plat - Summerdale - Phase 1" has/have been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date: 11/14/2019
Superintendent, Columbia Water System

Certificate of Approval of Streets, Drainage, and Utilities

I hereby certify that the streets, drainage, and utilities designated in Townhomes at Homestead have been installed in accordance with City specifications, or a performance bond in the amount of \$_____ for streets and drainage has been posted with the City of Columbia, Tennessee, to assure completion of such improvements.

Date: 11/14/2019
City Engineer, Columbia, Tennessee

Certificate of Approval for Recording

I hereby certify that the subdivision plat shown hereon has been found to comply with the Columbia Subdivision Regulations, with the exceptions of such variances, if any, as noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.

Secretary, Planning Commission: _____
Columbia, Tennessee
Date: _____

Certificate of Approval of Subdivision Name and Street Names

Subdivision name and street names approved by Maury County E-911.
Date: 11/14/2019
Maury County E-911

Certificate of Approval for Sewer System

I hereby certify that the sewer system outlined or indicated on this final subdivision plat has been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date: 11/14/2019
Superintendent, Columbia Wastewater System

Certificate of Compliance

I hereby certify that the subdivision plat shown hereon has been found to comply with the Columbia Subdivision Regulations and other adopted ordinances and policies.

City Engineer: _____
Columbia, Tennessee
Date: _____

REMAINING PROPERTY OF
P & L DEVELOPMENT LLC
MAP 114, PARCEL 019.00
R2563/693, R.O.M.C.
5.88 ACRES

LOCATION MAP



NOT TO SCALE

Owner:

P & L DEVELOPMENT LLC
5226 MAIN STREET, SUITE C-3
SPRING HILL TN 37174

Purpose of this plat:

The purpose of this plat is to create 17 townhome units and 17 residential lots.

Stormwater appurtenances as depicted on this Final Plat shall be maintained as directed in the "Inspection and Maintenance Agreement of Private Stormwater Management Facilities" as recorded in Record Book _____, pages _____ in the Register's Office of Maury County, Tennessee.

8" water line to be owned and maintained by Columbia Power and Water Systems

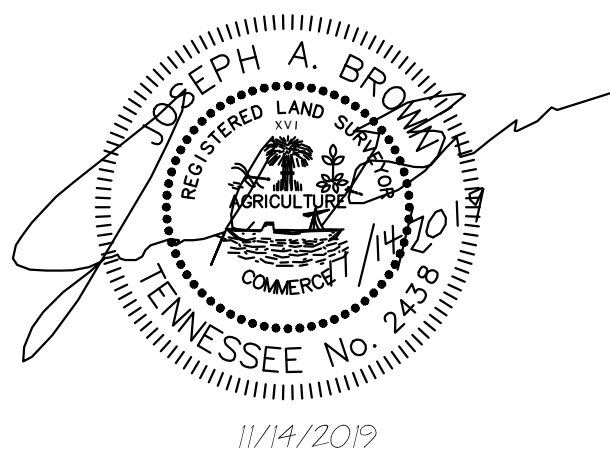
8" sanitary sewer line to be owned and maintained by Columbia Wastewater Systems.

Utility easements shown graphically hereon are further described as being 20 feet in width, centered on their utility lines (e.g., sanitary sewer line, water line, storm sewer lines).

LEGEND

These standard symbols will be found in the drawing.

- STORM SEWER LINE
- SANITARY SEWER LINE
- WATER LINE
- FIRE HYDRANT COMPLETE ASSEMBLY
- WATER METER VAULT
- CENTERLINE OF ROAD
- BUILDING SETBACK
- EASEMENT
- PROPERTY LINE
- IRON ROD (SET)



Date: 11-14-2019	Scale: 1"=50'
Drawn by: JAB	
Job number: 19-1101	Revised:
Sheet 1 of 1	

Case Number:

19-0197

Request:

Request from Doss Brothers for revised
PUD master site plan approval of 988 Baker
Road being Tax Map 75 Parcel 11.00.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
20190197

APPLICANT/PROPERTY OWNER
Doss Brothers Inc.

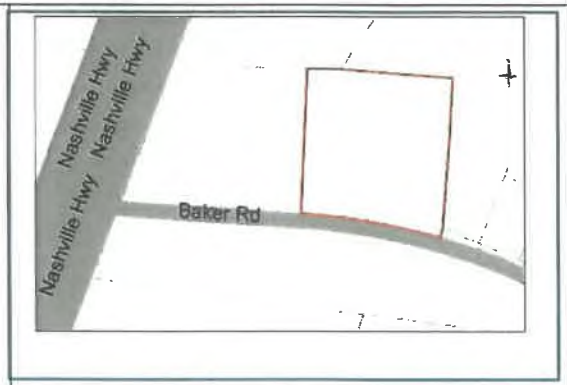
PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
988 Baker Road

March 12th 2020

BRIEF SUMMARY OF REQUEST

This is an application for a Master Plan review of a new office building on Baker Road. The 6,000 square foot building will consist mainly of brick with stone accents, parking along the street and west side, and a shared access driveway onto Baker Road with a neighboring western property.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
CEG-PUD	Vacant	Residential & Commercial	Commercial	1.9 acres

STAFF RECOMMENDATION**COMPATIBILITY with the COMPREHENSIVE PLAN**

NA

PROPERTY HISTORY

Currently vacant green space with a previously approved but expired site plan for office use.

COMPATIBILITY with the ZONING ORDINANCE

Staff would find this request to be compatible with the City's adopted policies.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

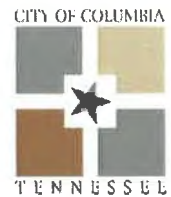
LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)



TECHNICAL MEETING

Monday, December 23, 2019

ITEM NO.

19-0197

DESCRIPTION: Request from Doss Brothers, Inc. for PUD master plan approval at 988 Baker Road.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Engineering

1. Subject to construction plan approval

Fire

2. No comments.

Wastewater

3. Wastewater approves this request.

Building

4. No comments.

Police

5. No comments provided.

Public Works

6. No comments provided.

Columbia Water

7. Water is available for Domestic/Fire protection. Existing 12" Water line is on North side of road.

Atmos Energy

8. No comments provided.

Maury County E911

9. No comments provided.

Maury County Schools

10. No comments provided.

Duck River Electric Membership Corp

11. No comments provided.

Planning

12. Provide scaled site plan
13. Show project boundary landscape buffers along all sides

Columbia Power

14. No comments provided.

ATTACHMENTS: PUD master plan

Not for Construction

RESERVED FOR SEAL

RESERVED FOR CONSULTANT LOGO

A NEW OFFICE BUILDING FOR
ROGERS GROUP, INC.
988 BAKER ROAD
COLUMBIA, TENNESSEE

PROJECT INFORMATION

NO. DATE	BY	REVISION
DRAWN BY JERRY W. REYNOLDS		
DESIGNED BY JERRY W. REYNOLDS		
APPROVED 		
JOB NO.	819A508	
DATE	12/9/2019	
SCALE		

FLOOR PLAN

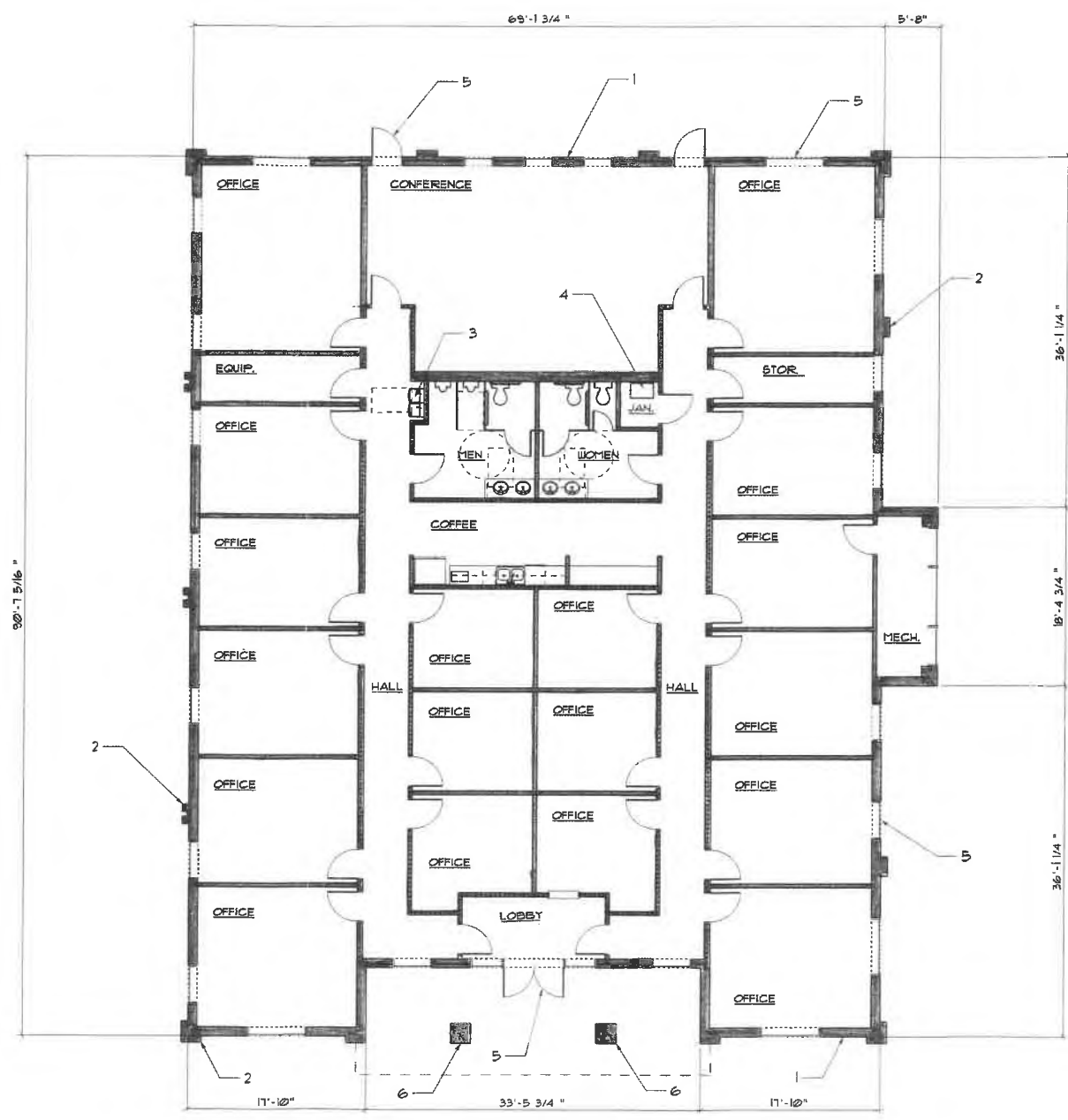
DRAWING NUMBER

A2.1

CADD FILE NO.

197

1. BRICK VENEER.
2. MANUFACTURED STONE.
3. WATER COOLER.
4. JANITOR SINK.
5. ALUMINUM STOREFRONT / WINDOWS.
6. MANUFACTURED STONE COLUMN.



FLOOR PLAN

WALL RATINGS

..... 1 HOUR

RECEIVED DEC 16 2019

DRAWING NOTES

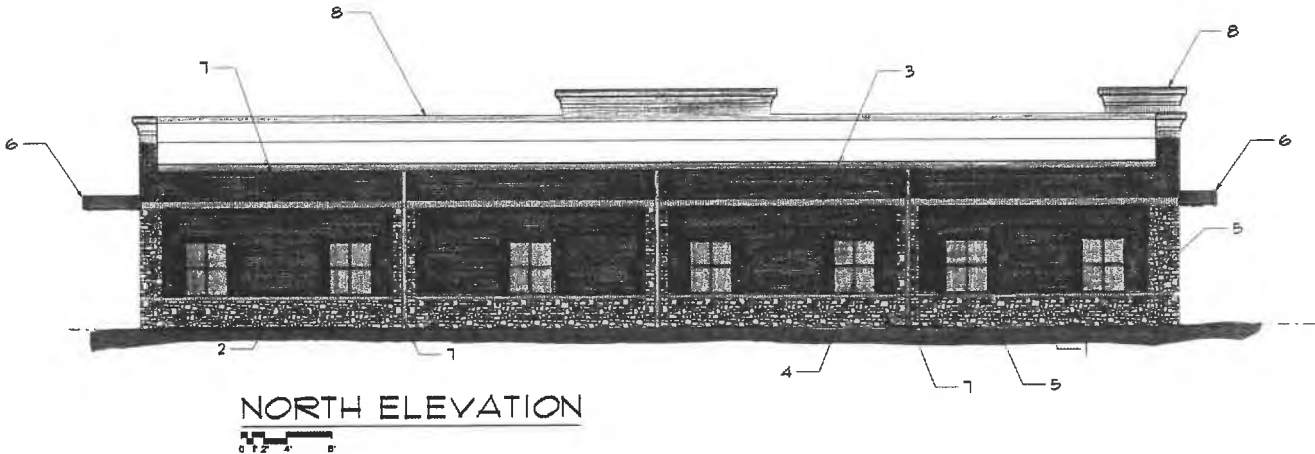
- 1. BRICK VENEER, COLOR ONE.
- 2. BRICK ROWLOCK COURSE, COLOR TWO.
- 3. BRICK SOLDIER COURSE, COLOR TWO.
- 4. ALUMINUM STOREFRONT / WINDOWS.
- 5. MANUFACTURED STONE.
- 6. CANOPY.
- 7. PREFINISHED METAL GUTTER / DOWNSPOUT.
- 8. PREFINISHED METAL COPING.
- 9. PRECAST FEATURE.

Jerry W. Reynolds
architect
interior planning interior design
904 WEST CYNTHIA TRAIL
GOODLETTSVILLE TN 37072-3517
PHONE (615) 855 - 0406

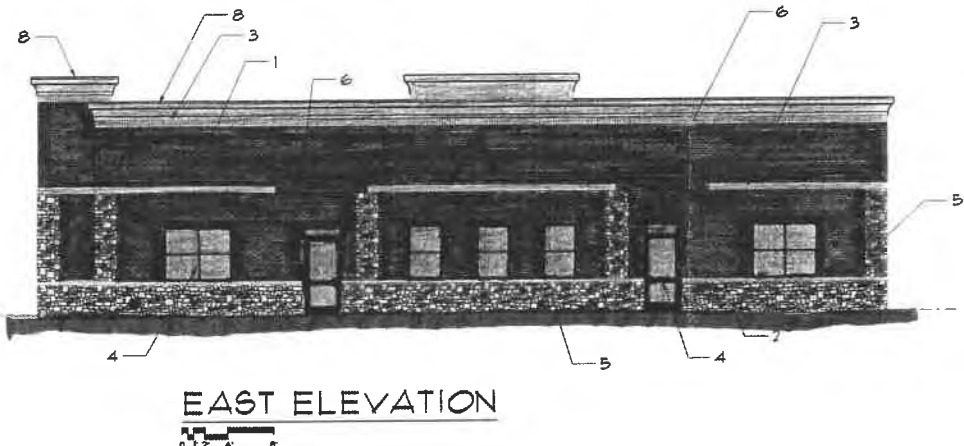
Not for Construction

RESERVED FOR SEAL

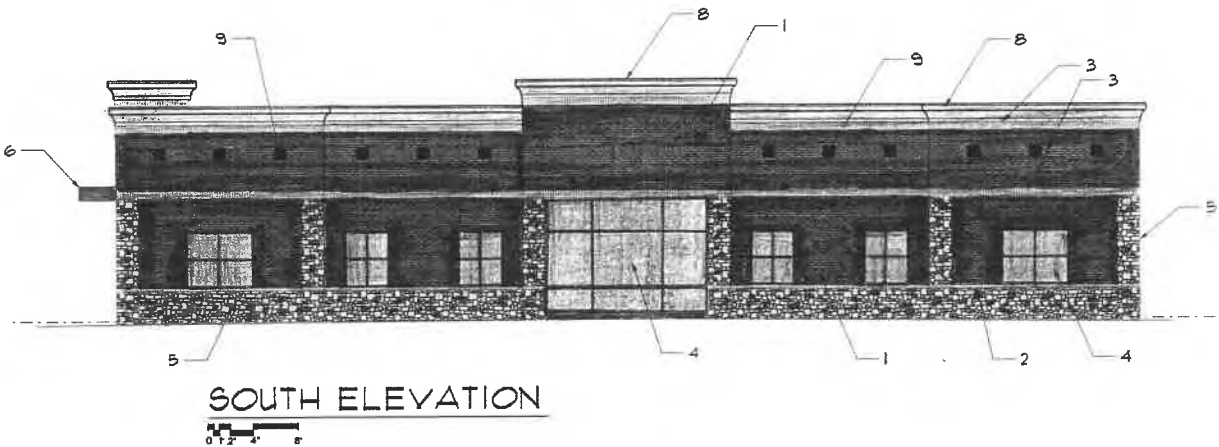
RESERVED FOR CONSULTANT LOGO



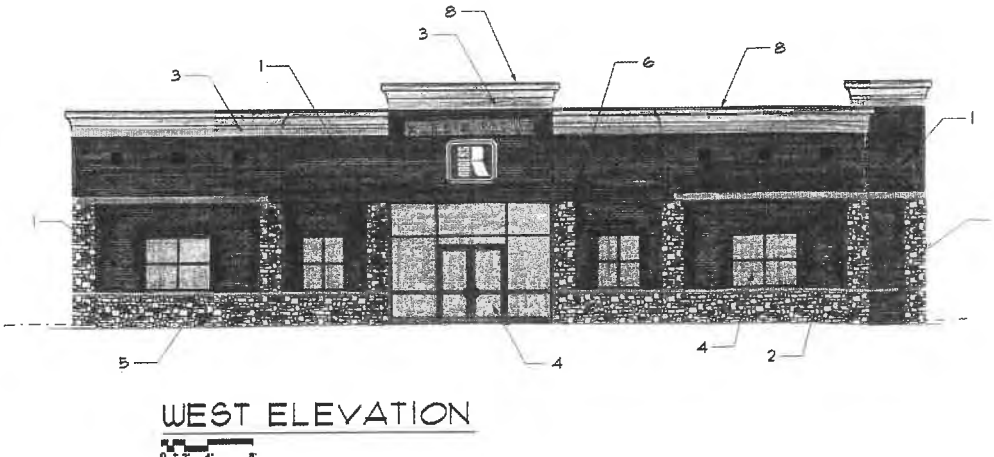
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

A NEW OFFICE BUILDING FOR
ROGERS GROUP, INC.
988 BAKER ROAD
COLUMBIA, TENNESSEE

PROJECT INFORMATION

NO. DATE BY REVISION

DRAWN BY JERRY W. REYNOLDS

DESIGNED BY JERRY W. REYNOLDS

APPROVED BY

JOE NO. 8194608

DATE 12/9/2019

SCALE

ELEVATIONS

DRAWING NUMBER

A3.0

CADD FILE NO.

DEVELOPMENT SUMMARY

STATISTIC	REQUIREMENT	PROVIDED
CURRENT ZONING		CEG-PUD RS10-PUD
MAXIMUM LOT COVERAGE	65%	26%
MINIMUM LOT AREA	10,000 S.F.	82,467 S.F.
MAXIMUM HEIGHT	35 FT	21 FT - 8 IN
MINIMUM LOT WIDTH	50 FT	317 FT
MINIMUM YARD REQUIREMENTS	FRONT: 30 FT SIDE: 10 FT REAR: 20 FT	FRONT: 90.14 FT SIDE: 108.76 FT REAR: 76.44 FT
TOTAL PARKING	OFFICE: 1 PER 300 SF FLOOR AREA - 6,132 SF = 21 SPACES HANDICAPPED ACCESSIBLE PARKING 1-200 SPACES 1 PER EVERY 25 REQUIRED SPACES 21 SPACES / 25 = 0.84 = 1 ACCESSIBLE SPACE	26 STANDARD SPACES 2 ACCESSIBLE SPACES 28 TOTAL SPACES
LANDSCAPE PLAN	PER CITY OF COLUMBIA	SEE SHEET L1
DRAINAGE PLAN	PER CITY OF COLUMBIA	SEE SHEET C3.0
TRAFFIC STUDY	N/A	N/A



ASPHALT PAVEMENT - 1,507 SQ.YD.
CONCRETE SIDEWALK - 155 SQ.YD.

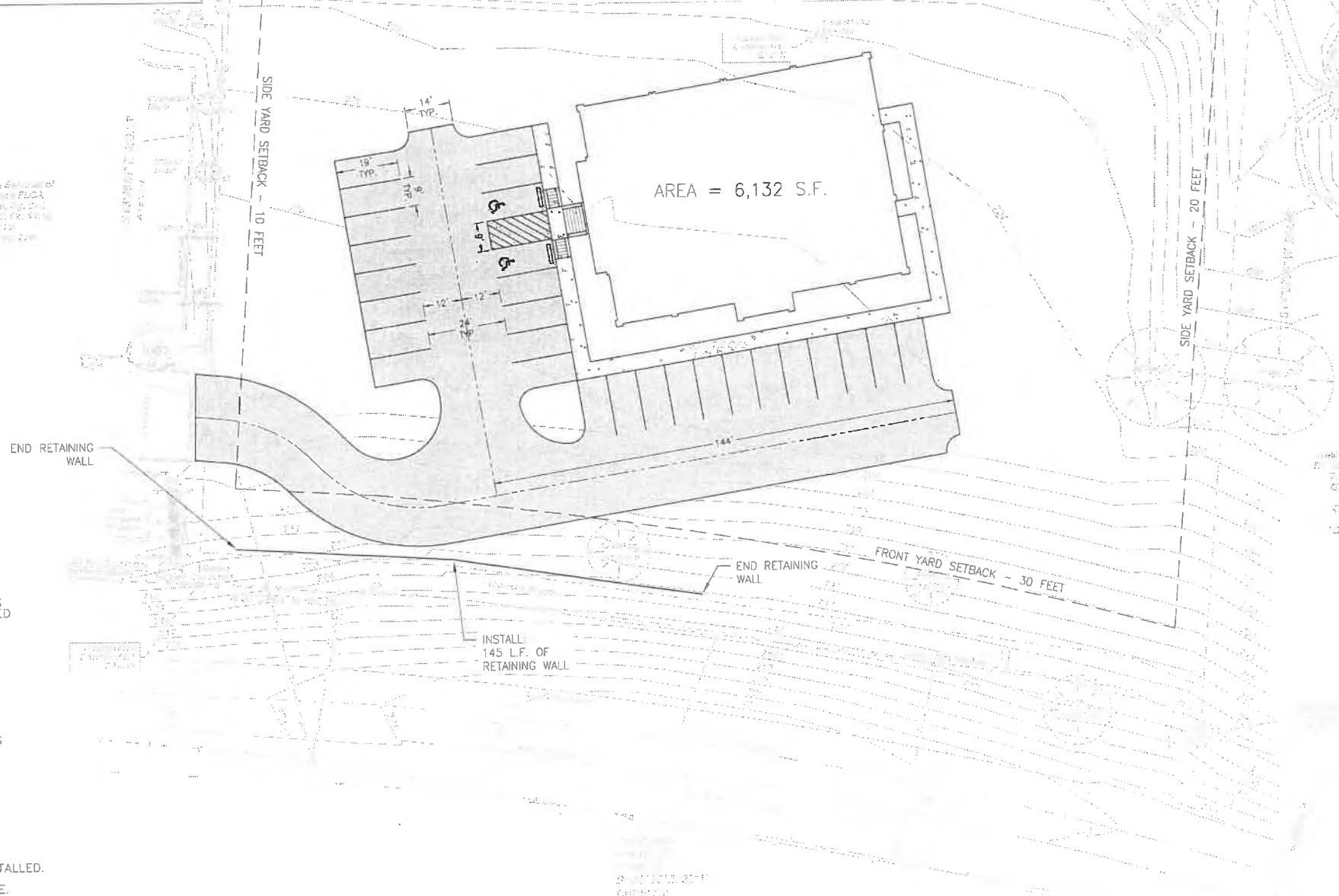
GENERAL SITE LAYOUT NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL MEASUREMENTS, ELEVATIONS, ETC. BEFORE ORDERING MATERIALS OR BEGINNING WORK, AND IS RESPONSIBLE FOR THE SAME.
- THE CONTRACTOR IS CAUTIONED AND SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF ANY ERROR OR OMISSION ON THE PLANS WHICH MAY CREATE ADDITIONAL WORK OR EXPENSE BY THE CONTRACTOR, AND SHALL OBTAIN A WRITTEN WORK ORDER FROM THE OWNER PRIOR TO PROCEEDING WITH ANY ADDITIONAL WORK WHICH MAY BE CAUSED FROM SUCH ERROR OR OMISSION ON THE PLANS.
- THE CONTRACTOR SHALL MAKE APPLICATION FOR OBTAIN AND PAY FOR ALL NECESSARY LICENSES AND PERMITS REQUIRED FOR THIS PROJECT. HE SHALL ENSURE THAT HIS OPERATIONS ARE CARRIED OUT IN CONFIRMATION WITH ALL APPLICABLE STATE, LOCAL AND FEDERAL CODES, STATUTES OR REGULATIONS INCLUDING THOSE CODES, STATUTES OR REGULATIONS CONCERNING PROTECTION OF LIVES AND PROPERTIES.
- NEITHER THE OWNERS OR THE ENGINEER SHALL BE RESPONSIBLE FOR SUB-SURFACE CONDITIONS. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION CONCERNING SUB-SURFACE CONDITIONS.
- CARE SHALL BE TAKEN TO PROTECT ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO PRIVATE PROPERTY INCLUDING PROPERTY OF THE CITY, COUNTY, STATE OR FEDERAL GOVERNMENT.
- THE CONTRACTOR SHALL "HOLD HARMLESS" AND SAVE THE OWNER AND ENGINEER FROM ANY ACTS OF THE CONTRACTOR, HIS EMPLOYEES, SUB-CONTRACTORS, MATERIAL SUPPLIERS OR OTHERS WHO MAY BE PERFORMING WORK OR DUTIES IN CONNECTION WITH THE CONTRACTOR'S OPERATIONS.
- THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY WARNING DEVICES FOR PROTECTION OF THE WORK AND SAFETY OF WORKERS AND PASSERBY INCLUDING BARRICADES, WARNING SIGNS AND LIGHTS DURING THE EVENING AND NIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND INSTALLED.
- ALL DIMENSIONS INVOLVING CURB READIL ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5.0' UNLESS NOTED OTHERWISE.
- ALL UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4 INCHES TOPSOIL, SEED (AS OUTLINED IN LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
- ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS ARE AS FOLLOWS:

PRATT AND LAMBERT TRAFFIC PAINT
SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING PAINT B29 SERIES
GLIDDEN ROMARK TRAFFIC PAINT
PPG ZONE AND TRAFFIC MARKING PAINT

END RETAINING WALL

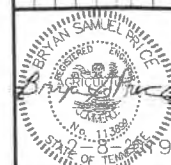
SITE LAYOUT



BPE

BRYAN PRICE ENGINEERING
865 COKER FORD ROAD
PORTLAND, TENNESSEE 37148
PHONE: 615-481-3176 EMAIL: BRYAN.PRICE@BPEAGAN.COM

REVISIONS	DATE



DATE:	OCTOBER 2019
DRAWN BY:	PRICE
CHECKED BY:	PRICE
APPROVED BY:	PRICE

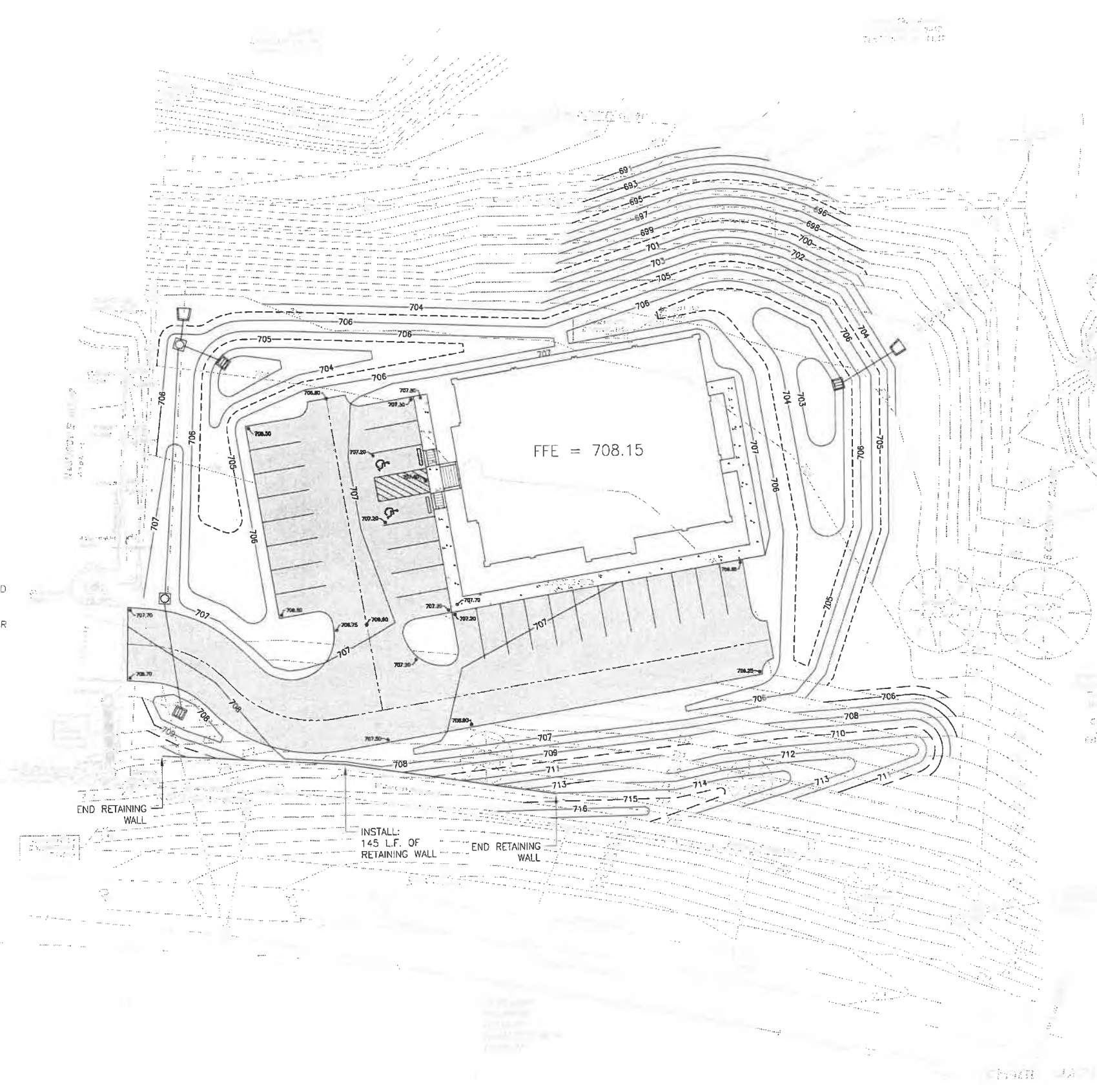
SITE LAYOUT

ROGERS GROUP COLUMBIA OFFICE
988 BAKER ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE

SHEET NO.

C2.0

JOB NO. 0901-04



1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ONSITE OR IN THE RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY IN ONE CALL 72 HOURS PRIOR TO EXCAVATION.
2. PROPOSED CONTOURS ARE TO FINISHED GRADE.
3. NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
4. DITCH SIDE SLOPES EXCEEDING 4:1 SHALL BE SODDED OR HAVE EROSION CONTROL BLANKETS PLACED IMMEDIATELY AFTER FINAL GRADE HAS BEEN ESTABLISHED. ALL DITCH BOTTOMS SHALL BE SODDED OR HAVE EROSION CONTROL BLANKETS PLACED AFTER FINAL GRADING.
5. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL PROPOSED STRUCTURES. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
6. EXPOSE AS SMALL AN AREA OF SOIL FOR AS SHORT A TIME AS POSSIBLE.
7. KEEP DUST WITHIN ACCEPTABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
8. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
9. ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN THE CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
10. ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.

ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" DEPTH OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE: 12 POUNDS PER 1,000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1,000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE. (APPROXIMATELY 125 POUNDS PER 1,000 SQUARE FEET).
12. THE CONTRACTOR SHALL VERIFY POSITIVE FLOW FOR ALL STORM SEWER SYSTEMS. DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER IMMEDIATELY.
13. ALL SPOT ELEVATIONS SHOWN ARE FOR FINISHED GRADE.

$$\text{FFE} = 708.15$$

END RETAINING WALL

INSTALL:
145 L.F. OF
RETAINING WALL

END RETAINING
WAL

GRADING AND DRAINAGE PLAN

A horizontal scale bar with alternating black and white segments. It is marked with the numbers 20, 0, 20, and 40. Below the bar, the word "scale" is on the left and "feet" is on the right.

BPF

BRYAN PRICE ENGINEERING
865 COKER FORD ROAD
PORTLAND, TENNESSEE 37148
PHONE: 615-481-3176 EMAIL: bprice@bryprice.com

[illegible]

GRADING AND DRAINAGE PLAN

ROGERS GROUP COLUMBIA OFFICE
988 BAKER ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE

SHEET NO.

C3.0

JOB NO. : 6901-C



GRADING, DRAINAGE, AND EROSION CONTROL NOTES:

1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ONSITE OR IN THE RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY TN ONE CALL 72 HOURS PRIOR TO EXCAVATION.
2. PROPOSED CONTOURS ARE TO FINISHED GRADE.
3. NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
4. DITCH SIDE SLOPES EXCEEDING 4:1 SHALL BE SODDED OR HAVE EROSION CONTROL BLANKETS PLACED IMMEDIATELY AFTER FINAL GRADE HAS BEEN ESTABLISHED. ALL DITCH BOTTOMS SHALL BE SODDED OR HAVE EROSION CONTROL BLANKETS PLACED AFTER FINAL GRADING.
5. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL PROPOSED STRUCTURES. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
6. EXPOSE AS SMALL AN AREA OF SOIL FOR AS SHORT A TIME AS POSSIBLE.
7. KEEP DUST WITHIN ACCEPTABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
8. USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
9. ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN THE CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
10. ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
11. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" DEPTH OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1,000 SQUARE FEET OF 6-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1,000 SQUARE FEET AND A STRAW MULCH OF 70%-80% COVERAGE. (APPROXIMATELY 125 POUNDS PER 1,000 SQUARE FEET).
12. THE CONTRACTOR SHALL VERIFY POSITIVE FLOW FOR ALL STORM SEWER SYSTEMS. DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER IMMEDIATELY.
13. ALL SPOT ELEVATIONS SHOWN ARE FOR FINISHED GRADE.

Plant Schedule

Canopy Trees: total of 22 calliper inches

Key	Qty	Name of Plant	Size
A	9	October Glory Maple	2" calliper
B	2	Weeping Willow	2" calliper

Understory Trees: total of 10 calliper inches

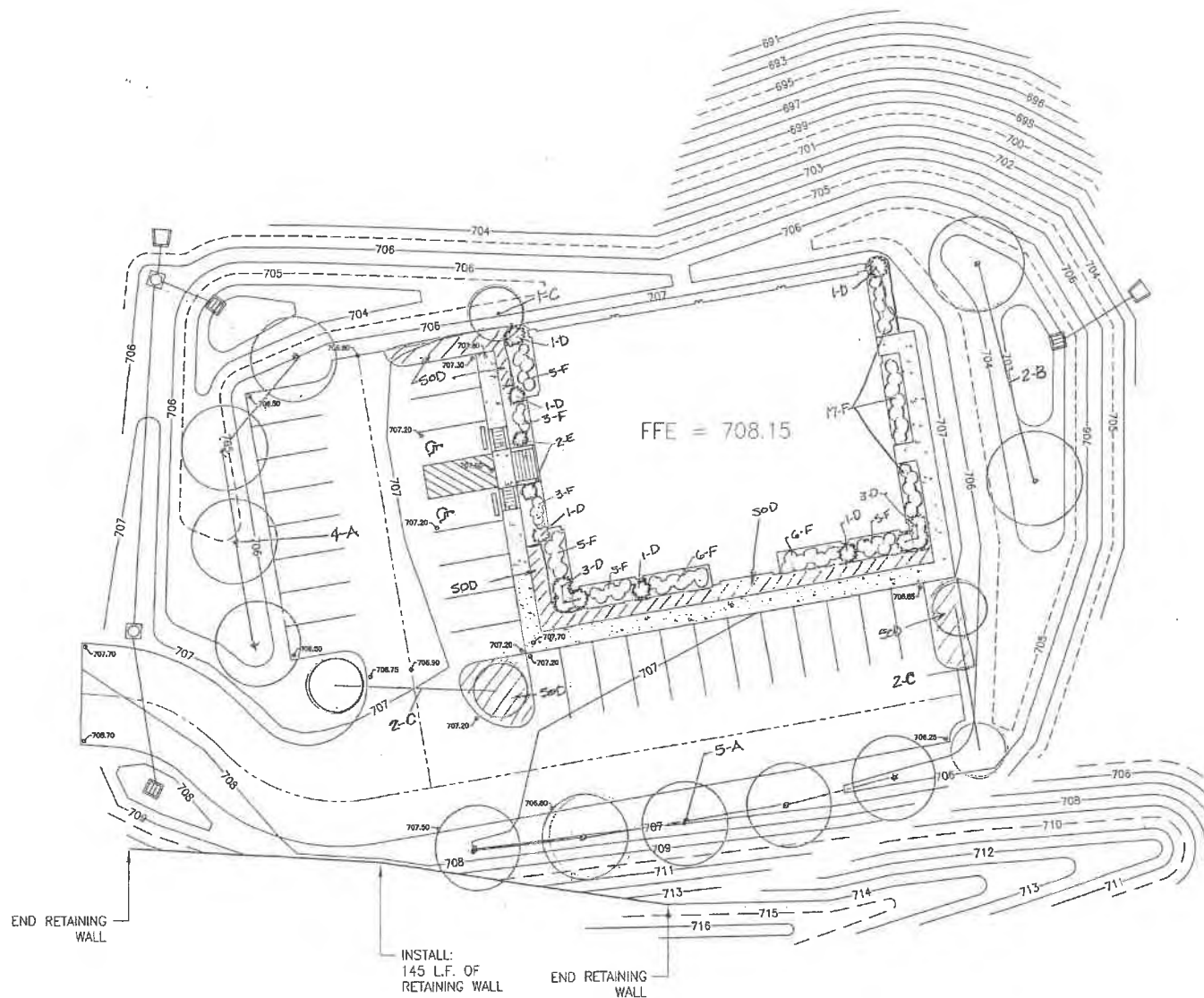
C	5	Yoshino Cherry	2" calliper
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Shrubs:

D	12	Emerald Arborvitae	6' tall
E	2	Green Mountain Boxwood	36" tall
F	55	China Girl Holly	15-18" tall

Notes:

1. Turf-type hybrid Fescue Sod should be installed in all areas denoted as sod surrounding the building.
2. All other exposed soil areas should be addressed in a manner consistent with the notes found on the grading and drainage plan which are also listed on this plan.
3. All shrub beds and individual trees should be mulched to a depth of 3" with shredded pine bark mulch after all plants have been installed.



Landscaping Plan



Landscaping Plan

ROGERS GROUP COLUMBIA OFFICE
288 BAKER ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE

SHEET NO.

L10

JOB NO. 01-04

DEVELOPMENT SUMMARY

STATISTIC	REQUIREMENT	PROVIDED
CURRENT ZONING		CEG-PUD RS10-PUD
MAXIMUM LOT COVERAGE	65%	26%
MINIMUM LOT AREA	10,000 S.F.	82,467 S.F.
MAXIMUM HEIGHT	35 FT	21 FT - 8 IN
MINIMUM LOT WIDTH	50 FT	317 FT
MINIMUM YARD REQUIREMENTS	FRONT: 30 FT SIDE: 10 FT REAR: 20 FT	FRONT: 90.14 FT SIDE: 108.76 FT REAR: 76.44 FT
TOTAL PARKING	OFFICE: 1 PER 300 SF FLOOR AREA - 6,132 SF = 21 SPACES	26 STANDARD SPACES
	HANDICAPPED ACCESSIBLE PARKING 1-200 SPACES 1 PER EVERY 25 REQUIRED SPACES	
	21 SPACES / 25 = 0.84 = 1 ACCESSIBLE SPACE	2 ACCESSIBLE SPACES
		28 TOTAL SPACES
LANDSCAPE PLAN	PER CITY OF COLUMBIA	SEE SHEET L1
DRAINAGE PLAN	PER CITY OF COLUMBIA	SEE SHEET C3.0
TRAFFIC STUDY	N/A	N/A



ASPHALT PAVEMENT - 1,507 SQ.YD.



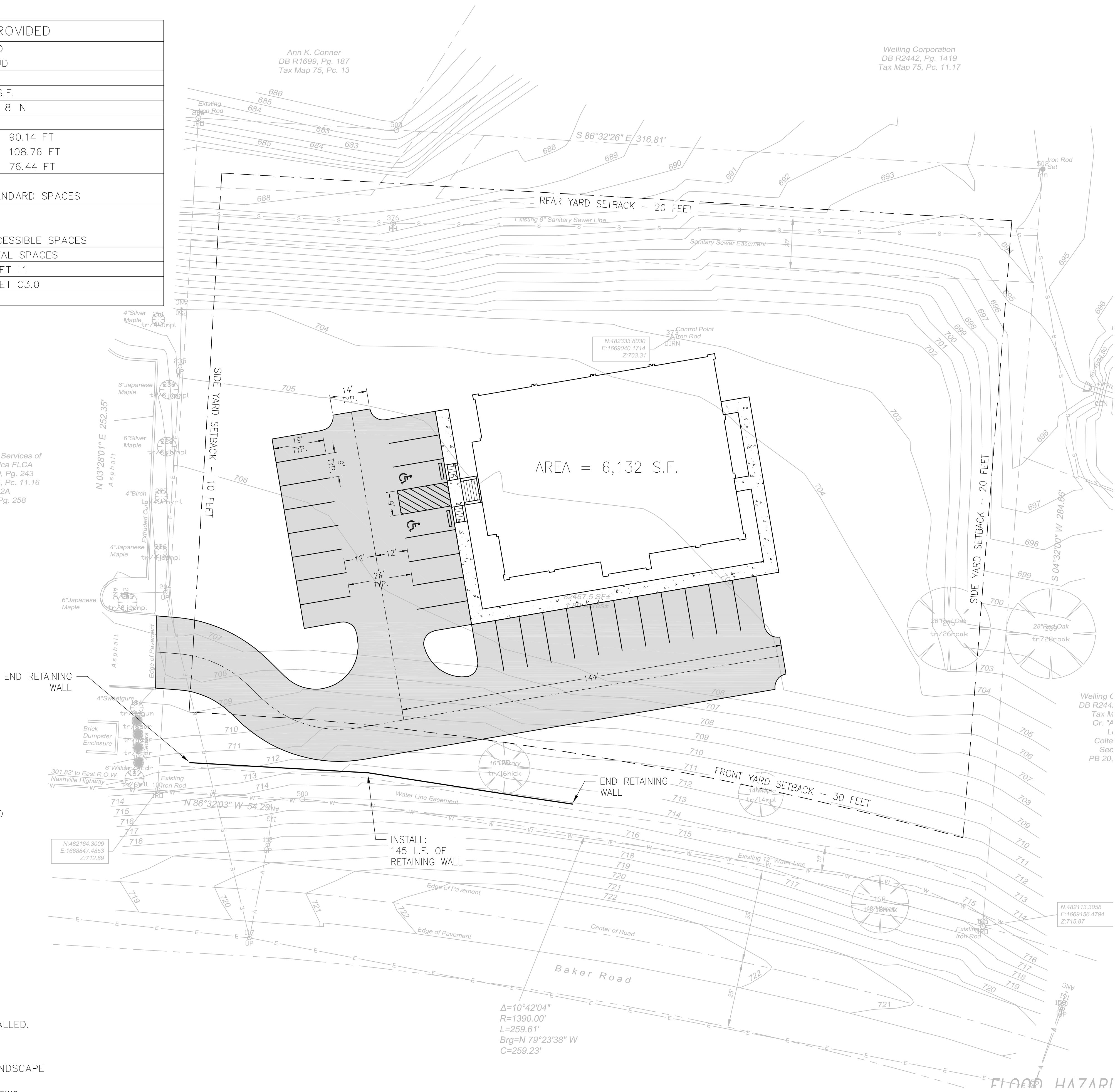
CONCRETE SIDEWALK - 155 SQ.YD.

GENERAL SITE LAYOUT NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL MEASUREMENTS, ELEVATIONS, ETC. BEFORE ORDERING MATERIALS OR BEGINNING WORK, AND IS RESPONSIBLE FOR THE SAME.
- THE CONTRACTOR IS CAUTIONED AND SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER OF ANY ERROR OR OMISSION ON THE PLANS WHICH MAY CREATE ADDITIONAL WORK OR EXPENSE BY THE CONTRACTOR, AND SHALL OBTAIN A WRITTEN WORK ORDER FROM THE OWNER PRIOR TO PROCEEDING WITH ANY ADDITIONAL WORK WHICH MAY BE CAUSED FROM SUCH ERROR OR OMISSION ON THE PLANS.
- THE CONTRACTOR SHALL MAKE APPLICATION FOR, OBTAIN, AND PAY FOR ALL NECESSARY LICENSES AND PERMITS REQUIRED FOR THIS PROJECT. HE SHALL ENSURE THAT HIS OPERATIONS ARE CARRIED OUT IN CONFIRMATION WITH ALL APPLICABLE, STATE, LOCAL AND FEDERAL CODES, STATUTES OR REGULATIONS INCLUDING THOSE CODES, STATUTES OR REGULATIONS CONCERNING PROTECTION OF LIVES AND PROPERTIES.
- NEITHER THE OWNERS OR THE ENGINEER SHALL BE RESPONSIBLE FOR SUB-SURFACE CONDITIONS. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION CONCERNING SUB-SURFACE CONDITIONS.
- CARE SHALL BE TAKEN TO PROTECT ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO PRIVATE PROPERTY INCLUDING PROPERTY OF THE CITY, COUNTY, STATE OR FEDERAL GOVERNMENT.
- THE CONTRACTOR SHALL "HOLD HARMLESS" AND SAVE THE OWNER AND ENGINEER FROM ANY ACTS OF THE CONTRACTOR, HIS EMPLOYEES, SUB-CONTRACTORS, MATERIAL SUPPLIERS OR OTHERS WHO MAY BE PERFORMING WORK OR DUTIES IN CONNECTION WITH THE CONTRACTOR'S OPERATIONS.
- THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY WARNING DEVICES FOR PROTECTION OF THE WORK AND SAFETY OF WORKERS AND PASSERBY INCLUDING BARRICADES, WARNING SIGNS AND LIGHTS DURING THE EVENING AND NIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND INSTALLED.
- ALL DIMENSIONS INVOLVING CURB READII ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5.0' UNLESS NOTED OTHERWISE.
- ALL UNPAVED AREAS ARE TO RECEIVE A MINIMUM OF 4 INCHES TOPSOIL, SEED (AS OUTLINED IN LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
- ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS ARE AS FOLLOWS:

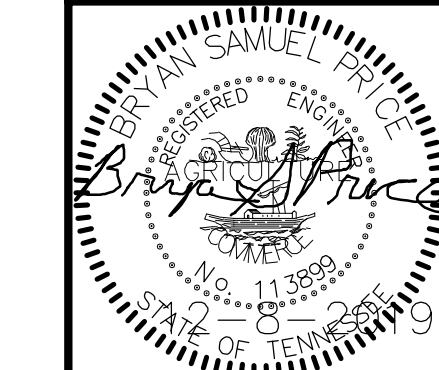
PRATT AND LAMBERT TRAFFIC PAINT
SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING PAINT B29 SERIES
GLIDDEN ROMARK TRAFFIC PAINT
PPG ZONE AND TRAFFIC MARKING PAINT

SITE LAYOUT

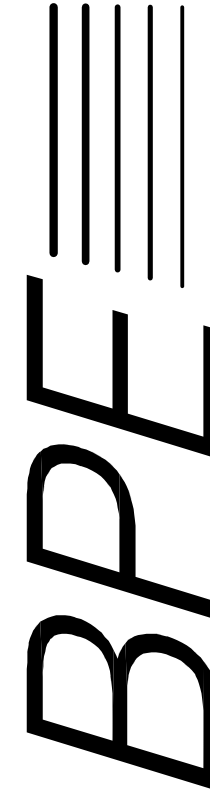


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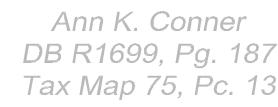
ROGERS GROUP COLUMBIA OFFICE
988 BAKER ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE



DATE:	OCTOBER 2019
DRAWN BY:	PRICE
CHECKED BY:	PRICE
APPROVED BY:	PRICE

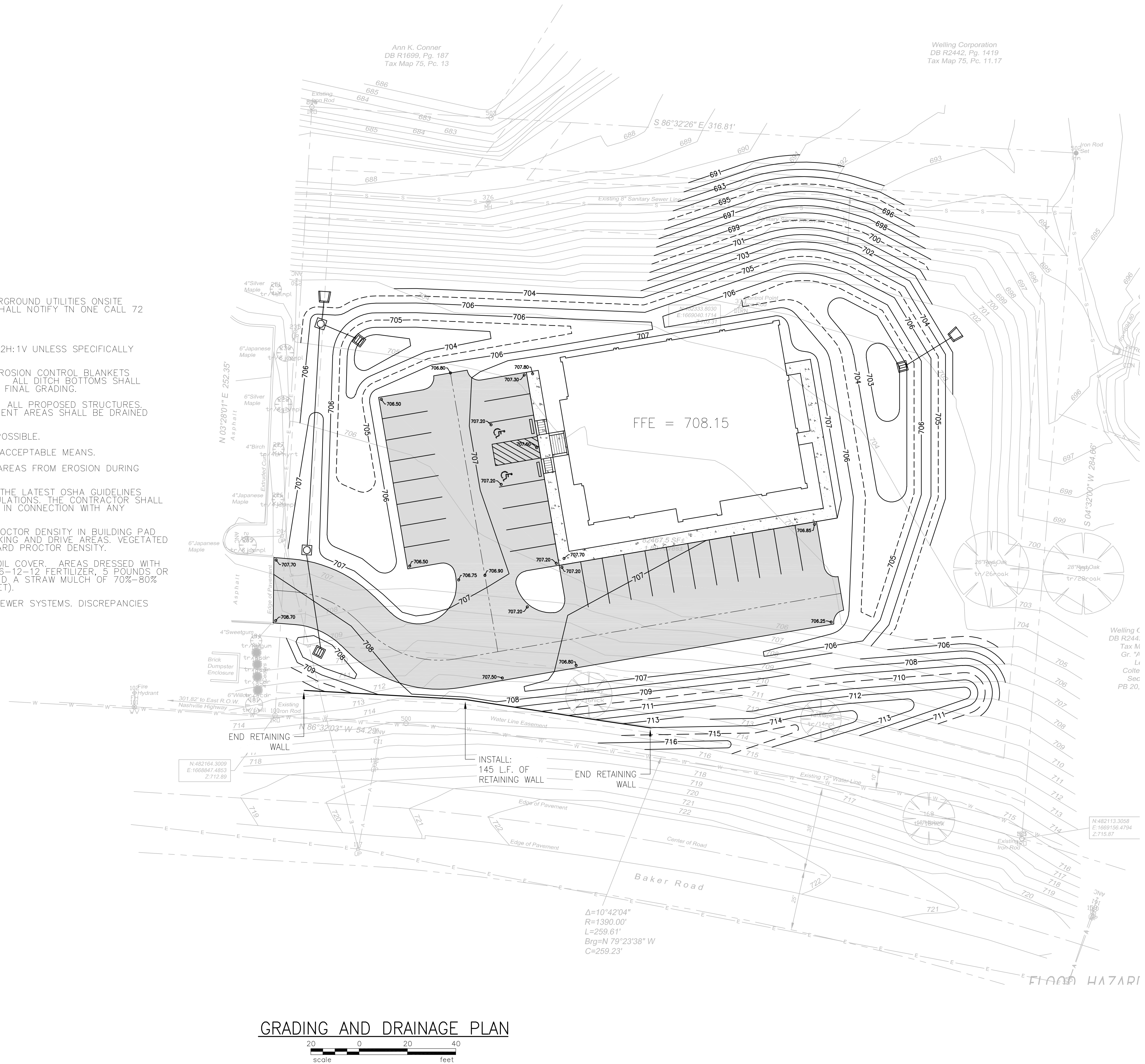


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Welling Corporation
DB R2442, Pg. 1419
Tax Map 75, Pc. 11.17

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JOB NO. :

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PORTLAND, TENNESSEE 37148
PHONE: 615-481-3176 EMAIL: BRYAN.PRICE@REAGAN.COM



Ann K. Gerner
DB R1593, Pg. 187
Tax Map 75, Pg. 13

Welling Corporation
DB R2442, Pg. 1419
Tax Map 75, Pg. 11, 17

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Plant Schedule

Canopy Trees: Boundaries requirement (26) Provided (29)

Key	Qty	Name of Plant	Size
A	9	October Glory Maple	2" caliper
B	2	Weeping Willow	2" caliper
C	10	Tulip Poplar	2" caliper
D	3	Overcup Oak	2" caliper

Existing:

2	Red Cedar	2"+
1	Black Cherry	2"+
1	Oak	2"+
1	Hackberry	2"+

Accent Trees: Boundaries requirement (50) Provided (51)

E	46	Eastern Redbud	1 1/2" caliper
F	5	Yoshino Cherry	2" caliper

Shrubs: Boundaries requirement (115) Provided (115)

Boundary shrubs:

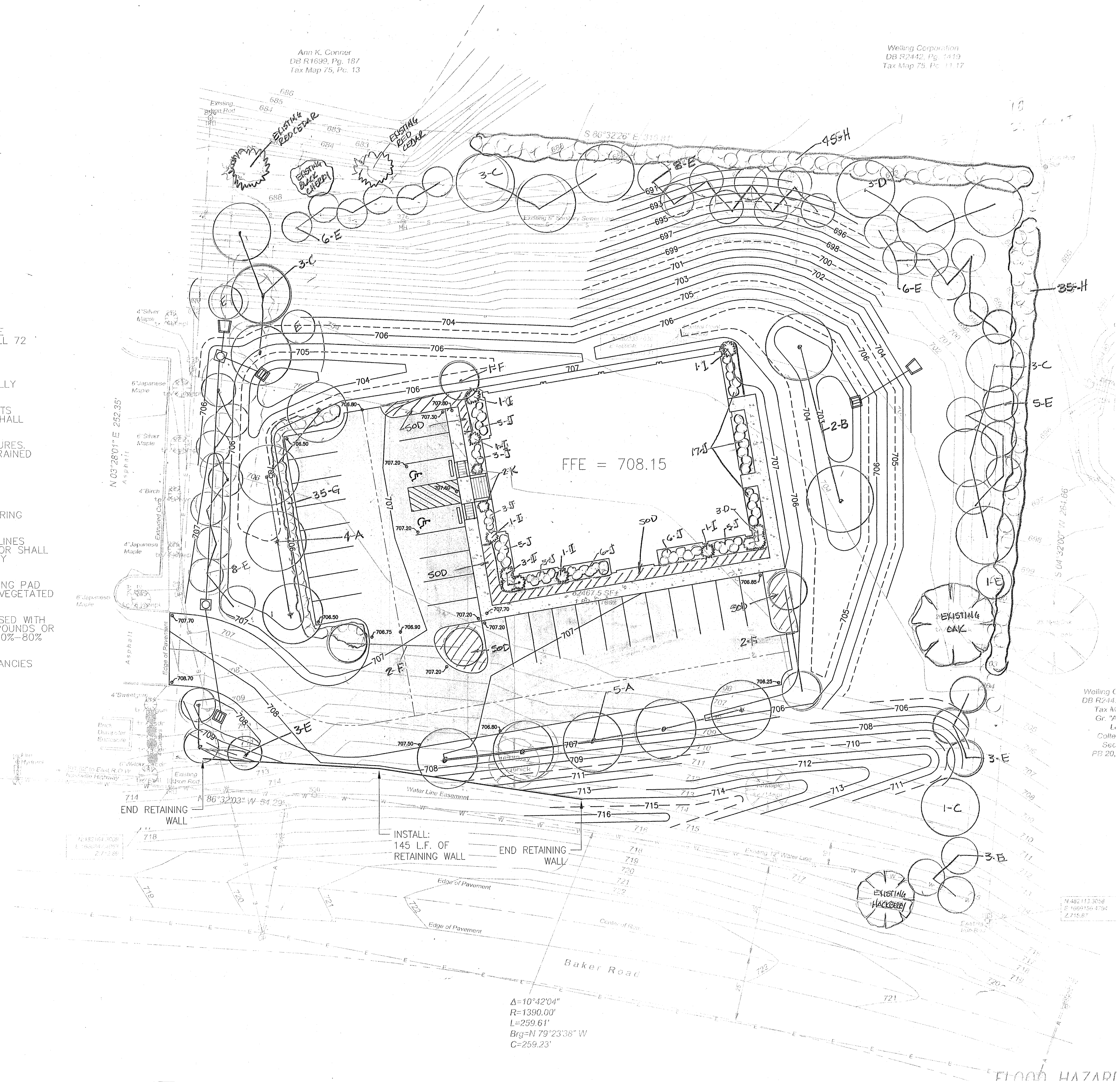
G	35	Dwarf Burford Holly	15-18"
H	80	Elaeagnus Ebbingi	24"

Foundation Shrubs

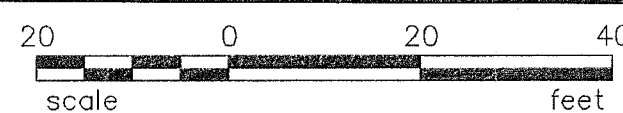
I	12	Emerald Arborvitae	6' tall
J	2	Green Mountain Boxwood	36" tall
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Landscaping Plan



Landscaping Plan

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COLUMBIA, MAURY COUNTY, TENNESSEE

SHEET NO.

L1.0

JOB NO. 0901-04