

1. Agenda

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[CMPC_20190612AGENDA \(PDF\).PDF](#)

2. Meeting Materials

Documents:

[CMPC_20190612AGENDAPACKET \(PDF\).PDF](#)



DEVELOPMENT SERVICES

To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: June 12, 2019 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, June 12, 2019 at 4:00 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

Call to Order.....Chairman
Roll Call.....Secretary
Approval of Minutes.....Commission Members
Welcome of Visitors.....Chairman

- 1. Review of Bonds and/or Letters of Credit.**
- 2. Acknowledgement of Official Communications of the Columbia City Council on annexation and zoning.**
- 3. Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.**
- 4. Request from Mahon Road Holdings for Planned Unit Development Master Plan revision of property on Baker Road being Tax Map 75 Parcel 11.00.**
- 5. Request from Blake Kelley to rezone property off Mooresville Pike being Tax Map 99P Group D Parcel 16.00 from R-10 to R-6.**
- 6. Request from Allen O'Leary for final plat and surety in the amount \$103,000 approvals for Honey Farm Subdivision Phase 2 Section 10 for 25 lots.**
- 7. Request from FP,TCI,CCS, LLC for final plat and surety in the amount of \$121,000 approvals for Homestead at Carters Station Section 4 Phase 2 for 27 lots.**



DEVELOPMENT SERVICES

- 8. Request from Scott Williams for final master site plan approval of Foxhill Apartments off Nashville Highway being Tax Map 75 Parcel 8.02.**
- 9. Request from Bill Carroll to rezone property off South Garden Street from Industrial General to Mixed Residential Commercial district being Tax Map 99H Group J Parcels 10, 9, 8, and 7.00.**
- 10. James Svarda to rezone property off Bullock Street from R-6 to RM-1 being Tax Map 89M Group A Parcels 20.01 and 20.00.**
- 11. Other Business**
 - a. Stormwater violation update.**

*Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting.*

CITY OF COLUMBIA



T E N N E S S E E

City of Columbia

Municipal Planning Commission

June 12, 2019

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DEVELOPMENT SERVICES

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DEVELOPMENT SERVICES

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11. **Other Business**
 - a. **Stormwater violation update.**

*Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting.*

City of Columbia
MUNICIPAL PLANNING COMMISSION
MAY 8, 2019

PUBLIC HEARING:
COMPREHENSIVE PLAN AMENDMENT

CALL TO ORDER:

Chairman Wesley Bryant called the Public Hearing for the Comprehensive Plan Amendment to order at 4:00 p.m.

ROLL CALL:

Quorum present and included the following:

Present were: Mr. Ray Pace
 Councilman King
 Mr. Wesley Bryant
 Mr. Charlie Goatz
 Mr. Randy McBroom
 Dr. Rose McClain

Absent was: Mayor Molder

Other attendees: Mr. Tony Massey, City Manager
 Mr. Tim Tisher, City Attorney
 Mr. Paul Keltner, Development Services Director
 Mr. Glenn Harper, City Engineer
 Mr. Armond Harris, Asst. City Engineer
 Mr. Douglas Toney, Staff Engineer
 Mrs. Melissa Sanders, Secretary

AGENDA ITEM #1

Case #19-0016

Public Hearing for a Comprehensive Plan Amendment to designate 1316 Hampshire Pike being Tax Map 89 Group A Parcel 15.00 and Tax Map 89 Parcel 39.00 from Suburban Neighborhood to Suburban Corridor.

Discussion:

Director Keltner stated this item is number ten on the regular Planning Commission agenda and gave the details for the requested comprehensive plan amendment concerning the Suburban Corridor designation. Mr. Jim Webb, applicant, stated he designed the plan for Mr. David Baxter and this property is adjoining properties that are already designated as Suburban Corridor. Commissioners asked about the size, density, and location. Ms. Beverly Norman, adjoining property owner, asked about privacy, noise, lighting, and adequate buffers. A second citizen who is an adjoining property owner in the Wyndham

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Park development, asked about the type, size and ownership of the proposed residences. Mr. Webb stated this development would be very similar to the Wyndham Park development and not be rental property. A third citizen, living in LaDue Manor Subdivision, asked about access to the new development.

ADJOURNMENT OF THE PUBLIC HEARING

Dr. McClain made the motion to adjourn the Public Hearing. Mr. McBroom seconded the motion. Motion to adjourn passed with a vote of six to zero. The Public Hearing adjourned at 4:02 p.m.

REGULAR MEETING OF THE PLANNING COMMISSION

CALL TO ORDER:

Chairman Wesley Bryant called the April Planning Commission meeting for the City of Columbia to order at 4:03 p.m. The meeting was held in Council Chambers at City Hall.

ROLL CALL:

Quorum present and included the following:

Present were: Mr. Ray Pace
 Mr. Charlie Goatz
 Mr. Randy McBroom
 Mr. Wesley Bryant
 Dr. Rose McClain
 Councilman King

Absent was: Mayor Chaz Molder

Other attendees: Mr. Tony Massey, City Manager
 Mr. Tim Tisher, City Attorney
 Mr. Paul Keltner, Development Services Director
 Mr. Glenn Harper, City Engineer
 Mr. Armond Harris, Asst. City Engineer
 Mr. Douglas Toney, Staff Engineer
 Mrs. Melissa Sanders, Secretary

APPROVAL OF MINUTES:

The April minutes were presented for approval. Dr. McClain made the motion to approve the minutes. Mr. Goatz seconded the motion. Motion to approve the minutes passed unanimously with a vote of six to zero.

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AGENDA ITEM #8

Case #19-0015

Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.

Staff Recommendation:

Director Keltner stated agenda item number eight is requested to be deferred due to a notifications discrepancy.

Discussion:

Dr. McClain made the motion to defer with Mr. Goatz seconding. Motion to defer passed with a unanimous vote of six to zero. Chairman Bryant informed the audience of the next Planning Commission meeting date.

REVIEW OF BONDS:

Mr. Harper stated all letters of credit are in order or in the process of being updated.

OFFICIAL COMMUNICATIONS:

Mr. Keltner stated there were two items approved on second reading, the Morrow Lane rezoning from RS-40 to RS-10, and the rezoning with master plan on Sidco Drive. Also, there was the first reading for the Barrow Court Historic District modification for two properties on West 8th Street.

AGENDA ITEM #3

Case #19-0019

Request from Allen O'Leary for preliminary plat approval of Morgan Meadows Conservation Subdivision off Forrest Drive being Tax Map 112 Parcel 6.

Staff Recommendation:

Mr. Keltner presented the details of the staff report and stated the plat is currently not in conformance to the conservation subdivision guidelines due to required sidewalk(s). Staff would also like to recommend the street setback be 20 feet not 15 due to parking.

Discussion:

Mr. Gerald Vick, WES Engineers and Surveyors, was present to answer questions.

Discussion included the relocation of existing sewer and water, access to open space, buildability of lots 107-108, Stonewall Road and Stonewall Drive connections, maintenance of the conservation area, HOA, signage for owner

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awareness, Maury County E911 Technical comments, and 100 ft. buffer requirements. Mr. Goatz made the motion to approve with the condition of staff

comments. Dr. McClain seconded the motion. Motion passed with a vote of six to zero.

AGENDA ITEM #4

Case #19-0021

**Request from Allen O’Leary for final plat approval of Honey Farm Subdivision
Phase 2 Section 8 with surety in the amount of \$145,000.**

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated the request is in compliance with City standards and policies and also compliant with the preliminary plat.

Discussion:

Mr. Gerald Vick, WES Engineers and Surveyors, was present to answer questions. Questions included phases and the total count of lots for the development. Mr. McBroom made the motion to approve with Councilman King seconding. Motion to approve passed with a vote of six to zero.

AGENDA ITEM #5

Case #19-0020

**Request from WES Engineers and Surveyors for preliminary plat approval of
Beckett Place Subdivision on South Beckett Street being Tax Map 100D Group G
Parcel 7.01.**

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated the plat is compliant with the master plan subject to the driveway adjustment.

Discussion:

Mr. Gerald Vick, WES Engineers and Surveyors, was present to answer questions. The Commission discussed the turnaround and driveways for the project. Mr. Pace made the motion to approve with Dr. McClain seconding the motion. Motion to approve passed with a vote of six to zero.

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AGENDA ITEM #6

Case #19-0017

Request from Scott Williams for multi-family site plan approval of Stonebridge Apartments Phase 2 off Highlander Drive being Tax Map 99 Parcel 60.10.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated any approval be subject to staff comments.

Discussion:

Mr. Scott Williams, Williams and Associates, was present to answer questions. The Commission discussed the brick facades, phases, height, turnaround and landscaping for the project. Councilman King made the motion to approve subject to staff comments with Mr. Goatz seconding the motion. Motion to approve passed with a vote of six to zero.

AGENDA ITEM #7

Case #19-0018

Request from Martin Engineering and Surveying for preliminary plat approval of Columbia Meadows Subdivision Phase 1 off Sidco Drive.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated the dumpster would need to be relocated but it did match the master plan overall.

Discussion:

Mr. Gary Martin, Martin Engineering and Surveying, was present to answer questions. Discussion included the location of the dumpster. Dr. McClain made the motion to approve contingent on staff notes with Councilman King seconding the motion. Motion to approve passed with a vote of six to zero.

AGENDA ITEM #8

Case #19-0015

Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.

This item was deferred at the beginning of the meeting.

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MAY 8, 2019

AGENDA ITEM #9

Case #19-0007

Request from KCS Companies for final plat approval of Autumn Brook Subdivision at 420 Theta Pike with surety in the amount of \$103,000 being Tax Map 75 Parcel 45.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated this request matches the preliminary plat previously submitted.

Discussion:

Mr. Gerald Vick, WES Engineers and Surveyors, was present to answer questions. Questions included the amount of rock, rock wall and any needed guardrail, the surety, and construction permits. Councilman King made the motion to approve with Dr. McClain seconding the motion. Motion to approve passed with a vote of five to one, with Mr. Pace voting nay.

AGENDA ITEM #10

Case #19-0016

Request from James Webb for Comprehensive Plan Amendment of 17.48 acres at 1316 Hampshire Pike being Tax Map 89 Parcels 15 and 39 from Suburban Neighborhood to Suburban Corridor. Annexation of 15.57 acres with a plan of services zoned RM-1 Planned Unit Development is also being requested with a master plan.

Staff Recommendation:

Mr. Keltner broke out the details of the request along with the staff report and comments, and also included Articles 3.18.7(B) and 3.19.6 for review.

Discussion:

Mr. James Webb, applicant, along with Mr. David Baxter, potential owner, were present to answer questions. Discussion included condos versus townhomes, age targeted market, amenities, density, land use designation of Suburban Corridor, the adjacent Wyndham Park development, LaDue Subdivision and traffic access, and access management. Mr. Webb presented the details of the PUD plan to the Commission. Mr. Baxter stated he receives several requests for senior housing. Mr. McBroom stated the development would not be required to remain a senior development. Mr. Tisher, City Attorney, stated the City would not regulate an HOA and its requirements. Mr. Pace asked about Stormwater retention. Mr. Gary Grider, 208 Buena Vista Drive, asked about the zoning request and how to prevent a change to the proposed plans such as age restriction, connections and commercial traffic, and drainage issues and liability. Mr. Nelson Shields, 1323

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MAY 8, 2019

Danbury Drive, asked about any damages to property values, intent, and any zoning restrictions mandating subsidized housing. Ms. Gracie Pitts, 109 Galion Drive, had concerns with density. Mr. Jerry Seabolt, 211 Buena Vista Drive, asked about preventing

thru traffic. Mr. Goatz asked about the land use designation for the proposed annexation. Mr. Richard Howell, 106 Revere Drive, questioned the disturbance during stormwater detention pond construction and vehicle access for the construction. Mr. Pace made the motion to deny based on the compatibility with the adjacent neighborhood and it does not meet the City's policies and plans. Dr. McClain seconded the motion. Motion to deny passed with a vote of five to one, with Chairman Bryant voting nay.

AGENDA ITEM #11

Case #19-0022

Request from Development Services Department for a Stormwater hearing concerning property at 919 Nashville Highway.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and provided the history and timeline for this project.

Discussion:

Mr. Robert Rogers, Parks Motor Sales, Inc., was present to answer questions. Mr. Tisher, City Attorney, stated this is an initial, de novo hearing concerning this matter and provided guidance to the Commission on what actions were possible. Mr. Bryant asked for clarification to any relationship with Houston Parks. Mr. Rogers stated the only different opinion he has is with the word exacerbate, but everything else is accurate. He did not realize the situation when purchasing the property. Discussion ensued about Tennessee Department of Environmental Conservation involvement, projected timeline, proposed plan and remediation, and affected properties. Mr. Douglas Toney, staff engineer, also provided information concerning this matter. Mr. Bryant made the motion for Mr. Rogers to submit engineered plans, provide stabilization to the property, remove all cars and gravel from the site by June 3rd; to start actual construction per the submitted and approved plans and/or permits by July 1st; and, to hold the \$300 daily fine in abeyance contingent on these actions and if not satisfied to make it effective starting May 9th. He also asked for this case to be reviewed for a status update at the June Planning Commission meeting. Mr. McBroom seconded the motion. Motion to approve these findings passed with a unanimous vote of six to zero.

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MAY 8, 2019

AGENDA ITEM #12

OTHER BUSINESS:

No other business was presented.

ADJOURNMENT:

Dr. McClain made the motion to adjourn with Councilman King seconding the motion. Meeting adjourned at 6:02 p.m. with a vote of six to zero.

Planning Commission Chairman

Date

CURRENT LETTERS OF CREDIT

JUNE 3, 2019

NO.	EXP. DATE	DEVELOPER	DEVELOPMENT	AMOUNT	FINAL PLAT	ORIGINAL SURETY AMOUNT
1	09.09.2016	Sterling Martin	Colter Place Subdivison, Section 1 (rds/drainage)	\$ 44,502.69	9/15/2015	\$44,502.69
2	03.01.2017	CMH Parks, Inc.	Windstone Subdivision, Section 1	\$ 9,300.00	3/14/2006	\$93,000.00
3	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 3	\$ 55,000.00	1/25/2018	\$55,000.00
4	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 4	\$ 61,000.00	1/25/2018	\$61,000.00
5	02.02.2018	General Homes of Columbia, LLC	Bradford Place Subdivision - Section 7 (rds/drainage)	\$ 6,600.00	2/8/2012	\$65,900.00
6	05.05.2018	General Homes of Columbia, LLC	Armstrong Meadows, Section 2 (roads/drainage)	\$ 28,000.00	6/2/2009	\$277,000.00
7	05.15.2018	General Homes of Columbia, LLC	Armstrong Meadows, Section 1 (rds/drainage)	\$ 21,000.00	6/13/2007	\$205,200.00
8	05.30.2018	FP,TCI, CCS, LLC	Homestead Carters's Creek Station Sec.1 / Phase1C	\$ 211,000.00	6/22/2017	\$211,000.00
9	06.29.2018	D.R. Horton, Inc.	Highland Bear Creek , Phase 2, Section 1	\$ 82,000.00	9/12/2017	\$82,000.00
11	08.25.2018	Shaw Enterprises - (cashier's check)	The Landings Subdivision, Phase 2, Section 2	\$ 108,000.00	10/10/2017	\$108,000.00
12	10.26.2018	D.R. Horton, Inc.	The Highlands of Bear Creek - Phase 2, Section 2	\$ 259,000.00	11/17/2017	\$259,000.00
13	11.09.2018	McBroom Family Limited Partnership	Wellington Plac Subdivision, Section 2	\$ 25,000.00	7/6/2005	\$100,000.00
14	12.13.2018	Honey Farms Management, LLC	Honey Farm Townhomes- Phase 1A (completion of roads)	\$ 20,000.00	1/11/2017	\$20,000.00
15	12.19.2018	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 1	\$ 141,000.00	2/1/2018	\$141,000.00
16	12.19.2018	Estate of Cyril Evers	Fieldstone Farms - Section 4 (roads/drainage)	\$ 21,000.00	8/29/2008	\$210,000.00
17	01.12.2019	Honey Farms Management, LLC	Honey Farms Townhomes Phase 2, Section 2 (roads)	\$ 40,000.00		\$40,000.00
18	04.16.2019	FP,TCI, CCS, LLC	Homestead @Carter's Creek Station, Section 2, Phase 1B	\$ 65,000.00		\$65,000.00
19	05.05.2019	General Homes of Columbia, LLC	Armstrong Meadow, Phase 1, Section 3 (roadsd/drainage)	\$ 203,500.00	6/27/2017	\$203,500.00
20	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivison, Phase 2, Section 5	\$ 66,000.00	6/27/2018	\$66,000.00
21	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivisonm Phase 2, Sectin 6	\$ 49,000.00	6/27/2018	\$49,000.00
22	05.30.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 1, Phase 1C	\$ 211,000.00	6/22/2017	\$211,000.00
23	06.05.2019	LPT, LLC	Timberland Estates, Section 6 (roads and drainage)	\$ 7,600.00	8/5/2018	\$76000 Perf Bond
24	08.14.2019	Fortuna Capital, LLC	Grove Park Subdivison, Phase 6 (roads and drainage)	\$ 120,000.00	10/2/2018	\$120,000.00
25	09.06.2019	Haury & Smith Contractors, Inc.	The Highlands of Bear Creek - Phase 1 (roads/drainage)	\$ 150,000.00	4/5/2012	\$250,184.00
26	09.07.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision, Phase 2, Section 1	\$ 7,500.00	5/19/2017	\$75,000.00
27	09.07.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 1, Section 3	\$ 11,300.00	9/28/2016	\$113,000.00
28	09.23.2019	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.1/Phase 1A	\$ 45,000.00	10/4/2016	\$449,000.00
29	09.28.2019	Campbell and Lovell Rentals	Savannah Cove Subdivision - roads/drainage	\$ 69,575.00	12/17/2007	\$160,260.00
30	10.06.2019	Shaw Enterprises, LLC	The Landings Subdivision, Phase 2, Section 1	\$ 95,000.00	10/28/2015	\$95,000.00
31	10.10.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 2, Section 7	\$ 70,000.00	10/17/2018	\$70,000.00
32	10.11.2019	Parkside - Homestead, LLC	Townhomes of Homestead - (roads and drainage)	\$ 23,000.00	1/11/2017	\$76,000.00
33	01.05.2020	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec. 1, Phase 1B	\$ 7,000.00	12/2/2016	\$74,000.00
34	01.24.2020	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 2A	\$ 87,000.00		\$87,000.00
35	02.27.2020	JD Eatherly & Charles Raines	Honey Farm Subdivision, Phase 2, Section 2	\$ 9,900.00	9/19/2017	\$99,000.00
36	03.07.2020	LPT, LLC	Greystone Subdivision	\$ 166,500.00	5/18/2017	\$166,500.00
37	04.04.2020	Victor Beck, III (B&B Development)	Cherry Springs Subdivision - Roads & Drainage	\$ 10,600.00	12/6/2004	\$98,500.00
38	04.10.2020	Fortuna Capital, LLC	Grove Park Subdivision - Phase 4	\$ 21,000.00	10/9/2017	\$211,000.00
39	04.25.2020	Arlington Heights General Partnership	Arlington Heights Subdivision, Phase 2, Section 2	\$ 105,000.00		\$105,000.00
40	05.09.2020	Arlington Heights General Partnership	Arlington Heights Subdivision, Phase 1, Section 2	\$ 106,000.00	6/26/2018	\$106,000.00
41	05.20.2020	Arden Village, LLC	Arden Village - Section 2, Phase 2	\$ 165,000.00	6/13/2017	\$165,000.00
42	05.21.2020	FP,TCI,CCS,LLC	Homestead @ Carter's Station, Section 4, Phase 1B	\$ 120,000.00	6/29/2018	\$120,000.00
43	05.21.2020	FP, TCI,CCS, LLC	Homestead @ Carter's Station, Section 4, Phase 1A	\$ 134,000.00	6/29/2018	\$134,000.00
44	05.23.2020	Charles Raines Construction, LLC	Honey Farms Subdivision, Phase 2, Section 10	\$ 103,000.00		\$103,000.00
45	06.12.2020	FP,TCI,CCS,LLC	Homestead @ Carter's Station, Section 4 Phase 4	\$ 121,000.00		\$121,000.00

Case Number:

19-0015

Request:

Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER**2019-0015****APPLICANT/PROPERTY OWNER****T Squared Engineering****PUBLIC HEARING DATE****August 8th 2019****PROPERTY ADDRESS/LOCATION****Frye Road Map 52 Parcel 14****BRIEF SUMMARY OF REQUEST**

This is an application to annex with a plan of services 28 acres with a zoning request of R-10. The concept plan for this property shows 74 lots in an alternative development pattern as described in Zoning Ordinance Article 6.3.9.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
County – Rural A-2	Single Family Dwelling	Residential	NA	28 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

Suburban Neighborhood is the land use designation which allows the zoning of the R-10 zone.

PROPERTY HISTORY**COMPATIBILITY with the ZONING ORDINANCE**

Staff would find this request to be compatible with the City's adopted policies and plans

ATTACHMENTS (CIRCLE)**SUBMITTED PLANS****CITY MAPS****LEGAL NOTICE****LEGAL DESCRIPTION****PUBLIC COMMENTS****AGENCY COMMENTS****RESPONSE TO STANDARDS****OTHER (DESCRIBE)**

Section 3.19.6 of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items for the amendment:

3.19.6 CRITERIA FOR PLANNING COMMISSION RECOMMENDATIONS

...

The recommendations of the Planning Commission to the City Council shall show that the Planning Commission has studied and considered the proposed change in relation to the following, where applicable:

- Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;
 - Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;
 - Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general; and
 - Whether the subject parcel is of adequate shape and size to accommodate the proposed change.
-

Staff's review of Section 3.19.6 in relation to this rezoning request finds the following:

- A. Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;

The proposed Comprehensive Plan designation for the subject property is Suburban Neighborhood which supports the proposed R-10 zoning.

- A. The legal purposes for which zoning exists are not contravened;

All future development of the property will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

- B. Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;

The proposed zoning will continue those established patterns within the area.

- C. Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general;

The proposed use on the property at the time of development will be required to conform to the zoning ordinance standards in effect at that time to mitigate any potential adverse impacts upon adjoining property owners. Traffic study has been performed with little to no impact on the capacity of Frye Road shown and similar lot patterns exist adjacent to this property.

- D. Whether the subject parcel is of adequate shape and size to accommodate the proposed change;

The parcel exceeds the minimum lot area required as stated in Zoning Ordinance 3638.

Section 3.18.7(B) of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items:

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONINGS

...

B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

The proposed Comprehensive Plan designates the subject property as Suburban Neighborhood. The request would be in agreement with the plan.

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The surrounding properties are of a mix of development patterns in particular the lot sizes but the proposal is adjacent to similar patterns as the proposed concept and subdivision, traffic studies show no capacity issues and hence no adverse effects.

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

The proposal is following the comprehensive plan allowance as approved by the general public representatives.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

The City's growth and adaptation of a general land use plan for the area which the request is following is sufficient enough to warrant the amendment.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

The rezoning will have a negligible impact on schools, roads, and parks



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0015

DESCRIPTION: Request from T-Square Engineering to annex and approve a plan of services for property located at Tax Map 52 Parcel 14.00 located off Frye Road with a R-10 zoning.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Engineering

1. Concept Plan - Max Length of dead end roadway is 650'
2. Concept Plan - Provide hydraulic determination on all potential conveyances

Columbia Water

3. Domestic water is available for this site. A study will have to be made for fire protection.

Columbia Power

4. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction. (*Access and Circulation*)

Atmos Energy

5. 2" PE gas available on Frye Road.

Fire

6. No comments for annexation.

Planning

7. Add Typical Lot detail
8. Verify Lot 46 is at least 10,000 sqft in size.
9. Note that all boundary lots will have setbacks as street 30', rear 30', and side as 10'
10. Show table of open space that equals or exceeds the lot reduction square footages.

Maury County Schools

11. School Attendance Zones for this development:
- | | |
|----------------------------|--|
| Spring Hill Elem. School: | Capacity - 616; Projected Enrollment 2018/19 - 566 |
| Spring Hill Middle School: | Capacity - 1045; Projected Enrollment 2018/19 - 989 |
| Spring Hill High School: | Capacity - 1200; Projected Enrollment 2018/19 - 1165 |

Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:

Spring Hill Elementary School:	Capacity - 616; Projected Enrollment 2019/20 - 419
Spring Hill Middle School:	Capacity - 1045; Projected Enrollment 2019/20 - 574
Spring Hill High School:	Capacity - 1200; Projected Enrollment 2019/20 - 1242

Wastewater

12. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

Maury County E911

13. No comment on annexation.

Police

14. No comments provided.

Public Works

15. No comments.

ATTACHMENTS: Concept Plan.

6.3.9 ALTERNATIVE DEVELOPMENT (CLUSTERING)

These provisions are intended to provide for variations in lot size and open space requirements within the Residential districts.

A. Planning Commission Approval Required

Alternative developments shall require Site Development Plan (Sec. 3.5) approval by the Planning Commission. In its review, the Planning Commission shall consider the following:

1. The preservation and protection of existing trees, ground cover, top soil, streams, rock outcroppings and scenic or historic sites from dangers and damage caused by excessive and poorly planned grading of streets and building sites;
2. The provisions for surface drainage control, sewage disposal, water supply, recreation and traffic control;
3. The protection of the character, property values, privacy and other characteristics of the surrounding neighborhood;
4. Generally all public utilities, specifically including water and a central sewage collection and treatment system shall be available. Where public sewer is not available, no lot or housing site may be created which is less than 20,000 square feet in area and all septic fields for each dwelling unit shall be located within the area of fee simple ownership of said dwelling unit; and
5. The standards found in this Section.

B. Permitted Uses

1. Generally, only one-family and two-family residential uses may be permitted in an alternative development. Multifamily and manufactured homes may not be permitted in an alternative development.
2. Up to 10% of the total site may be townhouse units, however all townhouses shall be located on the interior of a site.

C. Minimum Development Size

Alternative development standards may only be used for projects of 10 or more dwelling units.

D. Permitted Net Density

The aggregate density permitted is intended to be within the range of that allowable within a Conventional Development offering no common open space. The maximum number of dwelling units permitted shall be computed as follows:

1. From the gross acreage available within the development site shall be subtracted:
 - a. Any portion of the site which is within the right – of – way and/or easement for major utilities such as gas or electric transmission lines; and
 - b. Any portion of the site which lies within a floodway district.
2. The area remaining after the above adjustments shall be divided by the minimum development area per dwelling unit for the base district. For developments located in more than one zoning district the density shall be computed separately for portion of the development lying within each district. No developmental density may be transferred across zoning district boundaries.

E. Minimum Lot Area

Minimum lot dimensions shall be in accordance with the table below. Reductions below the minimum lot dimension by up to 25% may be established by the Planning Commission during the Development Plan review process.

Minimum Lot Area (square feet)*									
RS-40	R-40	RS-20	R-20	RS-10	R-10	RS-6	R-6	RM-1	RM-2
20,000	20,000	10,000	10,000	5,000	5,000	3,000	3,000	3,000	3,000
Townhouses shall be exempt from the minimum lot area requirements.									

F. Yard and Buffer Requirements

Within any development approved under the provisions of this section the following yard requirements shall apply:

1. Units located entirely within the interior of a site shall have no minimum yard depth requirements. However, each dwelling unit shall on its own lot have one yard containing not less than 400 square feet with a minimum horizontal dimension of 15 feet. This yard shall be reasonably secluded from view from streets and from neighboring property and shall not be used for off – street parking or for any accessory building. This yard shall not count towards required open space.
2. All lots located along the perimeter of a site shall comply with the Conventional Development yard and buffer provisions for the base district.

G. Building Spacing

All detached structures within an alternative development shall be separated by a minimum of ten feet.

H. Lot Coverage

Individual dwellings may exceed the maximum lot coverage provisions established for the district in which such site is located. However, in no instance shall the aggregate site coverage of all dwellings exceed the coverage provisions established for the district in which such site is located. In the event a project lies within two or more zoning districts, the coverage ratio applicable to each zone district shall apply to these dwellings located within the respective district. No transfer of coverage is permitted between zoning districts.

I. Access to Dwellings

Access to dwellings shall be provided in accordance with the provisions of Sec. 6.1.4, Access Requirements.

J. Open Space Requirements

1. The quantity of open space required shall be equal to the reduction in aggregate lot area if the project were developed under conventional development standards. In no case shall less than the base district open space requirement be provided. Yards required in Sec. 6.3.9F shall not count towards required open space;
2. Any open space held in common ownership shall be provided for in accordance with the requirements of Sec. Sec. 12.7.

PLAN OF SERVICES

FOR ANNEXATION

Cynthia House & Shawn Rachel **PROPERTY**
+/-27.97 ACRES,
BEING
TAX MAP 52 PARCEL 14.00

A. Water

As the property will be within the City of Columbia, water service will include fire protection to the property as required by the City of Columbia Fire Department standards.

B. Sewer

1. Sewer is not currently adjacent to the parcel.
2. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rules, regulations, and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail designed plans for any extension of sewers have been proposed at this time.

C. Police

The jurisdiction of the Columbia Police Department will be extended to the areas annexed immediately upon the effective date of annexation.

D. Fire and Rescue

1. The City of Columbia Fire & Rescue Department will provide an array of services in a timely, courteous, and professional manner upon date of annexation.
2. The proposed annex is located on the property at Tax Map 52 Parcel 14 off Frye Road in Columbia, Tennessee. This location is approximately 1.9 miles from Columbia Fire Station #5 located at 2633 Nashville Highway, 4.6 miles from Fire Station #3 located at 1306 Nashville Highway, and 7.4 miles from Fire Station #1 located at 1000 South Garden Street.
3. The Columbia Fire & Rescue Department recommends a multi-faceted fire suppression approach. First, future homes should be constructed to meet or exceed all applicable fire and life safety codes. Secondly, even if not required by building, fire, or life safety codes, you should insist that fire sprinkler systems be installed for all future homes.

E. Development Services

1. The planning and zoning jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
2. The property shall be zoned R-10 (Low Density Residential) upon the effective date of the annexation.
3. The code administration jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
4. Upon the effective date of annexation, all development will be required to abide by the Columbia Zoning Ordinance.

F. Streets

1. Upon acceptance by City Council and all warranties have expired; all streets and drainage systems will be maintained by Public Works. Service will include street sweeping, catch basin cleaning, street repair and snow removal.
2. Upon acceptance by City Council, all approved street signs will be maintained by Public Works.

G. Parks and Recreation

Residents of the annexed areas may use all existing recreational facilities, parks, etc., on the effective date of annexation. The same standards and policies now used in the present City will be followed in expanding the recreational program and facilities in the enlarged City.

H. Refuse Collection

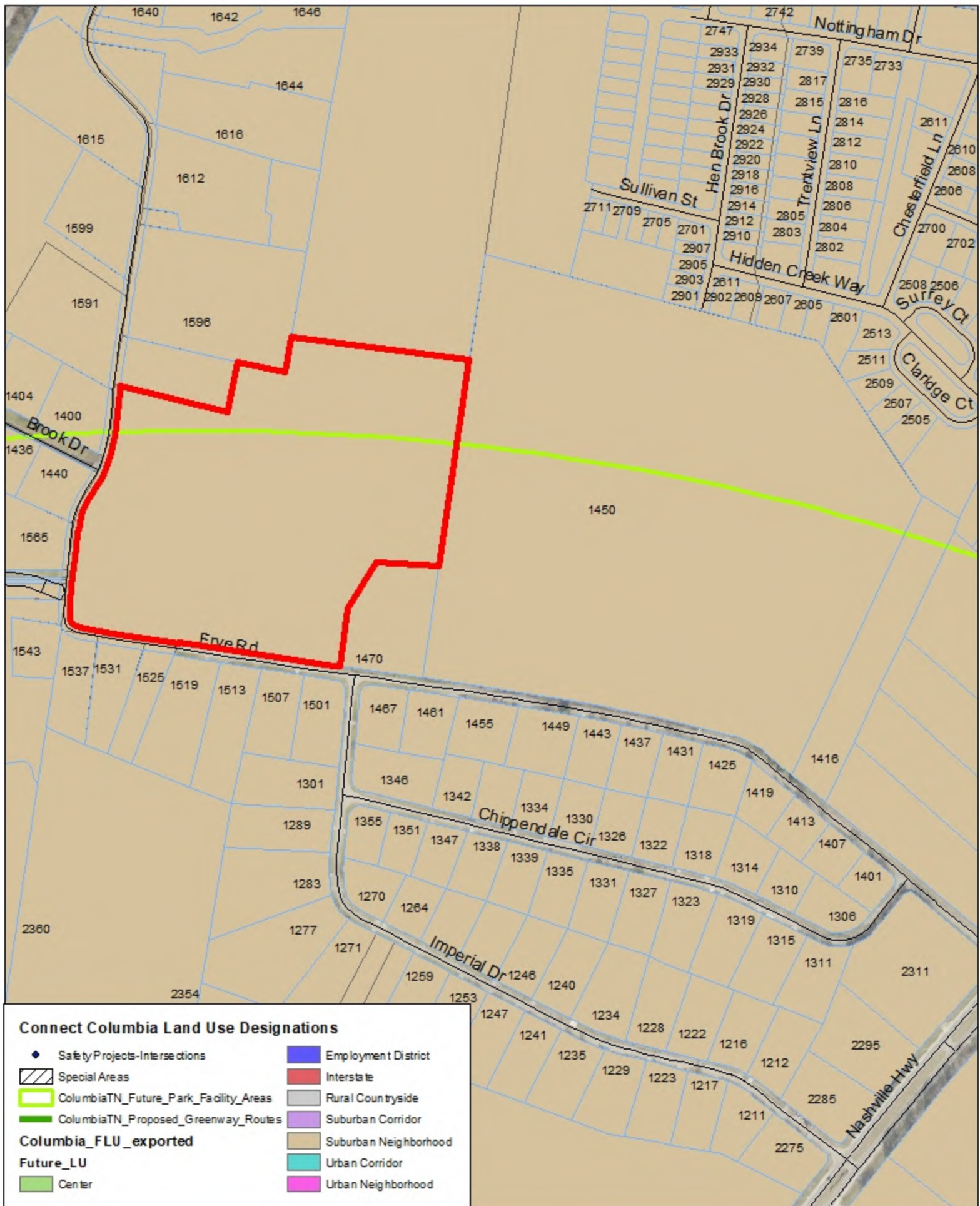
Sanitation will provide weekly refuse collection. Bi-weekly recycling will be offered on a subscription basis. Brush and bulky item collection will be provided.

I. Power

Columbia Power System has an existing power line near the proposed development. CPWS is willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

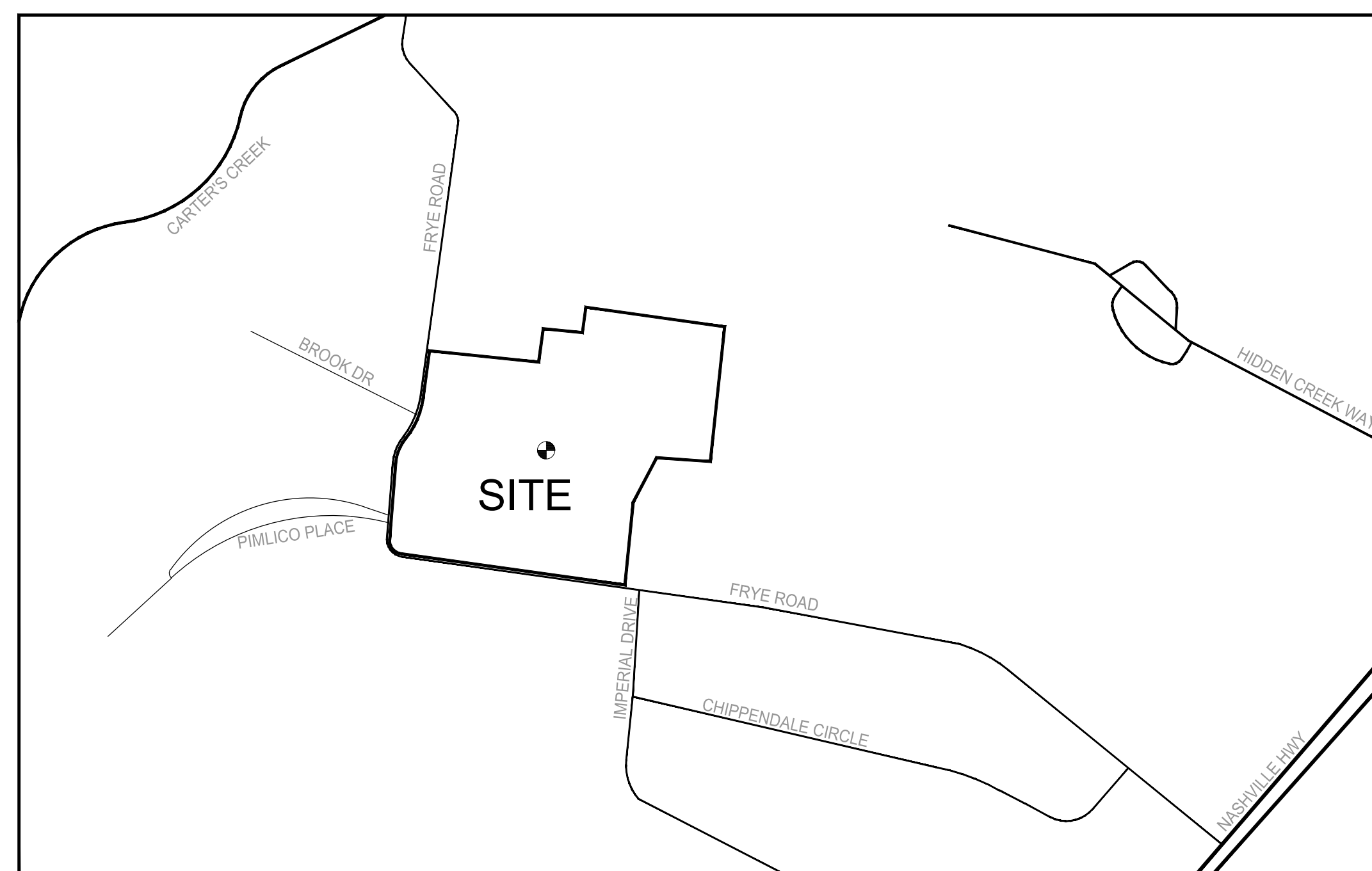
J. Schools

This property falls under the jurisdiction of Maury County Public School System.



ANNEXATION SKETCH
FOR
TAX MAP 52, PARCEL 14.00
FRYE ROAD
COLUMBIA, TN 38401
CITY OF COLUMBIA, WARD #5

ENGINEER:  T-SQUARE ENGINEERING
701 WEST MAIN STREET
FRANKLIN, TN 37064
615-678-8212

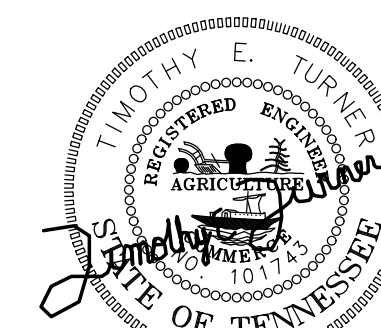


SHEET SCHEDULE
C-0.0 COVER
C-1.0 EXISTING CONDITIONS
C-2.0 SITE PLAN

[illegible]

COVER SHEET
1470 FRYE ROAD
3RD CIVIL DISTRICT
MAURY COUNTY, TENNESSEE
MAP 52 PARCEL 14.00

FRYE ROAD

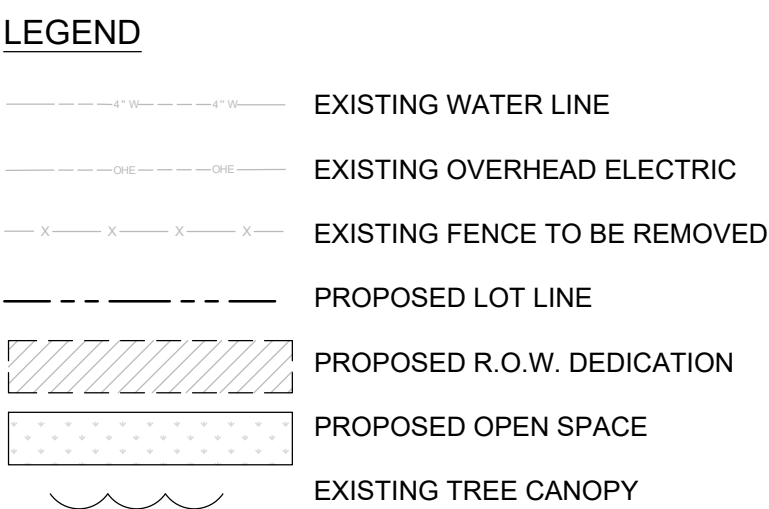


5-30-2019

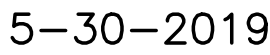
PROJECT
18-0720

SHEET
C-0.0

OWNER OF RECORD
HOUSE CYNTHIA W ETVIR SHAWN N RACHAL
DEED BOOK: R2390 DEED PAGE: 1286
BASE ZONING: AGRICULTURAL
APPLICANT
T-SQUARE ENGINEERING
701 WEST MAIN ST
FRANKLIN, TN 37064
615.678.8212



EXISTING CONDITIONS
1470 FRYE ROAD
3RD CIVIL DISTRICT
MAURY COUNTY, TENNESSEE
MAP 52 PARCEL 14.00



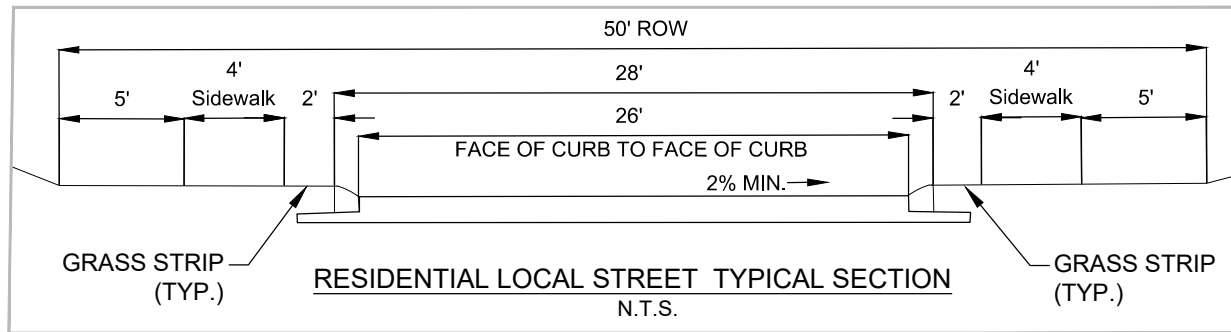
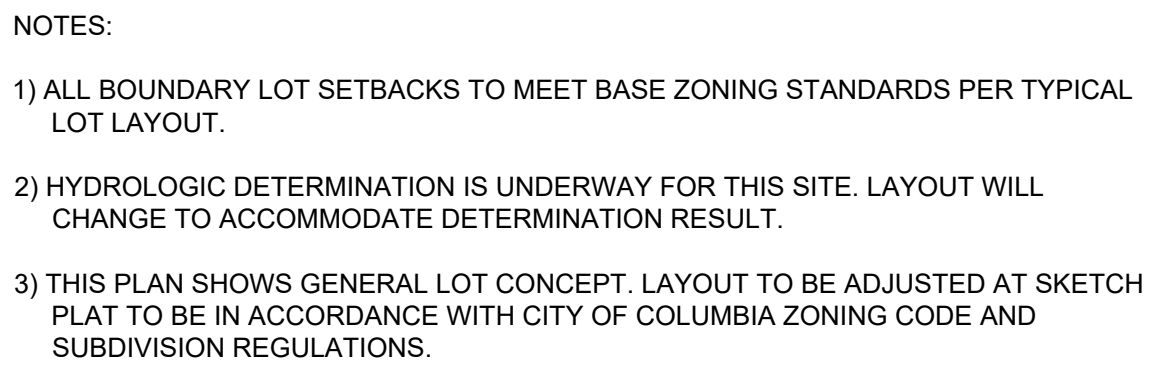
SHEET
C-1.0

FRYE ROAD

T-SQUARE ENGINEERING
701 WEST MAIN STREET • FRANKLIN, TN • 615-678-8212 • www.T2-ENG.com

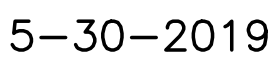
OPEN SPACE CALCULATION (IAW ZONING CODE 6.3.9.J)
CLUSTER LOT REDUCTION = 3.02 AC
BASE ZONE OPEN SPACE REQ'D = 1.95 AC

REQUIRED OPEN SPACE = 3.02 AC
PROVIDED OPEN SPACE = 6.83 AC



OWNER OF RECORD
HOUSE CYNTHIA W ETVIR SHAWN N RACHAL DEED BOOK: R2390 DEED PAGE: 1286 BASE ZONING: AGRICULTURAL
APPLICANT
T-SQUARE ENGINEERING 701 WEST MAIN ST FRANKLIN, TN 37064 615.678.8212

SKETCH PLAN
1470 FRYE ROAD
3RD CIVIL DISTRICT
MAURY COUNTY, TENNESSEE
MAP 52 PARCEL 14.00



PROJECT
18-0720

SHEET
C-2.0

Case Number:

19-0050

Request:

Request from Mahon Road Holdings for
Planned Unit Development Master Plan
revision of property on Baker Road being
tax Map 75 Parcel 11.00.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0050

APPLICANT/PROPERTY OWNER
Gerald Vick

PUBLIC HEARING DATE

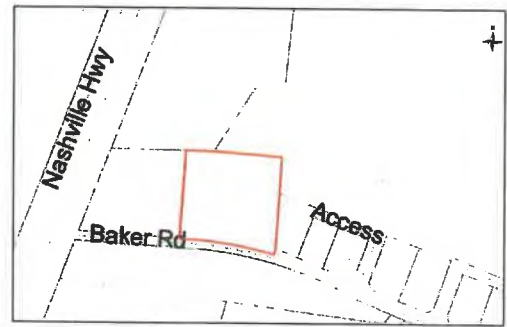
August 8th, 2019

PROPERTY ADDRESS/LOCATION
Corner of Nashville Hwy

BRIEF SUMMARY OF REQUEST

This is a Master Plan revision request from the previously approved office/retail to a storage facility on Baker Road along the side of the Farm Credit building at 1630 Nashville Highway. This parking storage area will contain 95 spaces of varying stall depths. The perimeter of the site will have a 6ft tall vinyl coated chain link fence.

Staff Notes: With a chain link fence all landscaping will have to meet the opacity 1 rating in Article 11. Staff would recommend an alternative fence material be used in this area.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
CEG-PUD commercial	vacant	Residential and commercial	Parking lot	1.89 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY

This project has been under construction since 2007.

COMPATIBILITY with the ZONING ORDINANCE

Staff finds this request to be compliant, subject to staff notes.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

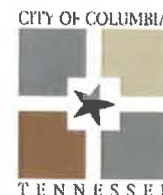
LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE):



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0050

DESCRIPTION: Request for PUD master plan revision at Tax Map 75 Parcel 11 off Baker Road.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Planning

1. Please note fence details for this storage area
2. Adjust landscaping to .8 on all sides and provide 3ft berm on Street frontage.
3. Photometric Plan required if area is to be lighted.

Engineering

4. Subject to construction plan approval

Wastewater

5. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for any extension of the sewers have been proposed at this time.

Fire

6. Security gate to be installed per section 503.6 of the 2012 IFC

Columbia Power

7. Columbia Power System has existing power facilities near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia

TECHNICAL

19-0050

Page 1 of 2

Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Columbia Water

8. 12" water is available on north side of Baker Road.

Police

9. No comments provided.

Public Works

10. No comments.

Atmos Energy

11. No gas at this time.

Maury County E911

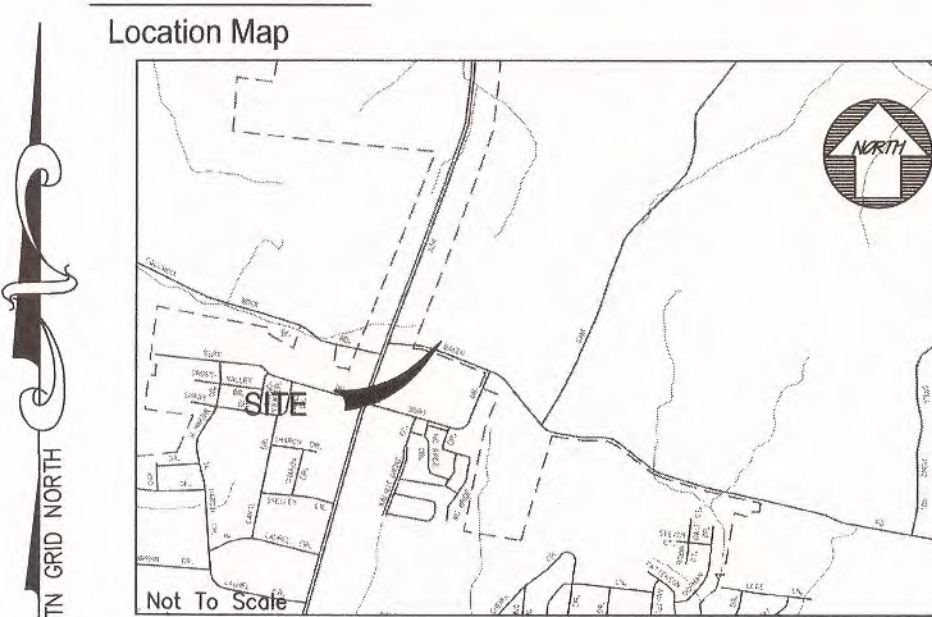
12. No comments provided.

Maury County Schools

13. No comments provided.

ATTACHMENTS: PUD Master Plan.

P.U.D. MASTER PLAN (REVISED)



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WES E NGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
2486 NASHVILLE HIGHWAY
COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com

WES E NGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
2486 NASHVILLE HIGHWAY
COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com

Client
MAHON ROAD HOLDINGS, LLC
988 BAKER ROAD
COLUMBIA, TENNESSEE 38401

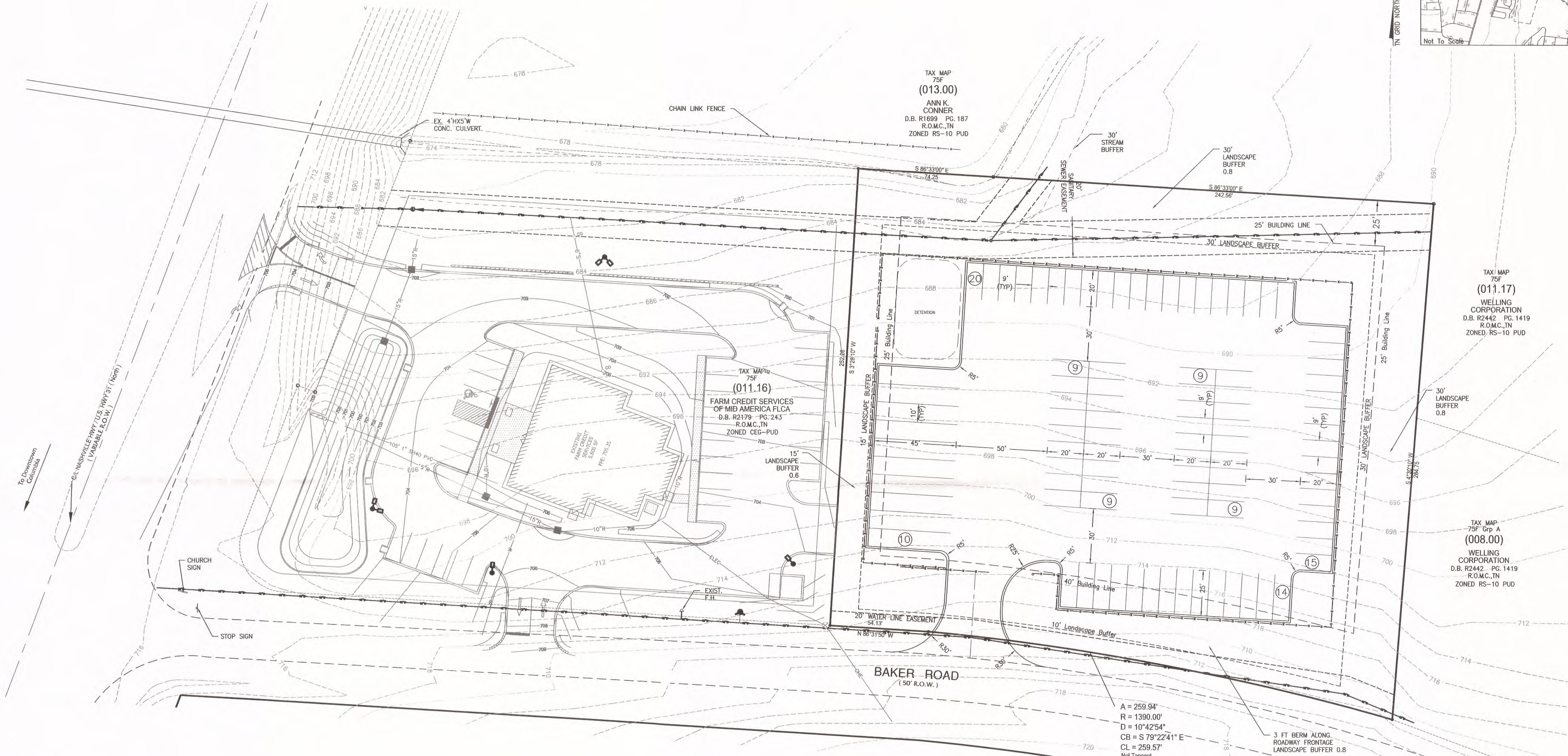
REVISIONS	DATE	REVISION PER STAFF COMMENTS
1	5/30/19	

OUTDOOR STORAGE FACILITY
988 BAKER ROAD
COLUMBIA, MAURY COUNTY, TENNESSEE
P.U.D. MASTER PLAN (REVISED)

Drawn: RP	Checked: JS	Approved: GY	Date: May 28, 2019
11584-2			

Scale: Vertical: Horizontal:	Scale: Vertical: Horizontal:
1"=30'	1"=30'

1 of 1



GEOTECHNICAL NOTE:

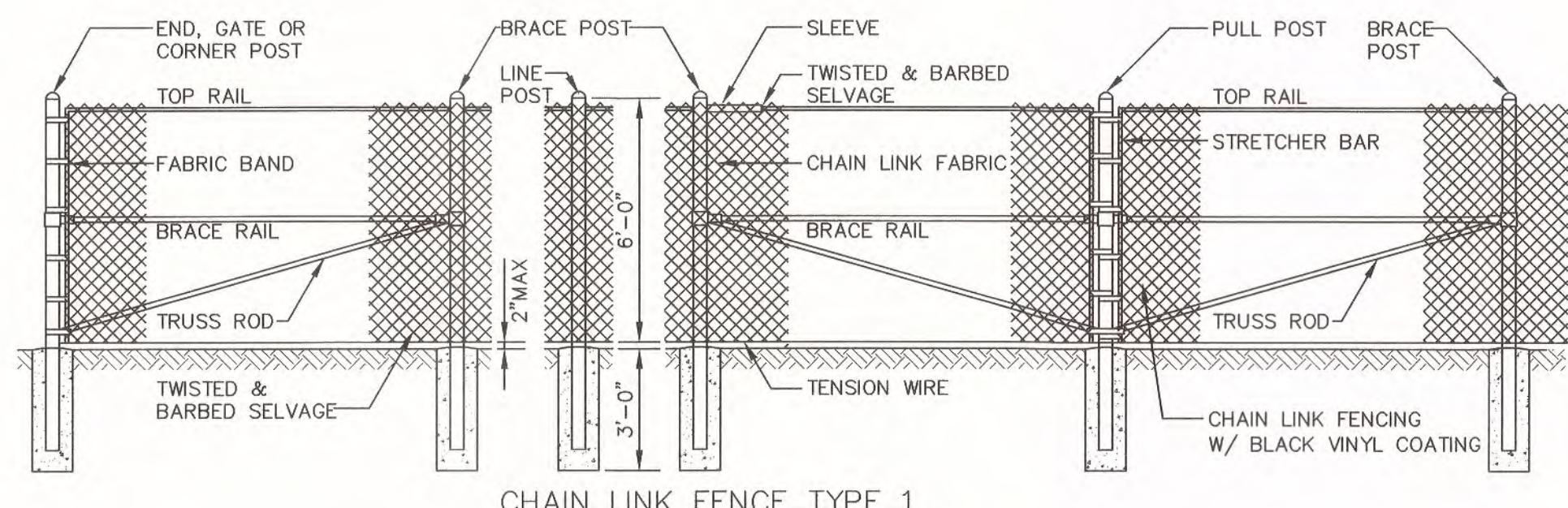
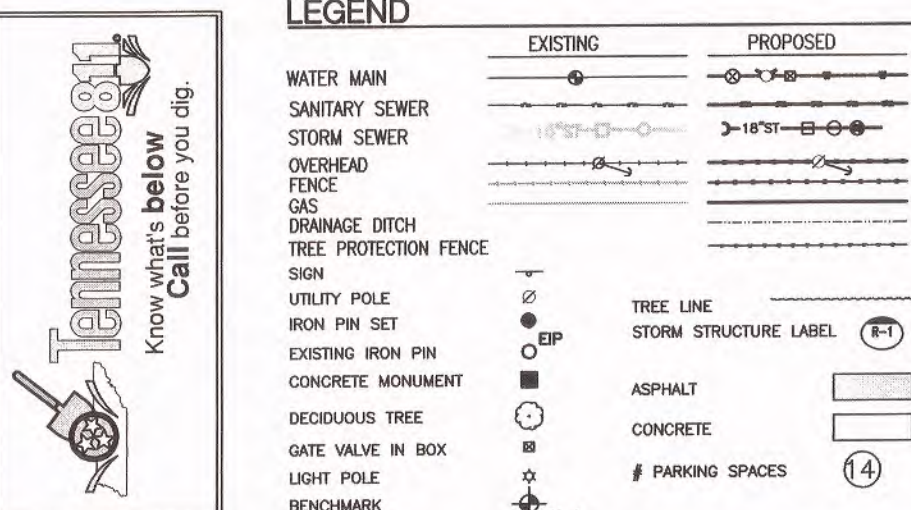
CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:

CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:

W.E.S. ENGINEERS AND SURVEYORS
2486 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329



SITE DATA:

OWNER: MAHON ROAD HOLDINGS, LLC
2580 NASHVILLE HIGHWAY
COLUMBIA, TN 38401

PARCEL NUMBER: TAX MAP 75 PARCEL 11.00
DEED BOOK: R2134, PG 1496

SUBJECT PARCEL ZONING:

CEG - PUD

ACREAGE OF SITE: 1.89 Ac.
EXISTING PERVIOUS: 1.89 Ac.
PROPOSED PERVIOUS: 0.89 Ac.
PROPOSED IMPVIOUS: 1.00 Ac.

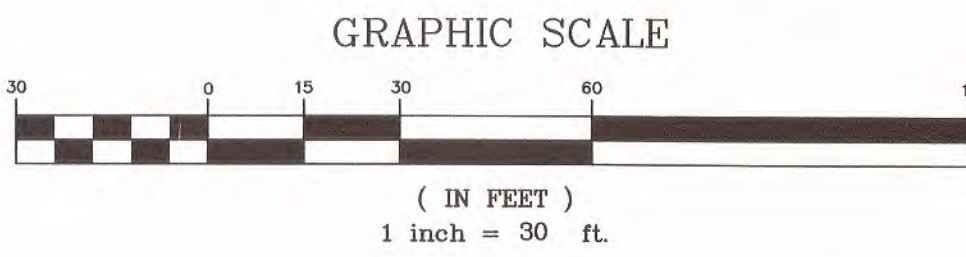
MINIMUM REQUIRED BUILDING SETBACKS:
40' FRONT (MINOR COLLECTOR)
25' REAR
25' SIDE

UTILITY SERVICES:

WATER SERVICE
COLUMBIA POWER & WATER SYSTEMS
201 PICKENS LANE
COLUMBIA, TENNESSEE 38401
(931) 388-4833

ELECTRIC SERVICE
COLUMBIA POWER & WATER SYSTEMS
201 PICKENS LANE
COLUMBIA, TENNESSEE 38401
(931) 388-4833

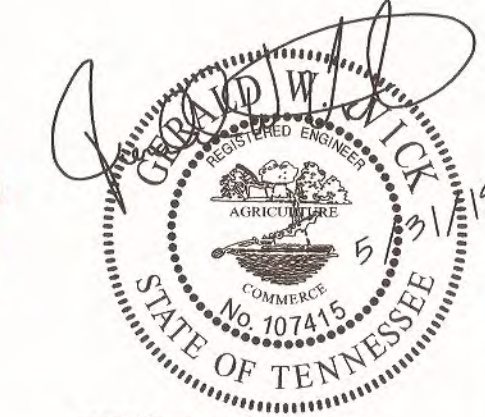
PURPOSE NOTE: CONSTRUCT AN OUTDOOR STORAGE FACILITY



FLOOD STUDY NOTE:

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C0190E DATED APRIL 16, 2007 (ZONE "X")

RECEIVED
MAY 31 2019



SUBMITTED FOR MUNICIPAL APPROVAL
NOT FOR CONSTRUCTION

Case Number:

19-0048

Request:

Request from Blake Kelley to rezone property off Mooresville Pike being Tax Map 99P Group D Parcel 16.00 from R-10 to R-6.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

2019-0048

APPLICANT/PROPERTY OWNER

Blake Kelley

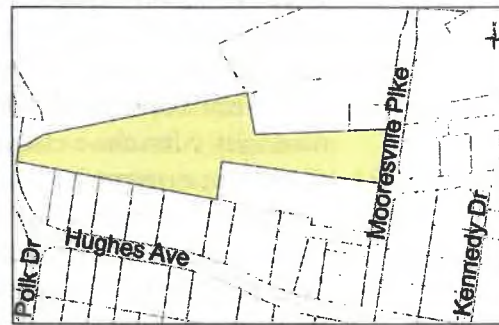
PUBLIC HEARING DATE

August 8th 2019

PROPERTY ADDRESS/LOCATION

Mooresville Pike and Hughes Drive**BRIEF SUMMARY OF REQUEST**

This is a request to rezone 4.60 acres on Mooresville Pike to match the property to the north for a common development proposal. As a whole the concept is to construct approximately 63 residential lots within 19 acres.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
R-10 (Residential)	Vacant	Residential	Single Family Dwellings	5.6 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

Current zoning is Urban Neighborhood which does support R-6 zoning.

PROPERTY HISTORY

This property has been undeveloped.

COMPATIBILITY with the ZONING ORDINANCE

Subject to the Technical comments, staff would find this request to be compatible with the City's policies.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS**CITY MAPS**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

**Zoning Ordinance
3.18.7 B**

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONINGS

...

B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

1. The rezoning is in agreement with the general plan for the area;
2. It has been determined that the legal purposes for which zoning exists are not contravened;
3. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare;
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public; and
5. It has been determined that conditions affecting the area have changed to a sufficient extent to warrant an amendment to the area's general plan or other applicable local plans, and consequently, the zoning map.
6. The availability of adequate school, road, parks, wastewater treatment, water supply, and stormwater drainage facilities.

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

The proposed Comprehensive Plan designates the subject property as Urban Neighborhood. The R-6 request would be in agreement with Urban Neighborhood.

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The surrounding properties are a mixture of residential sizes. The property is requesting a zone that would only increase the available density by 3 homes per acre for a potential of 12 extra properties among the entire property thus limiting adverse effects.

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

The proposal is similar in development and supported by the comprehensive plan.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

In the community, housing demands within the city limits have increased to a sufficient extent to warrant an amendment to the City's Zoning Map.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

No significant impacts have been reported by any facilities.



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0048

DESCRIPTION: Request from Blake Kelley to rezone property at 462 Mooresville Pike from R-10 to R-6.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Planning

1. Please note that Parcels 15.00 and 15.01 are actually R-10 no R-6
2. R-10 zoning runs along the creek so the rezoning description will need to reflect that area also.

Engineering

3. Change title to "Concept Plan"
4. Roadways inside stream buffer.
5. Show compliant roadway sections (26' pvmt and sidewalks)
6. Provide ROW stub to 011.00, 014.00, and 013.01

Fire

7. No comments.

Wastewater

8. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for any extension of the sewers have been proposed at this time.

Police

9. No comments provided.

Public Works

10. No comments.

Columbia Power

11. Columbia Power System has an existing power line near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Columbia Water

12. Existing 8" water line on Mooresville Pike.

Atmos Energy

13. Gas available.

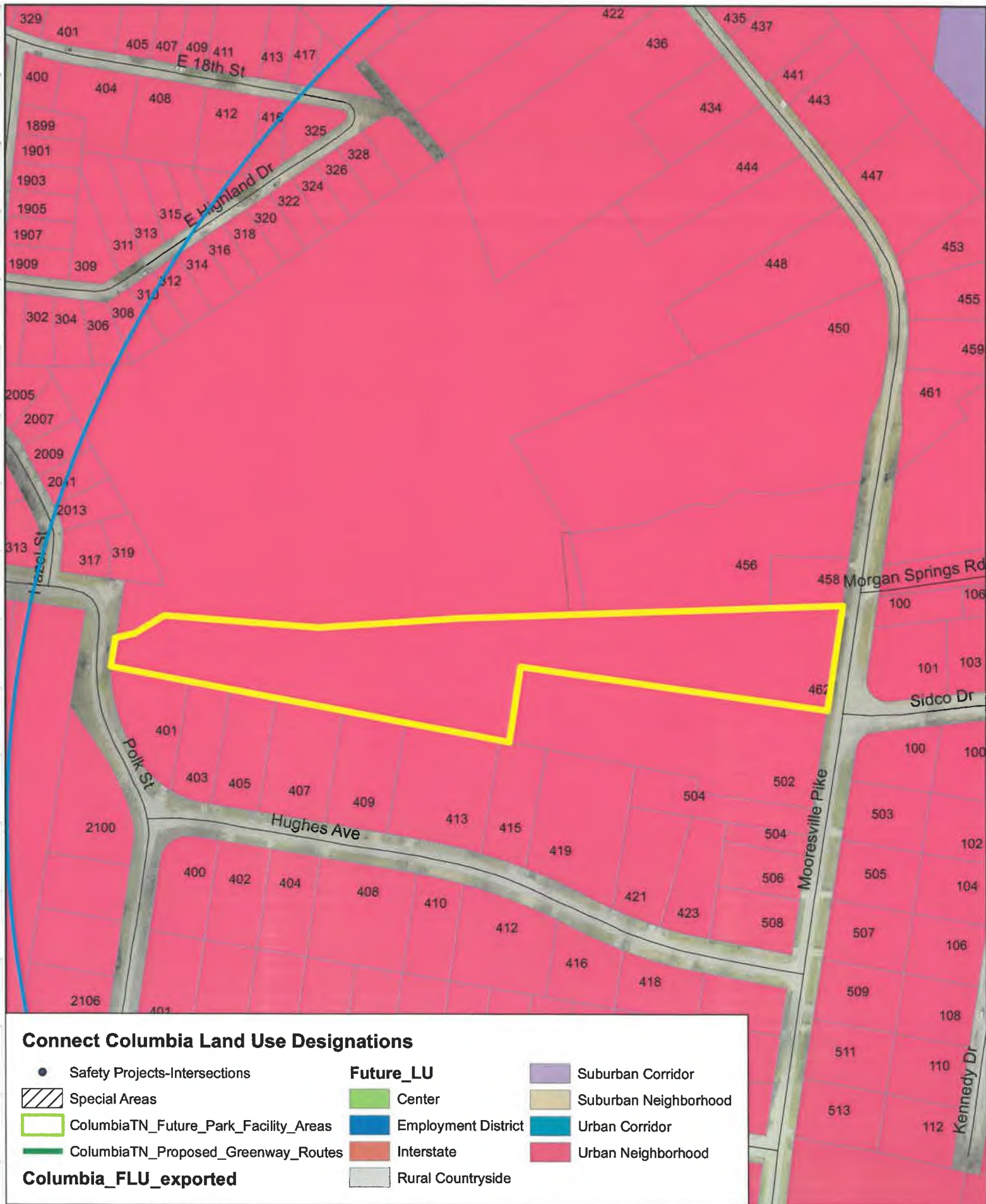
Maury County E911

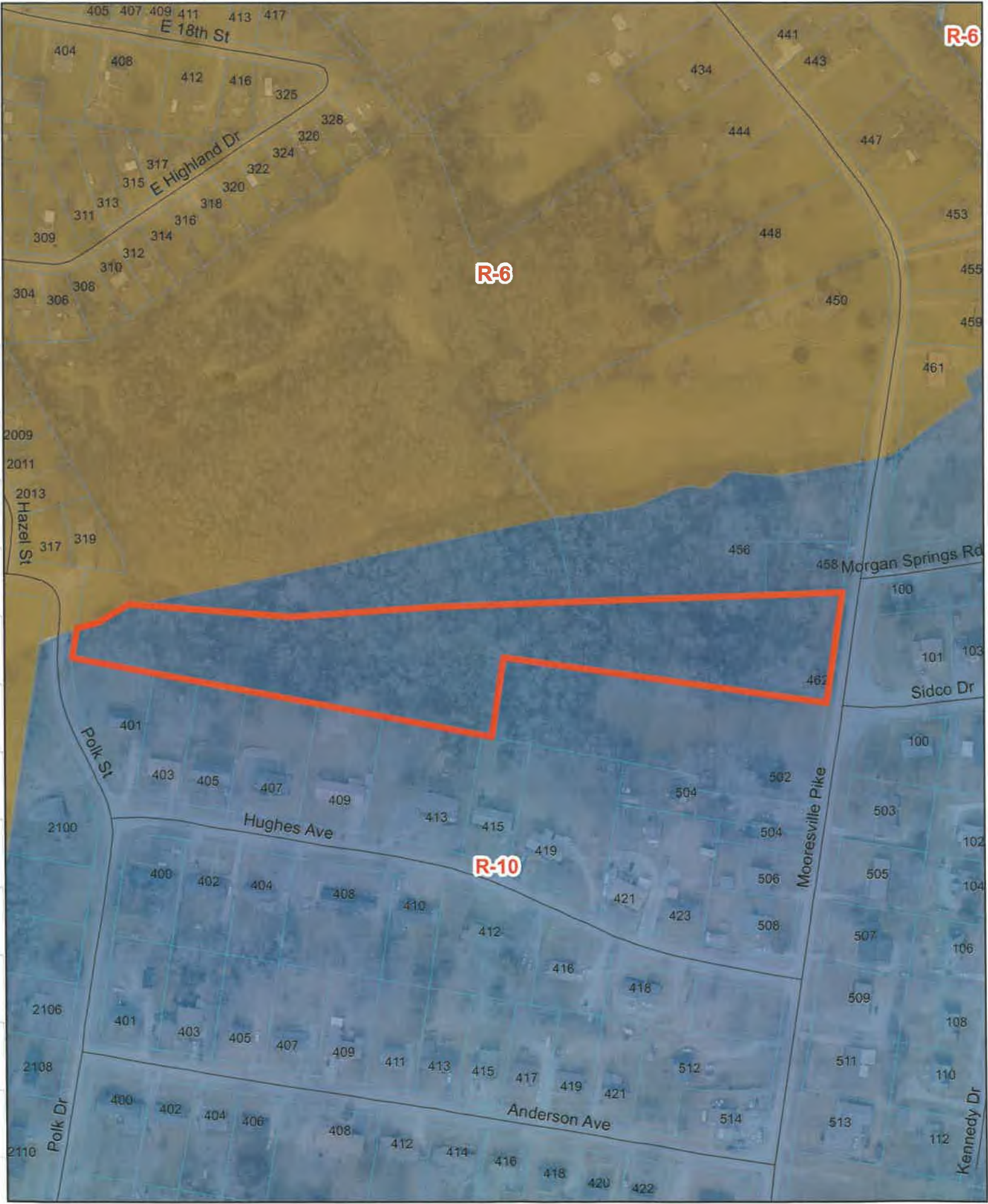
14. No comments provided.

Maury County Schools

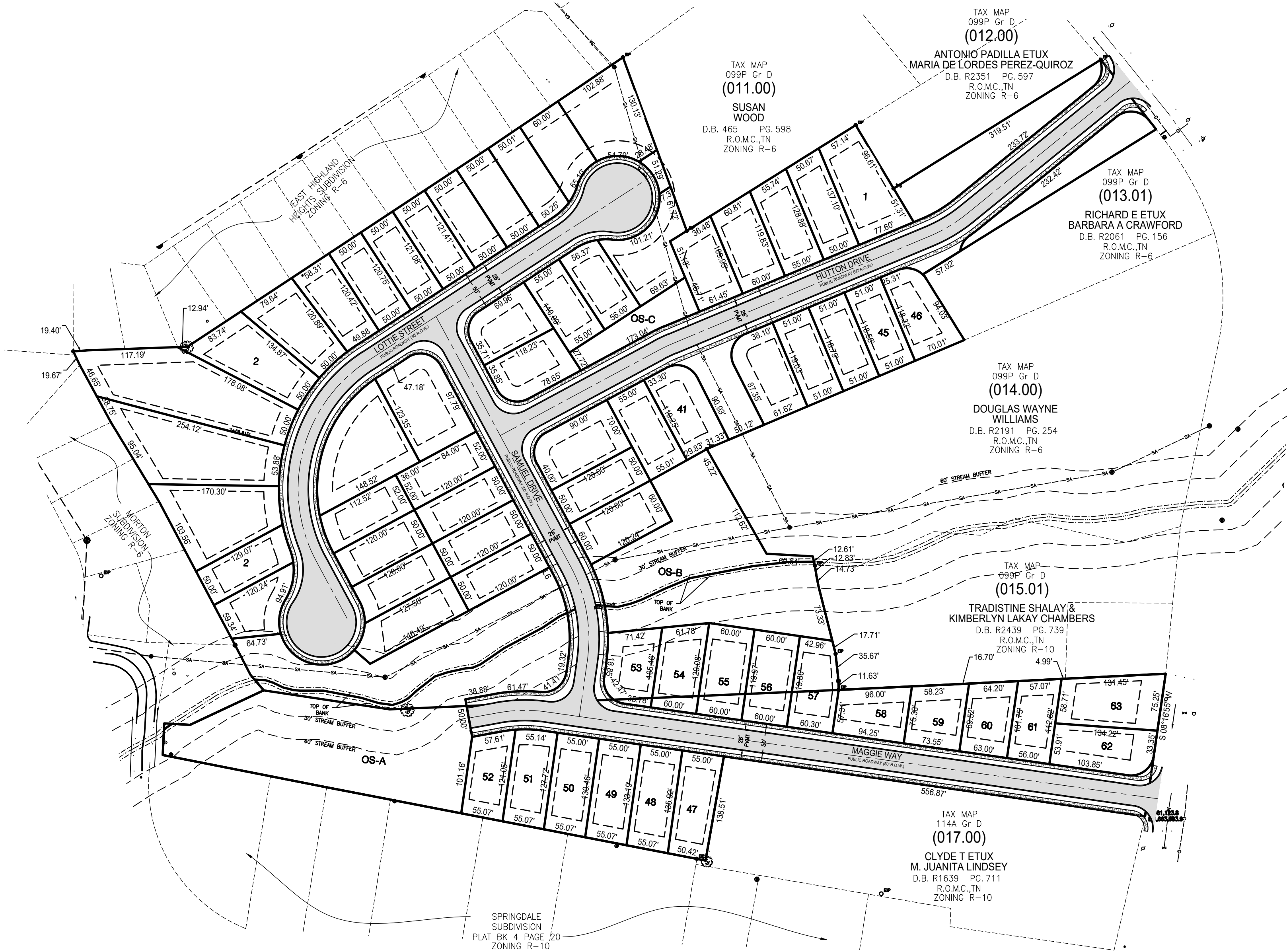
15. No comments provided.

ATTACHMENTS: Concept Plan.

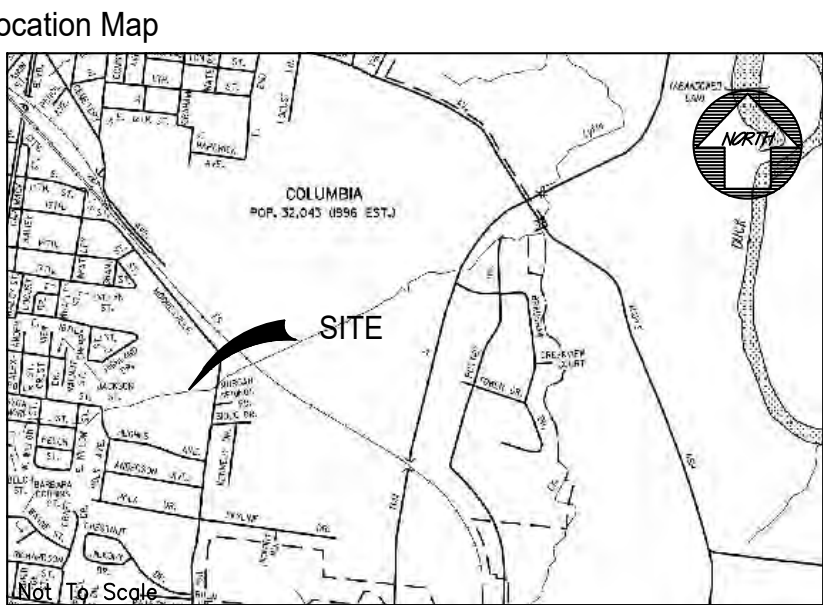




CONCEPT PLAN



LOT #	SQ. FT.	Acres
1	9,545.18	0.22
2	6,649.48	0.15
3	6,619.28	0.15
4	6,893.31	0.16
5	6,445.54	0.15
6	6,761.13	0.16
7	6,622.60	0.15
8	6,050.00	0.14
9	6,095.16	0.14
10	6,271.92	0.14
11	10,069.23	0.23
12	6,095.05	0.14
13	6,095.05	0.14
14	6,095.05	0.14
15	6,078.63	0.14
16	6,033.23	0.14
17	6,045.90	0.14
18	6,029.38	0.14
19	6,509.71	0.15
20	8,108.39	0.19
21	10,099.18	0.23
22	19,850.13	0.46
23	16,558.28	0.38
24	12,538.74	0.29
25	6,186.67	0.14
26	9,032.82	0.21
27	7,109.60	0.16
28	6,068.82	0.14
29	6,000.00	0.14
30	6,114.89	0.14
31	12,983.23	0.30
32	10,425.69	0.24
33	6,240.00	0.14
34	6,000.00	0.14
35	6,000.00	0.14
36	6,000.00	0.14
37	7,200.85	0.17
38	6,000.00	0.14
39	8,206.86	0.19
40	6,575.17	0.15
41	7,274.36	0.17
42	7,637.86	0.18
43	6,064.52	0.14
44	6,052.44	0.14
45	6,040.36	0.14
46	7,009.32	0.16
47	7,229.49	0.17
48	7,400.65	0.17
49	7,250.26	0.17
50	7,099.87	0.16
51	6,901.23	0.16
52	6,133.41	0.14
53	6,269.03	0.14
54	6,766.31	0.16
55	7,201.56	0.17
56	7,194.85	0.17
57	6,769.47	0.16
58	6,253.08	0.14
59	6,063.22	0.14
60	6,025.07	0.14
61	6,002.45	0.14
62	6,489.21	0.15
63	10,129.76	0.23



SITE DATA:

OWNER: BLAKE KELLEY
3147 CARRINGTON LANE
COLUMBIA, TN 38401

PARCEL NUMBER: TAX MAP 99P, GRP D, PARCEL 13.00
TAX MAP 114A, GRP D, CTRL MAP 99P
PARCEL 16.00
DEED BOOK: R2526, PG 1435

SUBJECT PARCEL ZONING: R-6 14.28 Acres
R-10 4.60 Acres

ACREAGE OF SITE: 18.88 ACRES
(PROPOSED 179,922.31 S.F. - 4.13 Ac.
RIGHT OF WAY DEDICATION)

MINIMUM REQUIRED BUILDING SETBACKS:
20' FRONT (MINOR COLLECTOR)
20' FRONT (MINOR)
20' REAR
7.00' SIDE, 15.00' TOTAL

UTILITY SERVICES: WATER SERVICE
COLUMBIA POWER & WATER SYSTEMS
201 PICKENS LANE
COLUMBIA, TENNESSEE 38401
(931) 388-4833

ELECTRIC SERVICE
COLUMBIA POWER & WATER SYSTEMS
201 PICKENS LANE
COLUMBIA, TENNESSEE 38401
(931) 388-4833

PURPOSE NOTE: REZONE 4.60 ACRES FROM R-10 TO R-6 TO MATCH
14.68 ACRES AND PROVIDE 63 SINGLE FAMILY
RESIDENTIAL AND 6 OPEN SPACE LOTS.

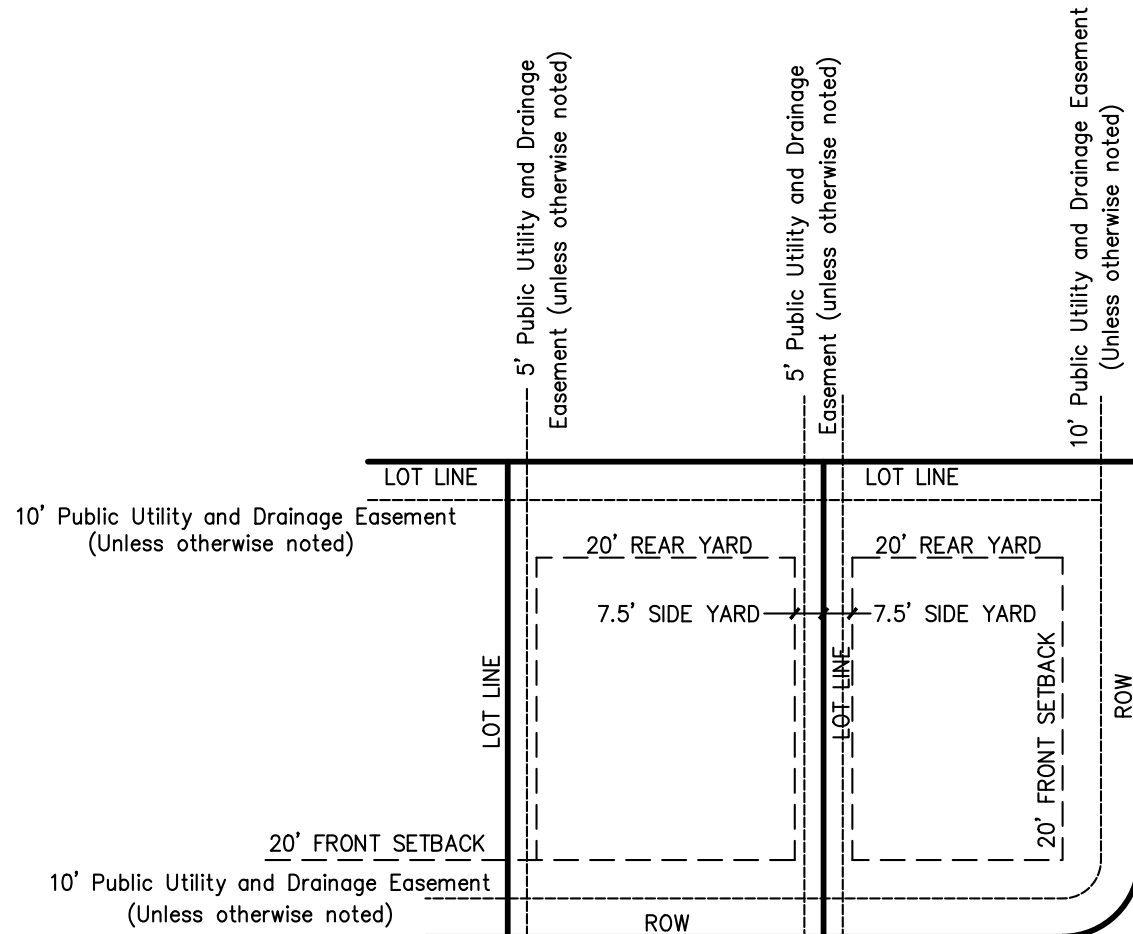
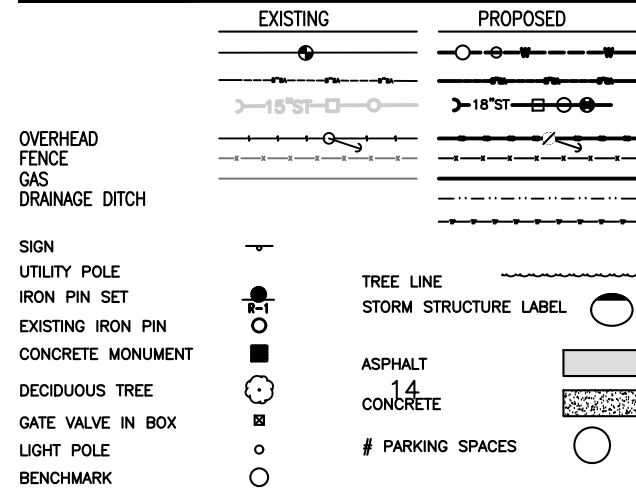
NOTES:
1. INSTALLATION OF HVAC EQUIPMENT IN P.U.D.E.'s WITH
BURIED PIPES IS PROHIBITED.
2. MINIMUM LOT SIZE IS 50' X 120' (6,000 S.F.)
3. ALL DRAINAGE SWALES AND BERMS TO BE MAINTAINED BY
INDIVIDUAL HOMEOWNERS.

BENCHMARK
BENCHMARK #1
XXXXXX
ELEV. = XXXXX
N =
E =

WARNING! UTILITY LINES!

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

LEG



BAKER PLACE SUBDIVISION
TYPICAL LOT LAYOUT

OPEN SPACE NOTE:
ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE
HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF
MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS
INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER. BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED, ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:

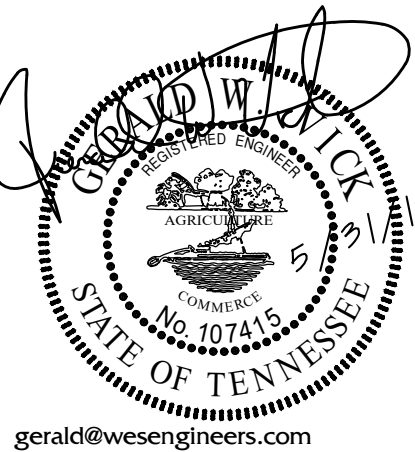
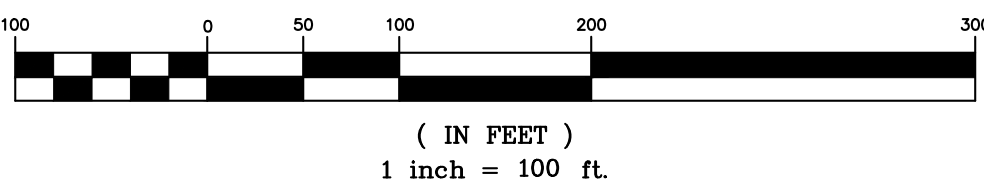
CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:
WES E ENGINEERS & SURVEYORS
2488 NASHVILLE HWY
COLUMBIA, TENNESSEE 38401
(931) 388-2329

FLOOD STUDY NOTE:

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 4711922085E DATED APRIL 16, 2002 (ZONE "X")

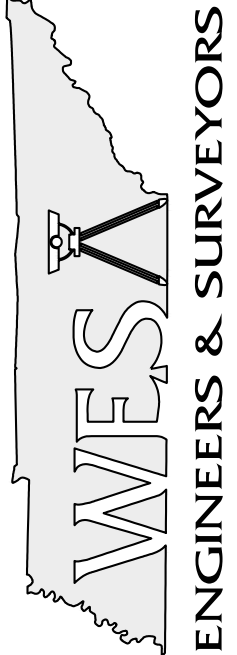
GRAPHIC SCALE



gerald@wesengineers.com

RELEASED FOR CONSTRUCTION
WITH AGENCY APPROVAL

©2019
WES E ENGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
2488 NASHVILLE HIGHWAY
COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com



Client
BLAKE KELLEY
3147 CARRINGTON LANE
COLUMBIA, TN 38401
931-446-0909

REVISIONS	DATE	REVISED PER CITY COMMENTS
	5/30/19	

BAKER CREEK PLACE
MOORESVILLE PIKE
MAURY COUNTY, TENNESSEE
CONCEPT PLAN

Drawn: RP	Checked: JS	Approved: GV	Date: Feb. 1, 2019
18588	Scale:	Vertical:	Horizontal:

Case Number:

19-0049

Request:

Request from Allen O'Leary for final plat
and surety in the amount \$103,000
approvals for Honey Farm Subdivision
Phase 2 Section 10 for 25 lots.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0049

APPLICANT/PROPERTY OWNER
Allen O'Leary

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
Honey Farm Subdivision

NA

BRIEF SUMMARY OF REQUEST

This request is for allowance to construct 25 homes on approximately 9 acres being a portion of the Preliminary Plat approved in September 2017. All required infrastructure has been installed to support the home construction.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RS-10 PUD Residential	Residential	Residential	NA	6.00 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY

This project has been under construction since 2007.

COMPATIBILITY with the ZONING ORDINANCE

Staff finds this request to be compliant with city standards and the Preliminary plat.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE) :



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0049

DESCRIPTION: Request from Allen O'Leary for final plat approval of 25 lots in Honey Farm Subdivision Phase 2 Section 10

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Engineering

1. Change subdivision title to Phase 2 Section 10A
2. Show stream buffer and provide averaging for encroachment

Atmos Energy

3. No gas.

Wastewater

4. Sewer improvements to service this section have been completed and will be on the Council agenda for the June meeting with a recommendation for acceptance. Wastewater approved this request.

Fire

5. No comments.

Columbia Power

6. Columbia Power System has an existing power line near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

TECHNICAL

19-0049

Page 1 of 2

Columbia Water

7. Water is tested and completed. Move f/h to Lot 331.

Planning

8. No comments.

Police

9. No comments provided.

Public Works

10. No comments.

Maury County E911

11. No comments provided.

Maury County Schools

12. No comments provided.

ATTACHMENTS: Final Plat.

Case Number:

19-0045

Request:

Request from FP,TCI,CCS, LLC for final plat and surety in the amount of \$121,000 approvals for Homestead at Carters Station Section 4 Phase 2 for 27 lots.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0045

APPLICANT/PROPERTY OWNER
FP, TCI, CCS, LLC

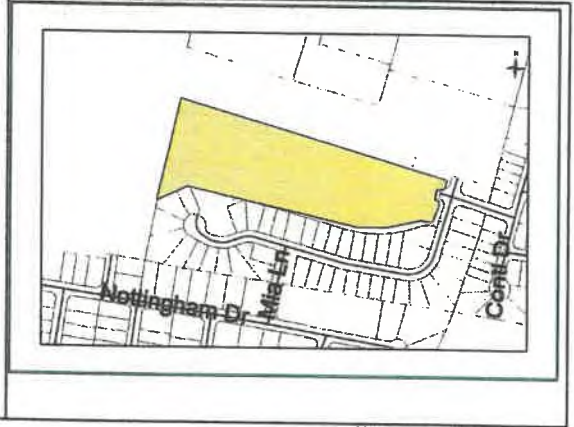
PUBLIC HEARING DATE

NA

PROPERTY ADDRESS/LOCATION
**Homestead at Carters Station
Subdivision**

BRIEF SUMMARY OF REQUEST

This request is for allowance to construct 27 homes on approximately 6 acres being a portion of the Preliminary Plat approved in September 2017. All required infrastructure has been installed to support the home construction.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RS-10 PUD Residential	Residential	Residential	NA	6.00 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY

This property has been a part of a Master Plan of development for several years.

COMPATIBILITY with the ZONING ORDINANCE

Staff finds this request to be compliant with city standards and policies and plans.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE):



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0045

DESCRIPTION: Request from FP, TCI, CCS, LLC for final plat approval of Homestead at Carter's Station Section 4 Phase 2 for 27 lots being a 6 acre portion of Tax Map 41 Parcel 15.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Atmos Energy

1. No gas.

Planning

2. No comments.

Engineering

3. No comments.

Fire

4. No comments.

Wastewater

5. Sewer extension for the above referenced property has been installed but not tested, which is the next step in preparing the extension for council approval, but not the last, as per State of Tennessee approved plans. Wastewater approves this request.

Police

6. No comments provided.

Public Works

7. No comments.

Columbia Power

8. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Columbia Water

9. Revise water line in cul-de-sac. Fire hydrant at NW corner is not in.

Maury County E911

10. No comments provided.

Maury County Schools

11. No comments provided.

ATTACHMENTS: Final Plat.

PURPOSE NOTE

THE PURPOSE OF THIS PLAT IS TO CREATE 27 SINGLE FAMILY LOTS.

SURVEYOR'S NOTES

1. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN THE CITY OF COLUMBIA, MAURY COUNTY, TN. ALL MATTERS PERTAINING TO CONSTRUCTION, USE, LOCATION OF IMPROVEMENTS, SIGNAGE, PARKING, NOISE, VIBRATION, EMISSIONS, FIRE HAZARDS, RADIATION, ILLUMINATION, SETBACK PROVISIONS, ETC. ARE SUBJECT TO THE CITY OF COLUMBIA'S ZONING REGULATIONS AS INTERPRETED AND REGULATED BY THE DEPARTMENT OF DEVELOPMENT SERVICES.
2. SUBJECT PROPERTY IS A PORTION OF PARCEL 15.00 AS SHOWN ON MAURY COUNTY TAX MAP 41.
3. DEED REFERENCE: RECORD BOOK R2370, PAGE 1470, REGISTER'S OFFICE OF MAURY COUNTY, TN.
4. THE HORIZONTAL LOCATION DATA SHOWN ON THIS SURVEY WAS GATHERED USING STANDARD RADIAL SURVEYING TECHNIQUES WITH AN ELECTRONIC TOTAL STATION AND DATA COLLECTOR AND IS BASED UPON A POSITIONAL SOLUTION DERIVED FROM GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS USING THE TDOT NETWORK. TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD83.
5. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. TENNESSEE ONE CALL 1-800-351-1111 OR 1-615-366-1987.
6. THIS SURVEYOR HAS NOT BEEN FURNISHED WITH A TITLE REPORT, THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH.
7. TOTAL AREA OF THE PROPERTY SURVEYED IS 6.00 ACRES±.
8. THE SUBJECT PROPERTY LIES WITHIN AN AREA DESIGNATED AS ZONE "X" (UNSHADED), ON FEMA/FIRM MAP No. 47119C0180E, (EFFECTIVE APRIL 16, 2007), AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR MAURY COUNTY, TENNESSEE.
9. NEW RIGHT-OF-WAY DEDICATION: 1.09 ACRES±.
10. ZONED: RS-10 PUD
11. UNLESS OTHERWISE NOTED, ALL LOT CORNERS ARE MARKED WITH SET IRON RODS.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) do hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book R2370, Page 1470, Maury County Register's Office, Tennessee, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that I (we) offer of irrevocable dedication for all public ways, utilities, and other facilities have been filed.

Owner (FP TCI CCS, LLC) Title Date

CERTIFICATE OF APPROVAL OF WATER SYSTEM

I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled "Homestead at Carter's Station - Section 4, Phase 2" has/have been installed in accordance with current local and state government requirements, or a sufficient bond or surety has been filed to guarantee said installation.

Superintendent, Columbia Water System Date

CERTIFICATE OF APPROVAL OF STREETS, DRAINAGE, AND UTILITIES

I hereby certify that the streets, drainage, and utilities at "Homestead at Carter's Station Subdivision - Section 4, Phase 2" have been installed in accordance with City specifications, or a performance bond in the amount of \$_____ for streets and drainage has been posted with the City of Columbia, Tennessee, to assure completion of such improvements.

City Engineer, Columbia, Tennessee Date

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Columbia Subdivision Regulations, with the exceptions of such variances, if any, as noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.

Secretary, Planning Commission Date
Columbia, Tennessee

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES

Subdivision name and street names approved by the City Engineering Department and by E-911 Maury County.

Maury County E-911 Date

CERTIFICATE OF APPROVAL FOR SEWER SYSTEM

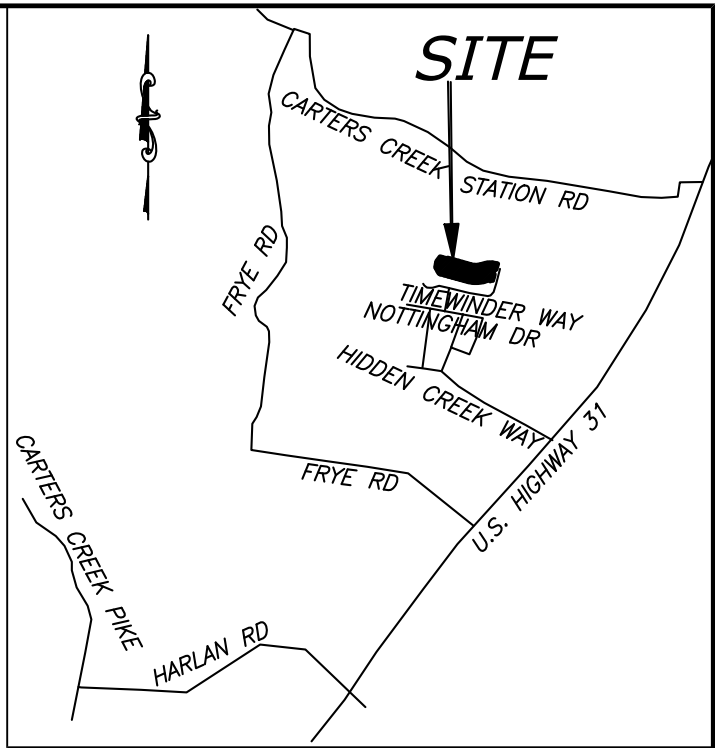
I hereby certify that the sewer system outlined or indicated on this final subdivision plat has been installed in accordance with current local and state government requirements, or a sufficient bond or surety has been filed to guarantee said installation.

Superintendent, Columbia Wastewater System Date

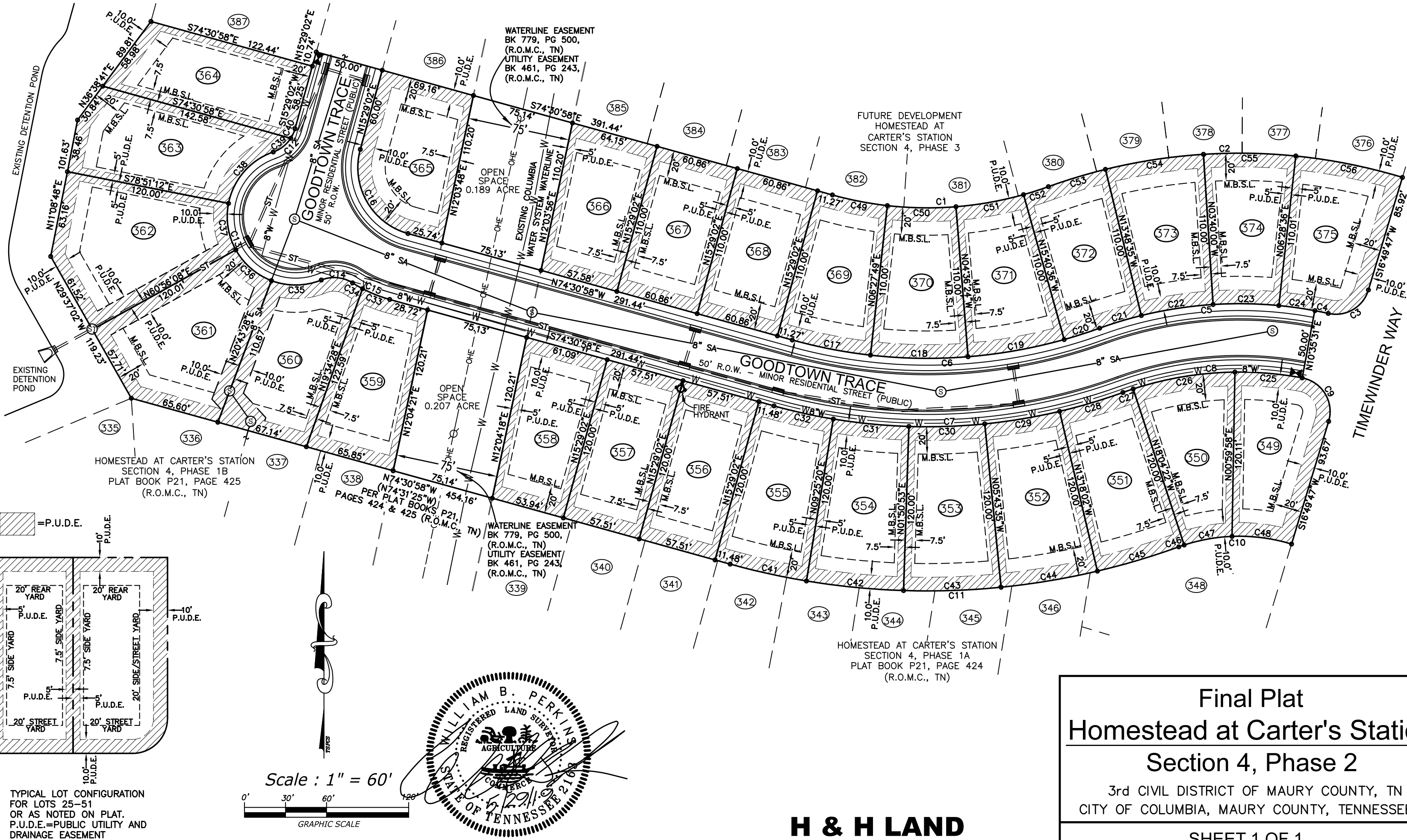
LOT NUMBER	LOT AREAS	SQUARE FEET	ACRES
349	7,117	0.16	
350	6,680	0.15	
351	7,351	0.17	
352	7,615	0.17	
353	7,615	0.17	
354	7,615	0.17	
355	7,472	0.17	
356	6,901	0.16	
357	6,901	0.16	
358	6,902	0.16	
359	6,975	0.16	
360	7,790	0.18	
361	9,276	0.21	
362	9,721	0.22	
363	8,085	0.19	
364	7,317	0.17	
365	7,433	0.17	
366	6,695	0.15	
367	6,695	0.15	
368	6,695	0.15	
369	6,695	0.15	
370	6,695	0.15	
371	6,695	0.15	
372	6,690	0.15	
373	6,913	0.16	
374	6,363	0.15	
375	7,548	0.17	

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	35°22'33"	260.00'	160.53'	157.99'	S87°47'45"W
C2	36°47'57"	410.00'	263.33'	258.83'	S88°30'27"W
C3	85°41'11"	25.00'	37.39'	34.00'	S59°40'22"W
C4	1°55'26"	300.00'	10.07'	10.07'	S78°26'46"E
C5	30°29'03"	300.00'	159.61'	157.74'	N85°21'00"E
C6	35°22'33"	370.00'	228.45'	224.84'	N87°47'45"E
C7	35°22'33"	420.00'	259.32'	255.22'	S87°47'45"W
C8	30°29'03"	250.00'	133.01'	131.45'	S85°21'00"W
C9	96°14'16"	25.00'	41.99'	37.23'	N31°17'21"W
C10	36°57'56"	130.00'	83.87'	82.42'	N88°35'26"E
C11	35°22'33"	540.00'	333.41'	328.14'	N87°47'45"E
C12	55°25'32"	25.00'	24.18'	23.25'	N43°11'48"E
C13	182°57'27"	50.00'	159.66'	99.97'	S20°34'10"E
C14	54°37'44"	25.00'	23.84'	22.94'	N84°44'01"W
C15	17°05'49"	100.00'	29.84'	29.73'	N65°58'03"W
C16	89°59'53"	50.00'	78.54'	70.71'	N29°31'02"W
C17	9°01'13"	370.00'	58.25'	58.19'	S79°01'34"E
C18	11°04'13"	370.00'	71.49'	71.38'	N89°04'17"W
C19	11°04'13"	370.00'	71.49'	71.38'	N79°51'30"E
C20	4°12'55"	370.00'	27.22'	27.22'	N72°12'56"E
C21	6°04'57"	300.00'	31.85'	31.83'	N73°08'57"E
C22	10°08'35"	300.00'	53.11'	53.04'	N81°15'43"E
C23	9°11'17"	300.00'	48.11'	48.06'	S89°04'21"E
C24	5°04'13"	300.00'	26.55'	26.54'	N81°56'36"E
C25	11°19'42"	250.00'	49.43'	49.35'	S85°04'20"E
C26	17°20'11"	250.00'	75.64'	75.36'	S80°35'43"W
C27	1°49'09"	250.00'	7.94'	7.94'	N71°01'03"E
C28	6°35'29"	420.00'	48.32'	48.29'	S73°24'13"W

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C29	7°34'27"	420.00'	55.52'	55.48'	S80°29'11"W
C30	7°34'27"	420.00'	55.52'	55.48'	N88°03'39"E
C31	7°34'27"	420.00'	55.52'	55.48'	S84°21'54"E
C32	6°03'42"	420.00'	44.43'	44.41'	N77°32'49"W
C33	12°15'20"	100.00'	21.39'	21.35'	S68°23'18"E
C34	4°50'29"	100.00'	8.45'	8.45'	S59°50'23"E
C35	42°46'22"	50.00'	37.33'	36.47'	N89°20'18"E
C36	40°12'40"	50.00'	35.09'	34.37'	S49°10'12"E
C37	40°12'40"	50.00'	35.09'	34.38'	S08°57'32"E
C38	59°45'46"	50.00'	52.15'	49.82'	N41°01'41"E
C39	37°58'20"	25.00'	16.57'	16.27'	N51°55'24"E
C40	17°27'12"	25.00'	7.62'	7.59'	N24°12'38"E
C41	6°03'42"	540.00'	57.13'	57.10'	S77°32'49"E
C42	7°34'27"	540.00'	71.39'	71.33'	N84°21'54"W
C43	7°34'27"	540.00'	71.39'	71.33'	S88°03'39"W
C44	7°34'27"	540.00'	71.39'	71.33'	S80°29'11"W
C45	6°35'29"	540.00'	62.12'	62.09'	S73°24'13"W
C46	1°49'09"	130.00'	4.13'	4.13'	N71°01'03"E
C47	15°43'57"	130.00'	35.70'	35.58'	N79°47'36"E
C48	19°24'49"	130.00'	44.05'	43.84'	N82°38'01"W
C49	9°01'13"	260.00'	40.93'	40.89'	S79°01'34"E
C50	11°04'13"	260.00'	50.24'	50.16'	S89°04'17"E
C51	11°04'13"	260.00'	50.24'	50.16'	N79°51'30"E
C52	4°12'55"	260.00'	19.13'	19.12'	N72°12'56"E
C53	6°04'57"	410.00'	43.53'	43.50'	N73°08'57"E
C54	10°08'35"	410.00'	72.58'	72.49'	S81°15'43"W
C55	9°26'40"	410.00'	67.58'	67.51'	S88°56'40"E
C56	11°07'45"	410.00'	79.64'	79.51'	N78°39'27"W



VICINITY MAP
NOT TO SCALE



Final Plat
Homestead at Carter's Station

Section 4, Phase 2

3rd CIVIL DISTRICT OF MAURY COUNTY, TN
CITY OF COLUMBIA, MAURY COUNTY, TENNESSEE

SHEET 1 OF 1

TAX MAP 41, P/O PARCEL 15.00

SCALE: 1"= 60'

DATE: MAY 29, 2019

AREA: 6.00 ACRES±

H & H LAND
SURVEYING, INC.

612A FITZHUGH BOULEVARD
SMYRNA, TENNESSEE 37167
(615) 831-0756 (FAX) 355-6928

H & H Project No. 2019-0219

CERTIFICATE OF ACCURACY

I hereby certify that to the best of my knowledge and belief, that this is a true and accurate survey of the property shown hereon; that this is a CATALOGUE PLAT Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated; and that the ratio of precision is greater than or equal to 1:10,000.

Registered Land Surveyor Date 5/29/19
Tenn. License No. 2163
William B. Perkins

CERTIFICATE OF COMPLIANCE

I hereby certify that the subdivision plat shown hereon has been found to comply with the Columbia Subdivision Regulations and other adopted ordinances and policies.

City Engineer, Columbia, Tennessee Date

Case Number:

19-0044

Request:

Request from Scott Williams for final master site plan approval of Foxhill Apartments off Nashville Highway being Tax Map 75 Parcel 8.02.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
19-0044

APPLICANT/PROPERTY OWNER
Scott Williams

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
1683 Nashville Hwy Map 75 – 8.02

NA

BRIEF SUMMARY OF REQUEST

This is a PUD Master Final Site Plan request for 19 acres on the corner of Columbia Rock Products Road and Nashville Highway. The proposal is a request for an apartment complex of 96 units within four buildings.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
Commercial Planned Unit Development	Agriculture	Residential	Four apartment buildings	19 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY

This property has an approved master plan with required improvements from council.

COMPATIBILITY with the ZONING ORDINANCE

Based on the technical comments, staff would find this request to be compatible with the Master Plan

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0044

DESCRIPTION: Request from Scott Williams & Associates for multi-family final site plan approval of Foxhill Ridge Apartments located at Tax Map 75 Parcel 8.02.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Planning

1. Adjust Landscape buffer along private driveway to be along one side or the other of the road itself

Engineering

2. Subject to Construction Plan approval
3. Subject to TIS and installation of improvements at Nashville Hwy
4. Provide name for private roadway (between Archway Drive and Columbia Rock Road)
5. Provide 50' Access and Public Utility and Drainage Easement along proposed private roadway
6. Discrepancy on the sidewalks on sheets MP1 and C1A

Fire

7. No comments.

Wastewater

8. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rule, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for any extension of the sewers have been proposed at this time.

TECHNICAL

19-0044

Page 1 of 2

Police

9. No comments provided.

Public Works

10. No comments.

Columbia Power

11. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Columbia Water

12. Is water layout proposed as on CPWS design plan?

Atmos Energy

13. Gas available.

Maury County E911

14. No comments provided.

Maury County Schools

15. No comments provided.

ATTACHMENTS: Final Master Site Plan.

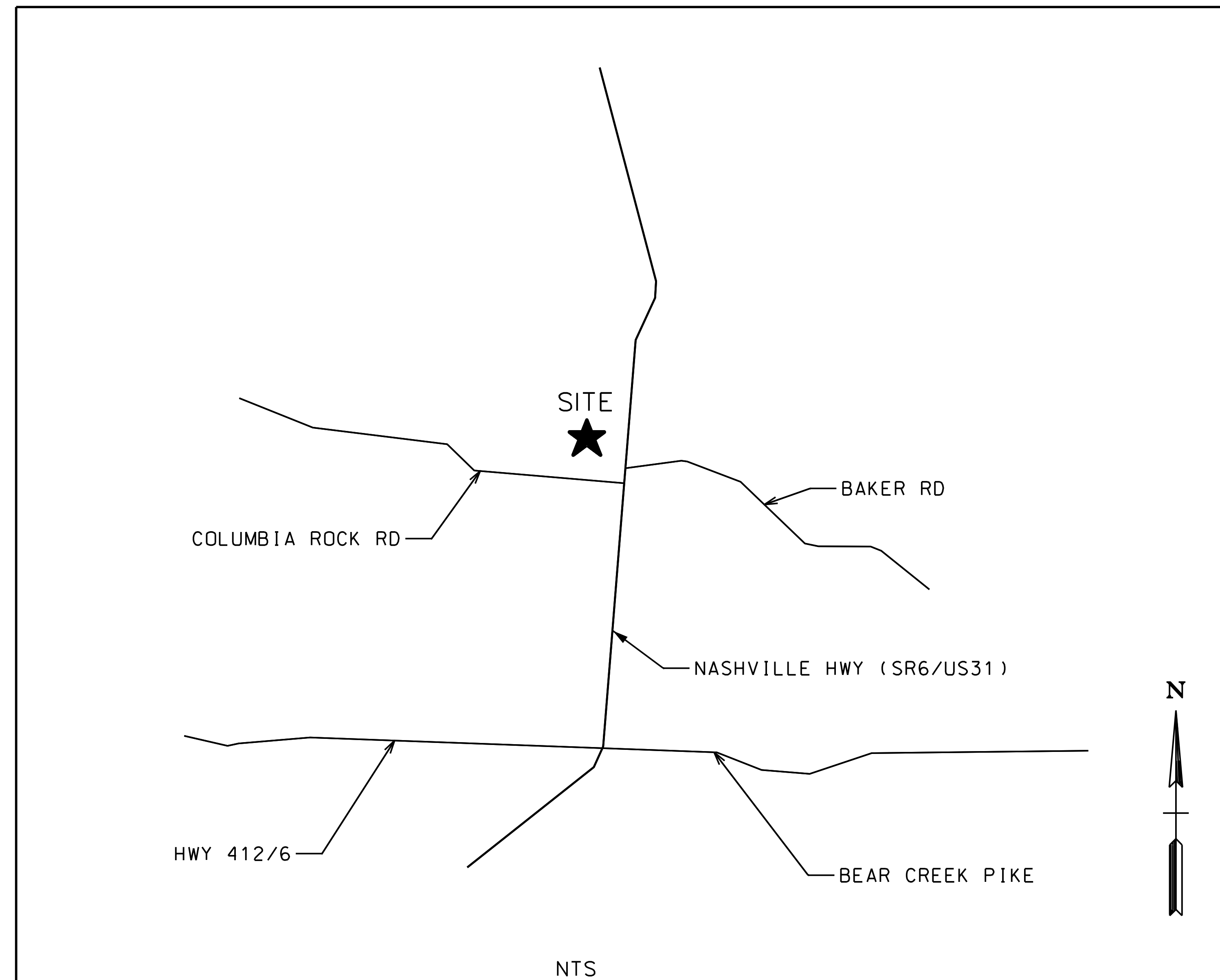
FOXHILL RIDGE APARTMENTS

P.U.D. AND SITE PLAN SUBMITTAL

COLUMBIA, TENNESSEE

SHEET INDEX

MP1	MASTER PLAN AMENDMENT FOR PARCEL 1 OF FOXHILL P.U.D.
C1a & C1b	SITE & UTILITY LAYOUT PLAN
C2a & C2b	GRADING AND DRAINAGE PLAN
L1	LANDSCAPE PLAN
	TYPICAL BUILDING PLAN
	TYPICAL BUILDING ELEVATIONS



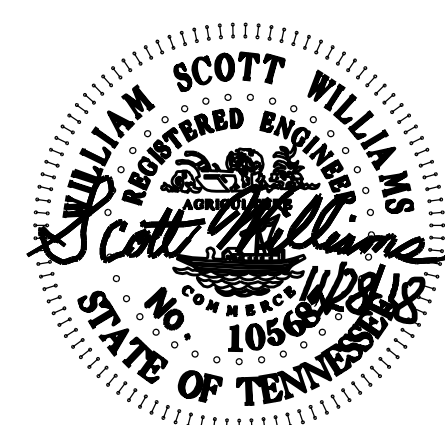
VICINITY MAP

SITE ADDRESS:
1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008.02

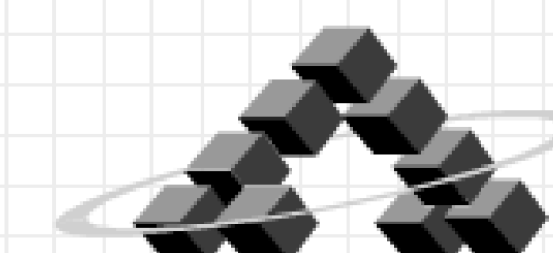
DEVELOPER:

FOXHILL RIDGE
APARTMENTS, L.P.

PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052



NOVEMBER 28, 2018

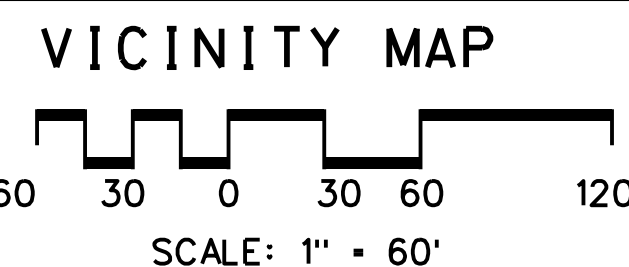
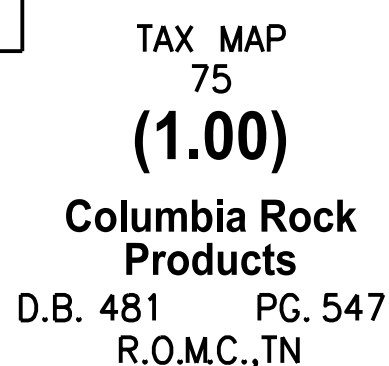


CONSULTING
CIVIL ENGINEERING
LAND SURVEYING

W. SCOTT WILLIAMS AND ASSOCIATES

4530 Annalee Way
Knoxville, TENNESSEE 37921
P & F: (865) 692-9809
E-MAIL: wscottwill@comcast.net

JOB # 1873



SITE DATA

ZONING: PUD-C

MIN. SETBACKS:
FRONT - 20' (MINOR RD)
SIDE - 15'
REAR - 25'

TOTAL P.U.D. AREA: 27.32 ACRES
P.U.D. AMENDMENT AREA: 18.84 ACRES

PROPOSED DENSITY: 96 APARTMENT UNITS & 1 CLUBHOUSE

PROPOSED IMPERVIOUS AREA: 163,000 SF

PARKING:
155 PARKING SPACES PER 2 BEDROOMS REQUIRED
190 PARKING SPACES PROPOSED ALLOW 253 BEDROOMS

LEGEND

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM  WATER METER PIT
-  PP POWER POLE
-  GUY WIRE
- EASEMENT
- ===== STORM SEWER
-  SANITARY SEWER MANHOLE
- CO  SANITARY SEWER CLEAN OUT
- SA — SANITARY SEWER
- ===== BUILDING SETBACK LINE

TAX MAP
75
(5.00)
**James
Sanders**
R1843 PG. 168
R.O.M.C..TN

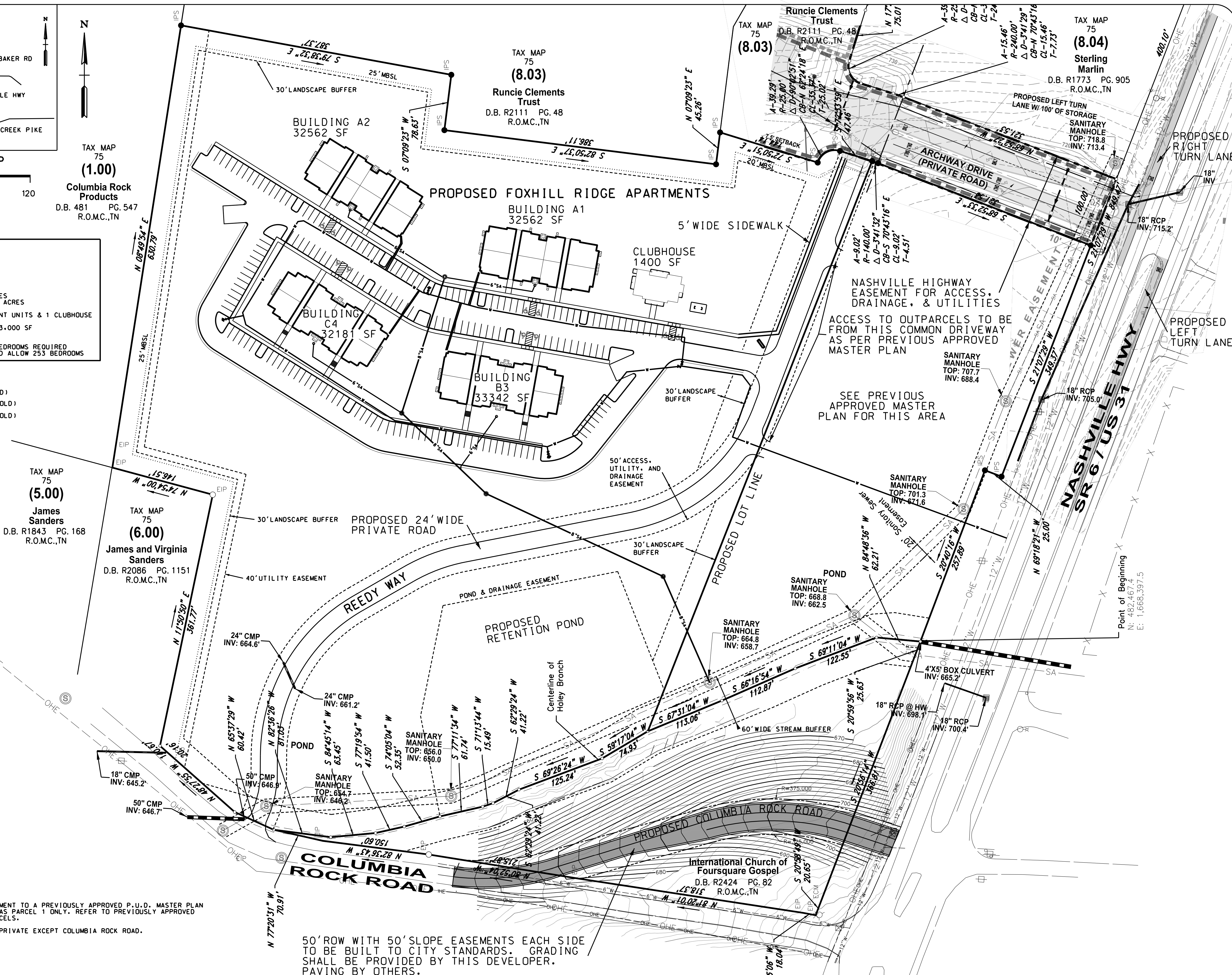
TAX MAP
75
(6.00)
**James and Virginia
Sanders**
D.B. R2086 PG. 115
R.O.M.C., TN

NOTES:

THIS PLAN IS TO SHOW AN AMENDMENT TO A PREVIOUSLY APPROVED P.U.D. MASTER PLAN BY OTHERS FOR THE AREA SHOWN AS PARCEL 1 ONLY. REFER TO PREVIOUSLY APPROVED MASTER PLAN FOR ALL OTHER PARCELS.

ALL PROPOSED ROADS ARE TO BE PRIVATE EXCEPT COLUMBIA ROCK ROAD.

50' ROW WITH 50' SLOPE EASEMENTS EACH SIDE
TO BE BUILT TO CITY STANDARDS. GRADING
SHALL BE PROVIDED BY THIS DEVELOPER.
PAVING BY OTHERS.



REVISIONS		
NO.	DATE	DESCRIPTION
1	12/27/18	CITY COMM.
2	1/24/19	CITY COMM.
3	5/30/19	CITY COMM.

**MASTER PLAN AMENDMENT
FOR PARCEL 1 OF:**

FOXHILL P.U.D.

1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008.02



W. SCOTT WILLIAMS AND ASSOCIATES

**530 Annette Way
Memphis, Tennessee 37921
& F: (865) 692-9809**

CLIENT:

**HUFF AND ASSOCIATES
CONSTRUCTION COMPANY, INC.**

PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052

ORIGINAL ISSUE:

NOV 28, 2018

SHEET NO.

MP 1

JOB NO. 1873

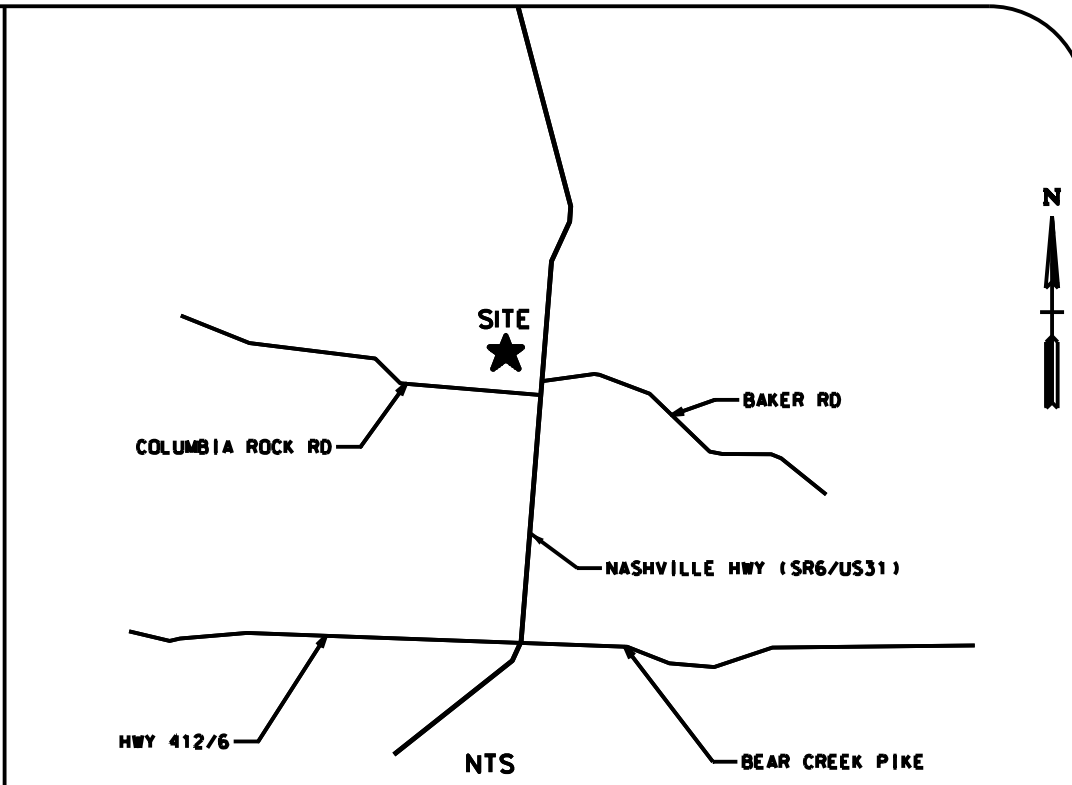
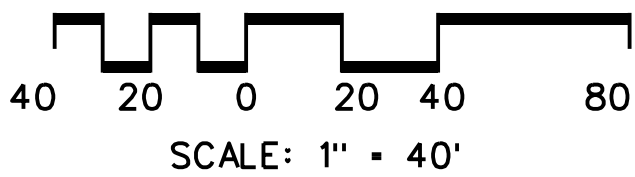
SITE DATA

ZONING: PUD-C
MIN. SETBACKS:
FRONT - 20' (MINOR RD)
SIDE - 15'
REAR - 25'
MAX. BUILDING HEIGHT: 35'
PROPOSED DENSITY: 96 APARTMENT UNITS & 1 CLUBHOUSE
(210 BEDROOMS)
PROPOSED IMPERVIOUS AREA: 163,000 SF
PARKING:
1.5 PARKING SPACES PER 2 BEDROOMS (158) REQUIRED
188 PARKING SPACES INCL. 10 ADA ACCESSIBLE

NOTES:
THIS PLAN IS TO SHOW THE SITE LAYOUT FOR PAVING, CURB, SIDEWALK, BUILDINGS, ETC. ONLY.
ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF COLUMBIA REGULATIONS AND O.S.H.A. STANDARDS.
CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE.
ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
ALL CURB RADI ARE 3' AT FACE OF CURB UNLESS OTHERWISE SHOWN. ROADWAY AND PARKING LOT DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. BUILDING LOCATION MEASUREMENTS ARE TO OUTSIDE FACE.
PAVEMENT MARKINGS SHALL BE 4" WIDE SOLID WHITE PAINTED STRIPES MEETING REQUIREMENTS AND INSTALLED IN ACCORDANCE WITH APPLICABLE DETAILS AND SPECIFICATIONS.
PORTLAND CEMENT CONCRETE USED IN SITE WORK CONSTRUCTION TO BE MIXED AND PLACED IN ACCORDANCE WITH A.C.I. STANDARD 318 - LATEST EDITION.
ALL SIGNS TO BE DESIGNED AND INSTALLED BY OTHERS UNDER SEPERATE SIGN PERMIT.
THE MOST UP TO DATE A.D.A. REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES.
ANY DISCREPANCIES IN THE LAYOUT SHALL BE REPORTED TO W. SCOTT WILLIAMS & ASSOC. IMMEDIATELY.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND PERFORMING ALL DEMOLITION AND UTILITY RELOCATION REQUIRED. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
ALL PROPOSED ROADS TO BE PRIVATE DRIVEWAYS.
PROPOSED PAVEMENT SHALL BE PER DETAILS ON D1 UNLESS OTHERWISE SPECIFIED BY LICENSED GEOTECHNICAL ENGINEER.
LIGHT DUTY PAVEMENT MAY BE USED IN PARKING SPACES ONLY PER DETAIL D1/10 WITH GEOTECHNICAL ENGINEER APPROVAL.
SEE D1.02, D3 FOR SITE DETAILS.
SITE SURVEY AND TOPOGRAPHY INFORMATION SHOWN HEREON IS BY OTHERS. REFER TO SURVEY FOR ALL EXISTING SURVEY INFORMATION.

LEGEND

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- STORM SEWER
- SS SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN OUT
- SA SANITARY SEWER
- BUILDING SETBACK LINE
- FENCE
- F/O FIBER OPTIC
- COMM COMMUNICATION
- CATCH BASIN
- (17) PARKING SPACE COUNT
- LIGHT DUTY CONCRETE
- SIGN
- (D1) SHEET NO. DETAIL NO.



NO.	DATE	DESCRIPTION
1	1/27/18	CITY COMM.
2	7/24/18	CITY COMM.
3	5/24/19	ARCH COMM.
4	5/30/19	CITY COMM.

SITE & UTILITY LAYOUT PLAN
FOXHILL RIDGE APARTMENTS
1683 NASHVILLE HWY., COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008-02



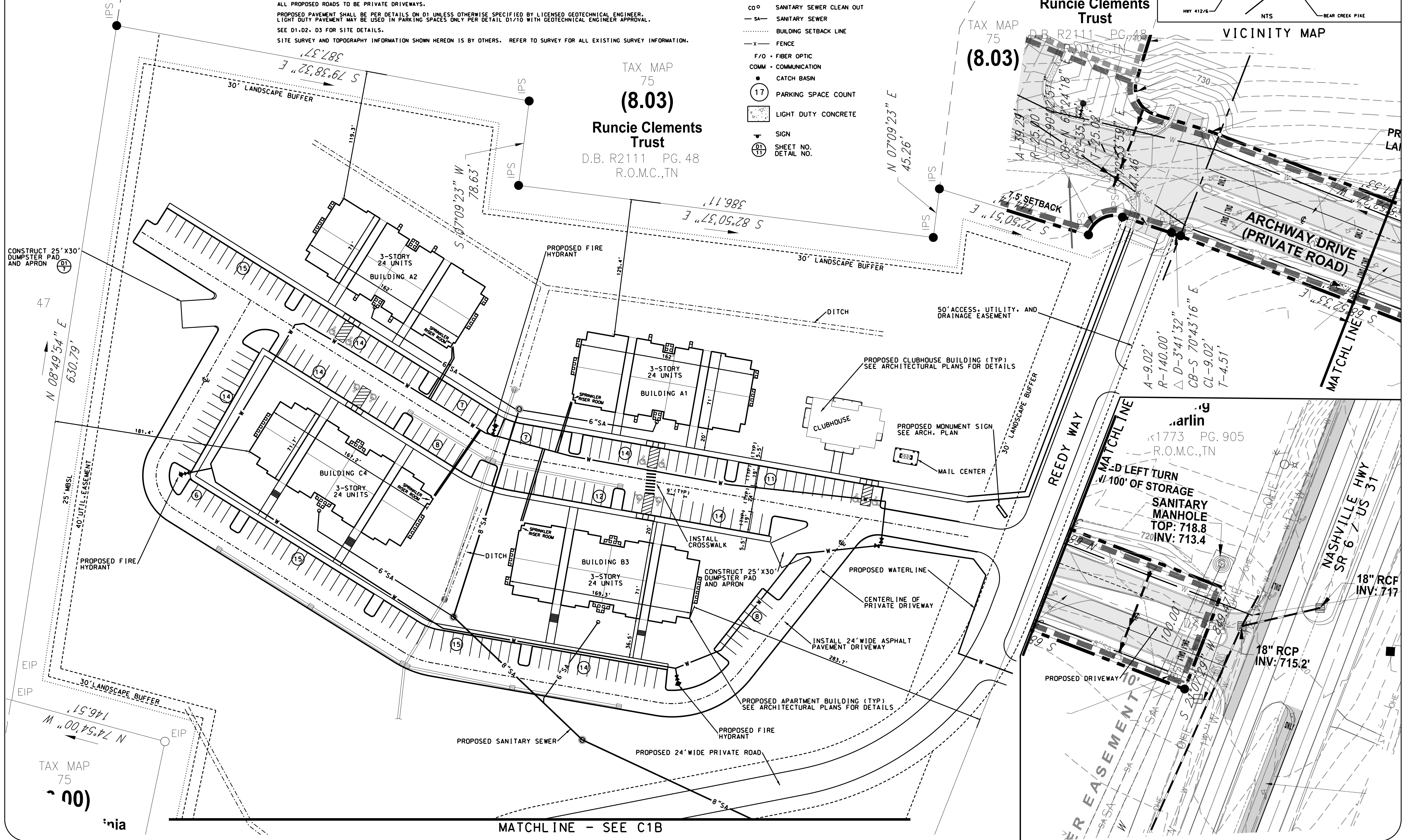
W. SCOTT WILLIAMS & ASSOCIATES
CONSULTING ENGINEER
CIVIL AND SURVEYING
4530 Annalee West
Nashville, TN 37221
P & F: (615) 692-5889
E-Mail: wscottwilliams@comcast.net

CLIENT:
FOXHILL RIDGE APARTMENTS, L.P.
PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052

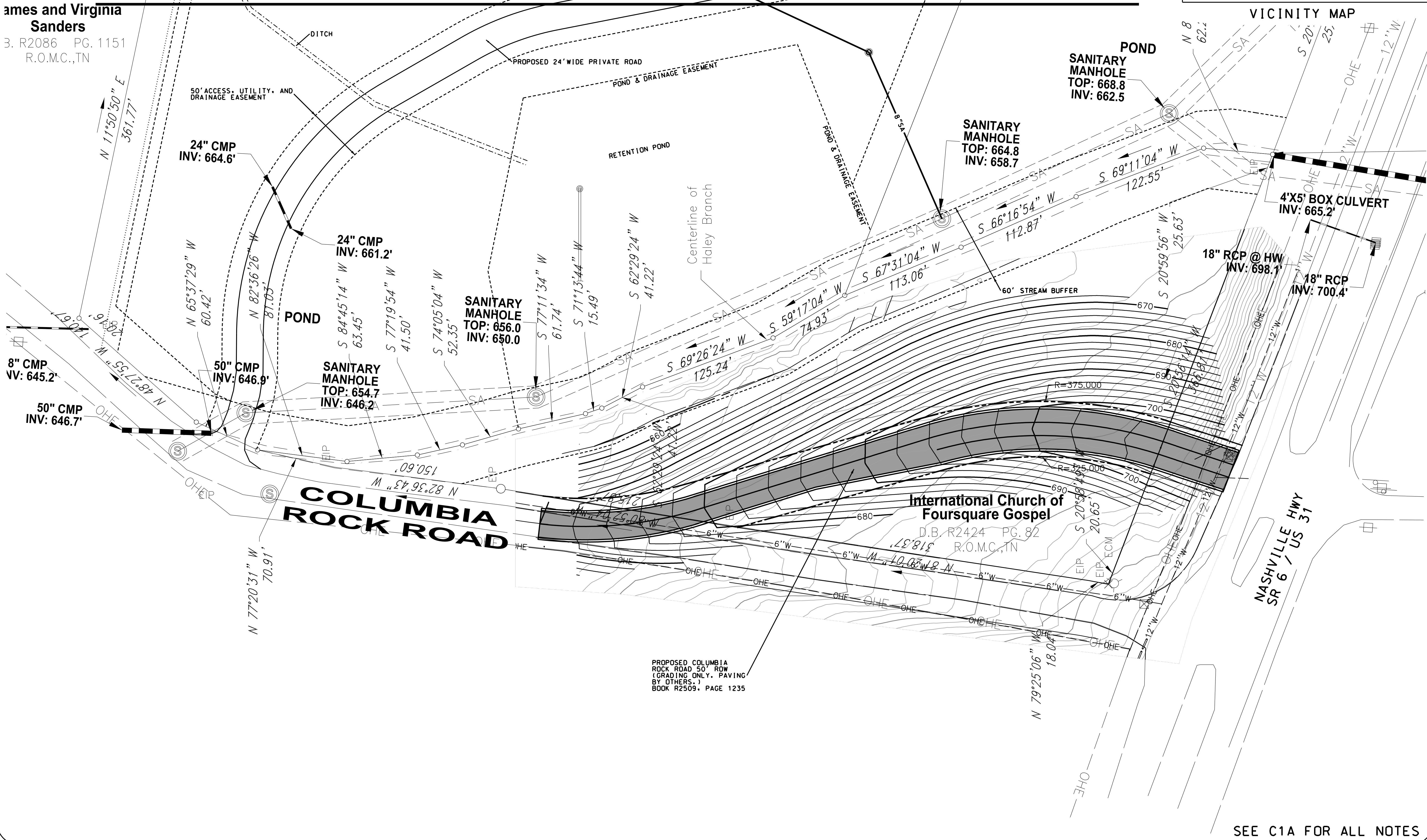
ORIGINAL ISSUE:
NOV 28, 2018

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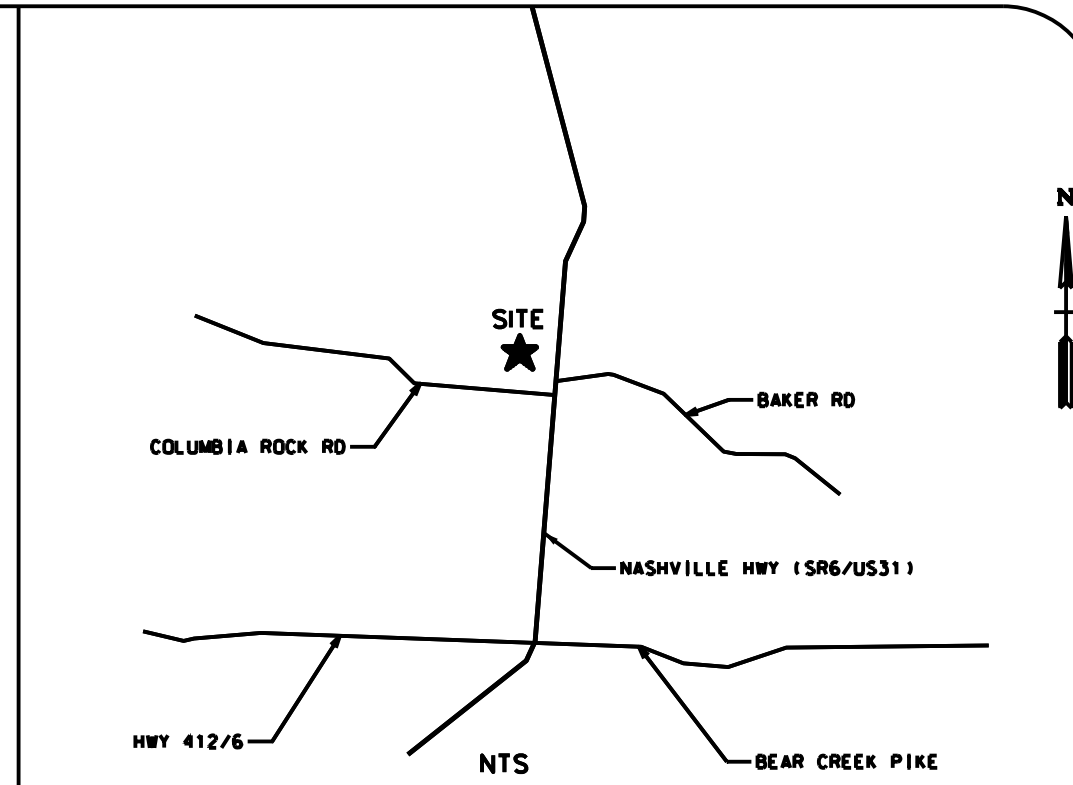
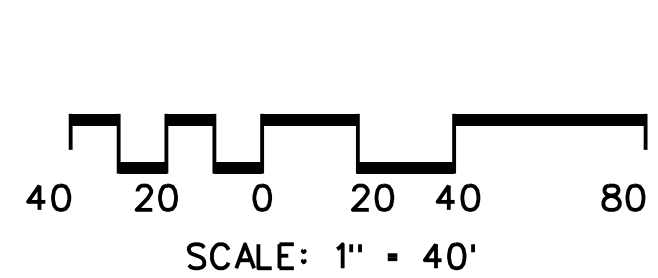
JOB NO. 1873



James and Virginia
Sanders
3. R2086 PG. 1151
R.O.M.C., TN



- LEGEND
- SA - SANITARY SEWER
 - BUILDING SETBACK LINE
 - X- FENCE
 - F/O - FIBER OPTIC
 - COMM - COMMUNICATION
 - CATCH BASIN
 - (17) PARKING SPACE COUNT
 - Light Duty Concrete
 - SIGN
 - SHEET NO. DETAIL NO.
 - MON - CONCRETE MONUMENT (OLD)
 - (F) - MONUMENTATION FOUND (OLD)
 - IPF - 1/2" IRON PIN FOUND (OLD)
 - IPS - IRON PIN SET (NEW)
 - WM - WATER METER PIT
 - PP - POWER POLE
 - GUY WIRE
 - EASEMENT
 - STORM SEWER
 - SANITARY SEWER MANHOLE
 - CO - SANITARY SEWER CLEAN OUT



REVISIONS	
NO.	DATE DESCRIPTION
1	12/27/18 CITY COMM.
2	1/24/19 CITY COMM.
3	5/30/19 CITY COMM.

SITE & UTILITY
LAYOUT PLAN (CONT.)

FOXHILL RIDGE APARTMENTS

1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008-02



W. SCOTT WILLIAMS ASSOCIATES

CONSULTING
ENGINEERING
AND SURVEYING

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E: WScottWilliams@comcast.net

CLIENT:

FOXHILL RIDGE
APARTMENTS, L.P.

PO DRAWER 2767
Opelika, AL 36803
Office 334-749-0052

ORIGINAL ISSUE:
NOV 28, 2018

SHEET NO.
C1B

JOB NO. 1873

SEE C1A FOR ALL NOTES

SITE DATA

ZONING: PUD-C

MIN. SETBACKS:
FRONT - 20' (MINOR RD)
SIDE - 15'
REAR - 25'

MAX. BUILDING HEIGHT: 35'

PROPOSED DENSITY: 96 APARTMENT UNITS & 1 CLUBHOUSE
(210 BEDROOMS)

PROPOSED IMPERVIOUS AREA: 163,000 SF

GENERAL NOTES:

BORROW MATERIAL TO BE USED FOR FILL WILL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS WILL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT, SIX (6) DENSITY TESTS SHOULD BE PERFORMED NO LESS THAN EVERY 10,000 SQUARE FEET OF AREA PER 8-INCH LIFT (APPROX. 1 TEST PER EVERY 50 FEET).

A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS. PRIOR TO DIGGING, CALL TENNESSEE ONE CALL TO LOCATE UTILITIES 3 OR MORE DAYS IN ADVANCE.

SEE D2/4 FOR TYPICAL PIPE BEDDING DETAIL.

SEE D2/3 FOR TYPICAL ENVIRONMENTAL STATEMENT TO BE PLACED ON ALL STORM SEWER INLETS / MANHOLES.

All stormwater pipes must be installed correctly with adequate pipe bedding, backfill and stormwater joint techniques. See the following for proper installation practices:
Reinforced Concrete Pipe (RCP) - ASTM C 143-01
Double Wall High-Density Polyethylene (HDPE) - ASTM D 2321

DRAINAGE NOTES:

FOR ALL BUILDINGS:
DOWNSPOUT SPLASH PADS MAY BE USED ON FRONT ROOF DRAINS AS LONG AS CONTRACTOR ENSURES POSITIVE DRAINAGE (MIN 2" AWAY FROM ALL BUILDINGS. EXTENSIONS MAY BE USED AS LONG AS THE PIPES ARE TERMINATED IN GRASS AREAS. ALL REAR GUTTERS SHALL BE EXTENDED TO TOE OF STEEP SLOPES.

ALL BUILDINGS SHALL HAVE 6" VERTICAL GRADE DROP TO ADJACENT GRASS AREAS. ALL GRASS AREAS SHALL SLOPE AWAY FROM THE BUILDING AT 2% SLOPE WHERE POSSIBLE AND 1% MINIMUM SLOPE.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS THROUGHOUT AND AT THE END OF CONSTRUCTION.

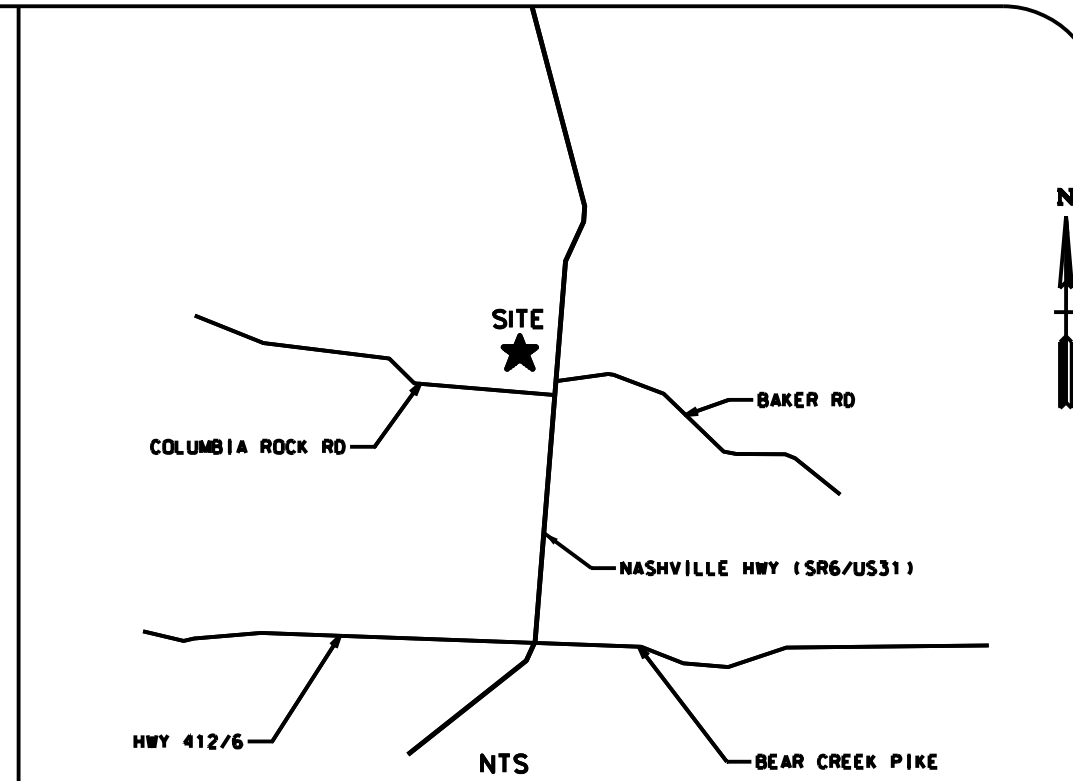
GRADING NOTES (SEE SWS1-4 FOR EROSION CONTROL NOTES):

- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D698. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY, PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2" OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
- ALL SLOPES TO BE 3"H:1"V UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2"H:1"V. IF ROCK IS ENCOUNTERED IN SLOPES, CONTRACTOR TO NOTIFY ENGINEER SO NEW DESIGN CAN BE CONSIDERED BEFORE CONTINUING WORK.
- FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PLAN PRIOR TO DISTURBANCES.
- ALL GRADING AND DRAINAGE ORDINANCES OF COLUMBIA COUNTY SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 6". A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS. THE SOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DIRT, DEBRIS, ETC. SHALL BE HAULED OFF.
- A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK. OUTLET STRUCTURES MAY NEED TO BE ALTERED WHILE USED AS SEDIMENT BASIN. SEE SWPPP.
- FFE = FINISHED FLOOR ELEVATION
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH A.D.A. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.

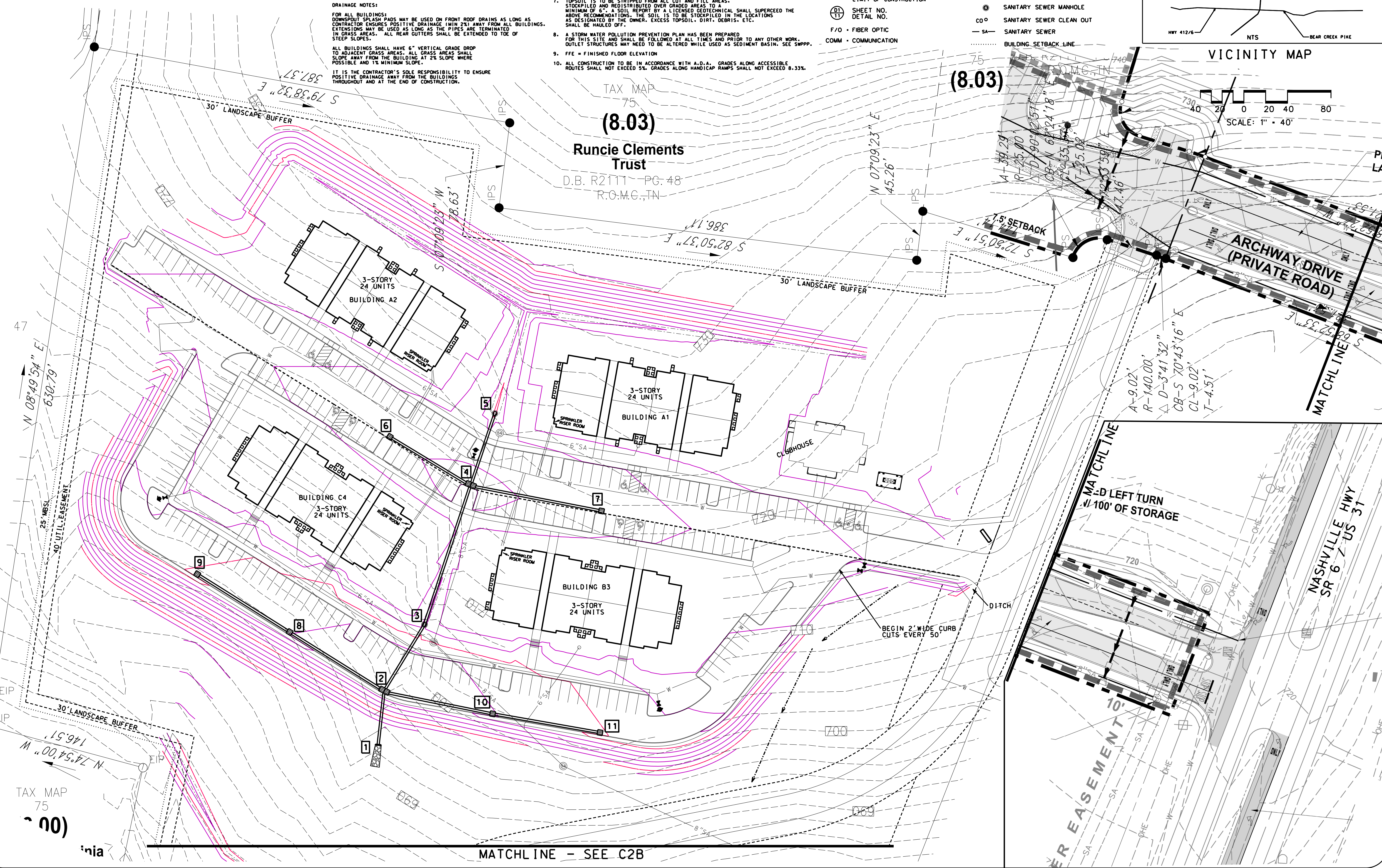
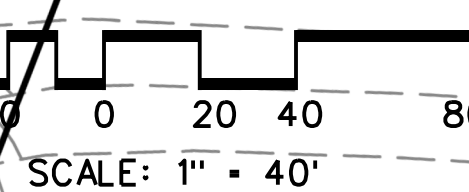
LEGEND

- 4 STORM STRUCTURE NUMBER
- STORM SEWER
- CATCH BASIN
- CONCRETE HEADWALL
- 986- PROPOSED FINISHED GRADE CONTOUR
- 926- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SURFACE DRAINAGE SWALE DIRECTION (MIN 12 ASPHALT, 22 GRASS)
- RIPRAP APRON
- LIMIT OF CONSTRUCTION
- 01-11 SHEET NO. DETAIL NO.
- F/O - FIBER OPTIC
- COMM - COMMUNICATION

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- FENCE
- SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN OUT
- SA SANITARY SEWER
- BUILDING SETBACK LINE



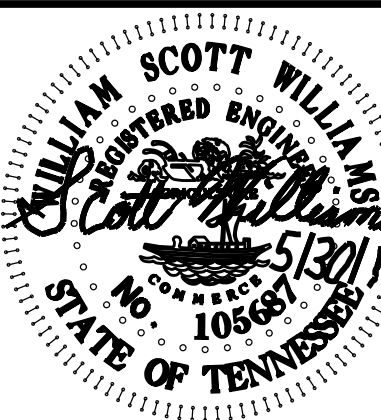
VICINITY MAP



FOR REVIEW - NOT FOR CONSTRUCTION

GRADING AND DRAINAGE PLAN

FOXHILL RIDGE APARTMENTS



W. SCOTT WILLIAMS ASSOCIATES
CONSULTING
CIVIL ENGINEERING
LAND SURVEYING
4530 Annalee West
P.O. Box 37921
P & F 1 (865) 692-5889
E-Mail: wscottwilliams@comcast.net

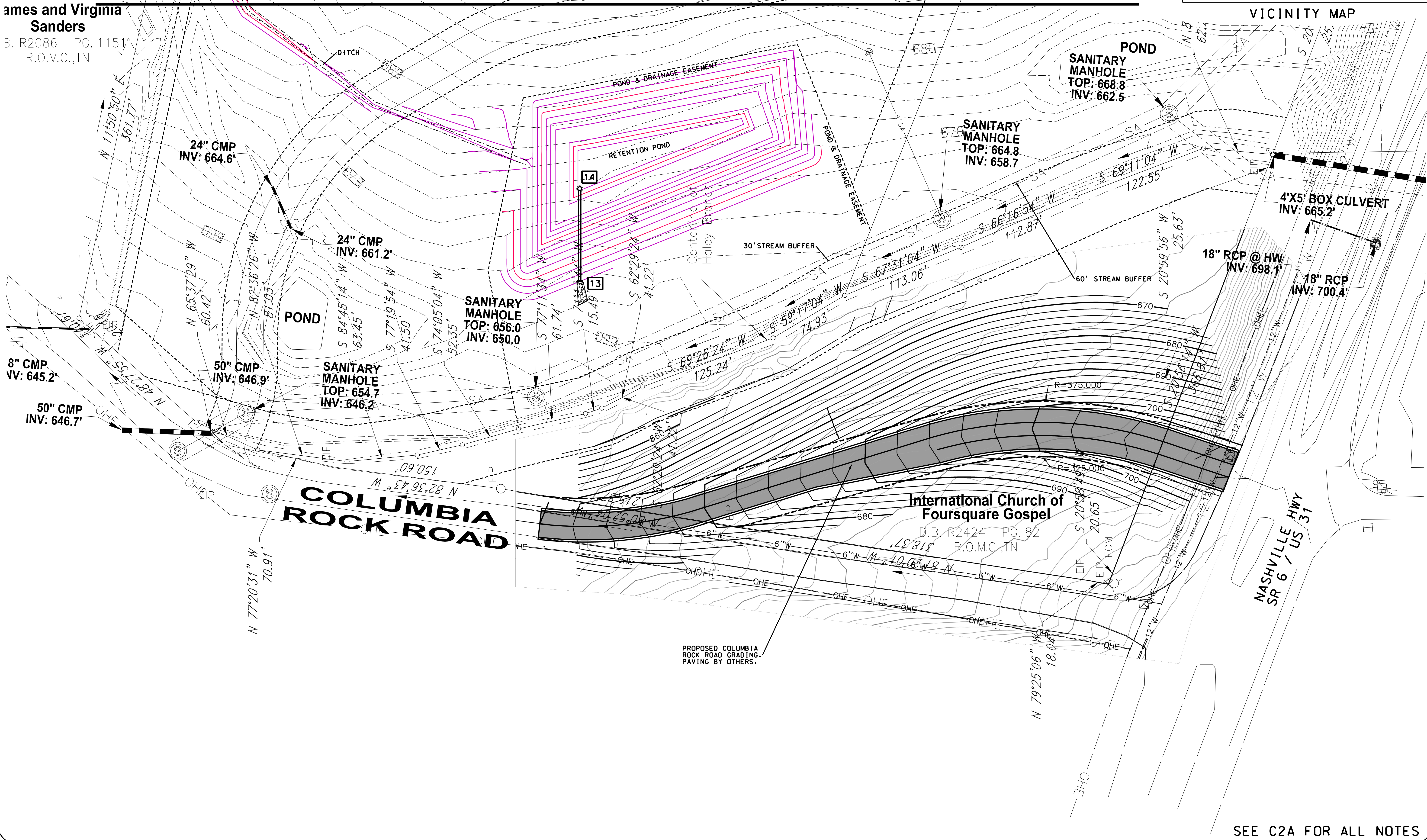
CLIENT:
FOXHILL RIDGE
APARTMENTS, L.P.
PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052

ORIGINAL ISSUE:
NOV 28, 2018

SHEET NO.
C2A

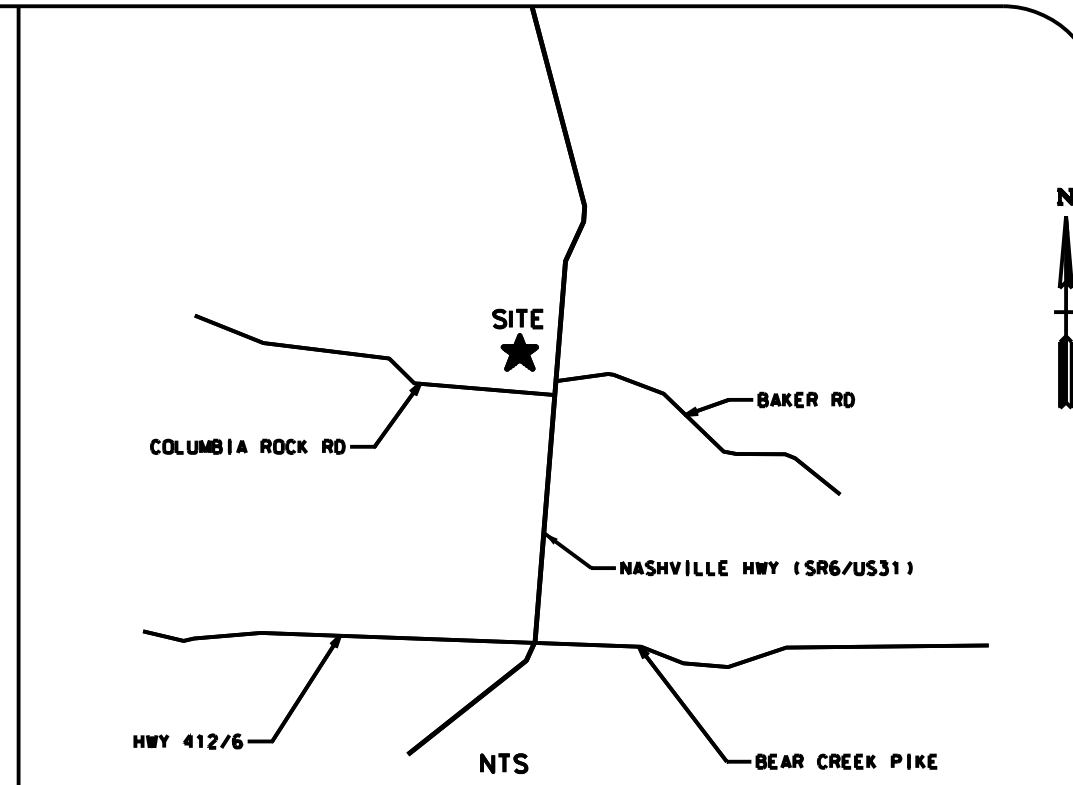
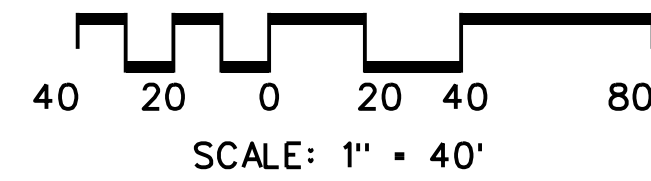
JOB NO. 1873

James and Virginia
Sanders
3. R2086 PG. 1151
R.O.M.C., TN



LEGEND

- X— FENCE
- F/O • FIBER OPTIC
- COMM • COMMUNICATION
- 4 STORM STRUCTURE NUMBER
- STORM SEWER
- CATCH BASIN
- CONCRETE HEADWALL
- 986 PROPOSED FINISHED GRADE CONTOUR
- 924+9 PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SURFACE DRAINAGE SWALE DIRECTION (MIN. ASPHALT, 2% GRASS)
- RIPRAP APRON
- LIMIT OF CONSTRUCTION
- DT 11 SHEET NO. DETAIL NO.
- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- BUILDING SETBACK LINE
- SANITARY SEWER MANHOLE
- CO • SANITARY SEWER CLEAN OUT
- SA — SANITARY SEWER



REVISIONS	
NO.	DATE DESCRIPTION
1	12/27/18 CITY COMM.
2	1/24/19 CITY COMM.
3	5/30/19 CITY COMM.

GRADING & DRAINAGE
PLAN (CONT.)

FOXHILL RIDGE APARTMENTS
1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008-02



W. SCOTT WILLIAMS ASSOCIATES

CONSULTING
ENGINEERING
LAND SURVEYING

4530 Annalee West
P.O. Box 37921
Nashville, TN 37201
E-Mail: wscottwilliams@comcast.net

CLIENT:

FOXHILL RIDGE
APARTMENTS, L.P.
PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052

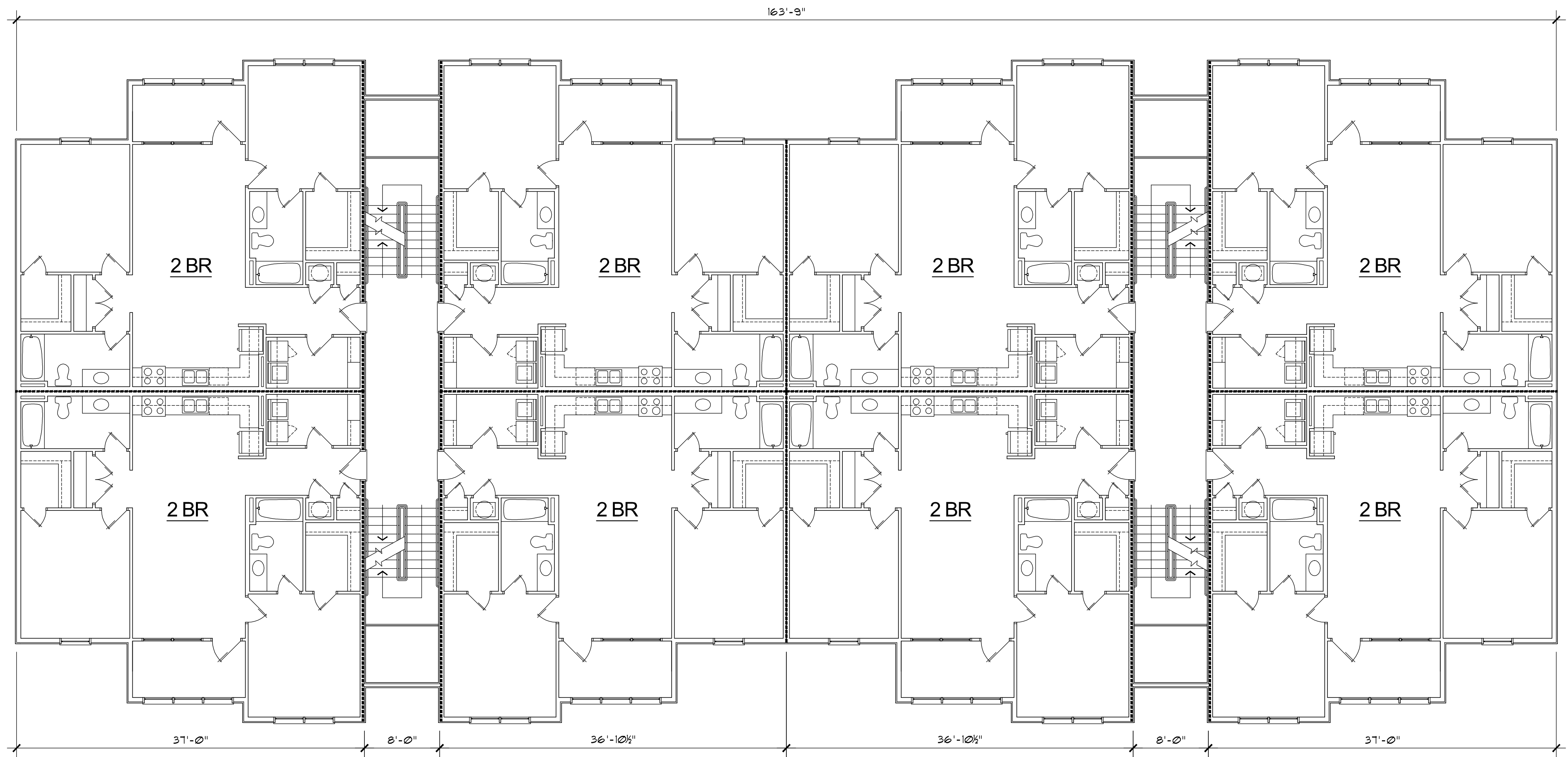
ORIGINAL ISSUE:
NOV 28, 2018

SHEET NO.
C2B

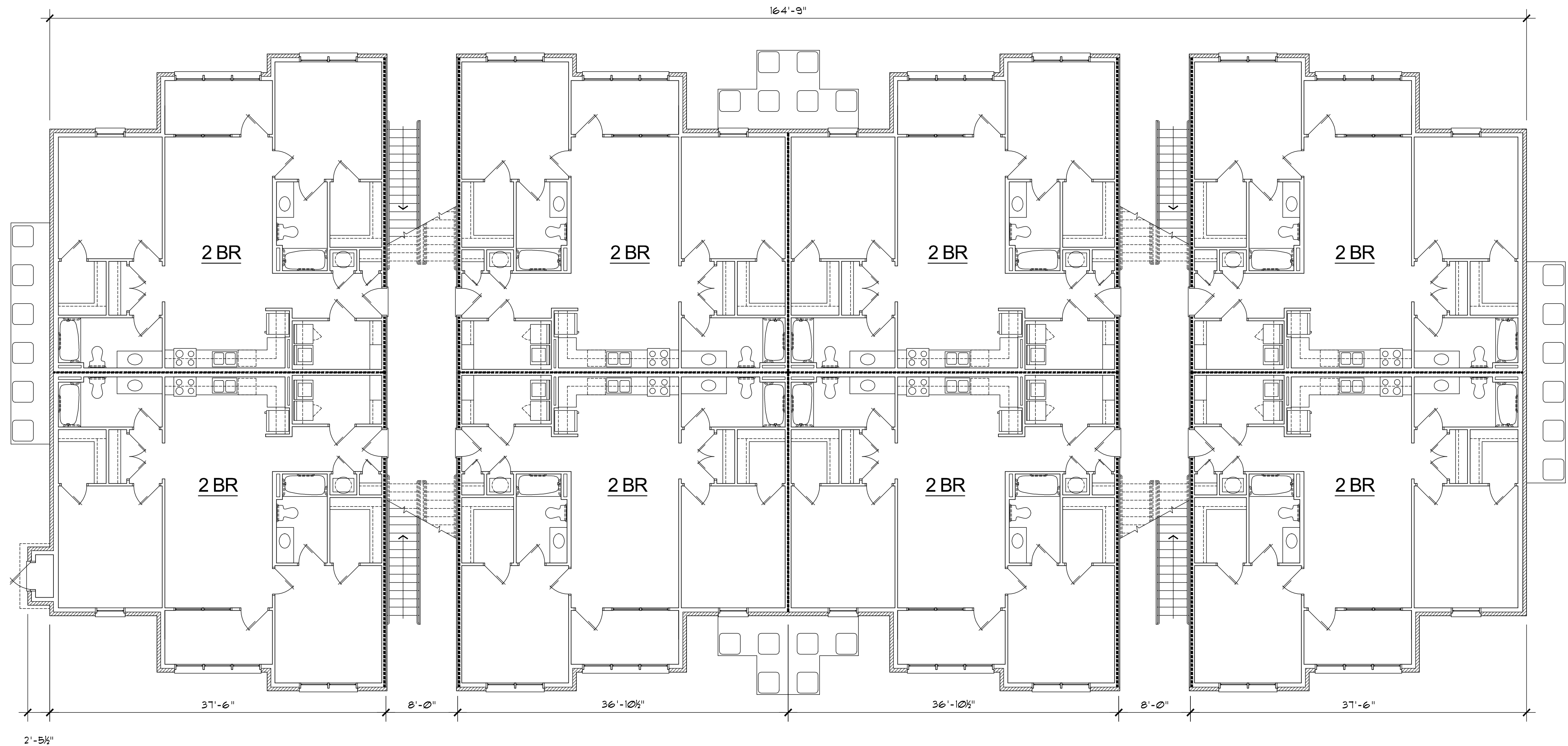
JOB NO. 1873

SEE C2A FOR ALL NOTES

JOB NO. 1873



BUILDING C SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRE RATING LEGEND

1 HR FIRE RATED PARTITION-
TENANT SEPARATION (ALL FLRS)
OR EXIT PROTECTION # BRZLWYS.
EXTEND INTO SOFFIT ABOVE
BRZLWY WALLS IN ATTIC.

DRAFTSTOP IN ATTIC
SPACE IN LINE W/ TENANT
SEPARATION (PARTY)
WALLS FROM TOP PLATE
TO ROOF DECK.

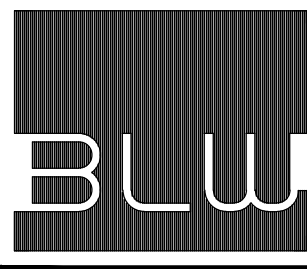
BUILDING C FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

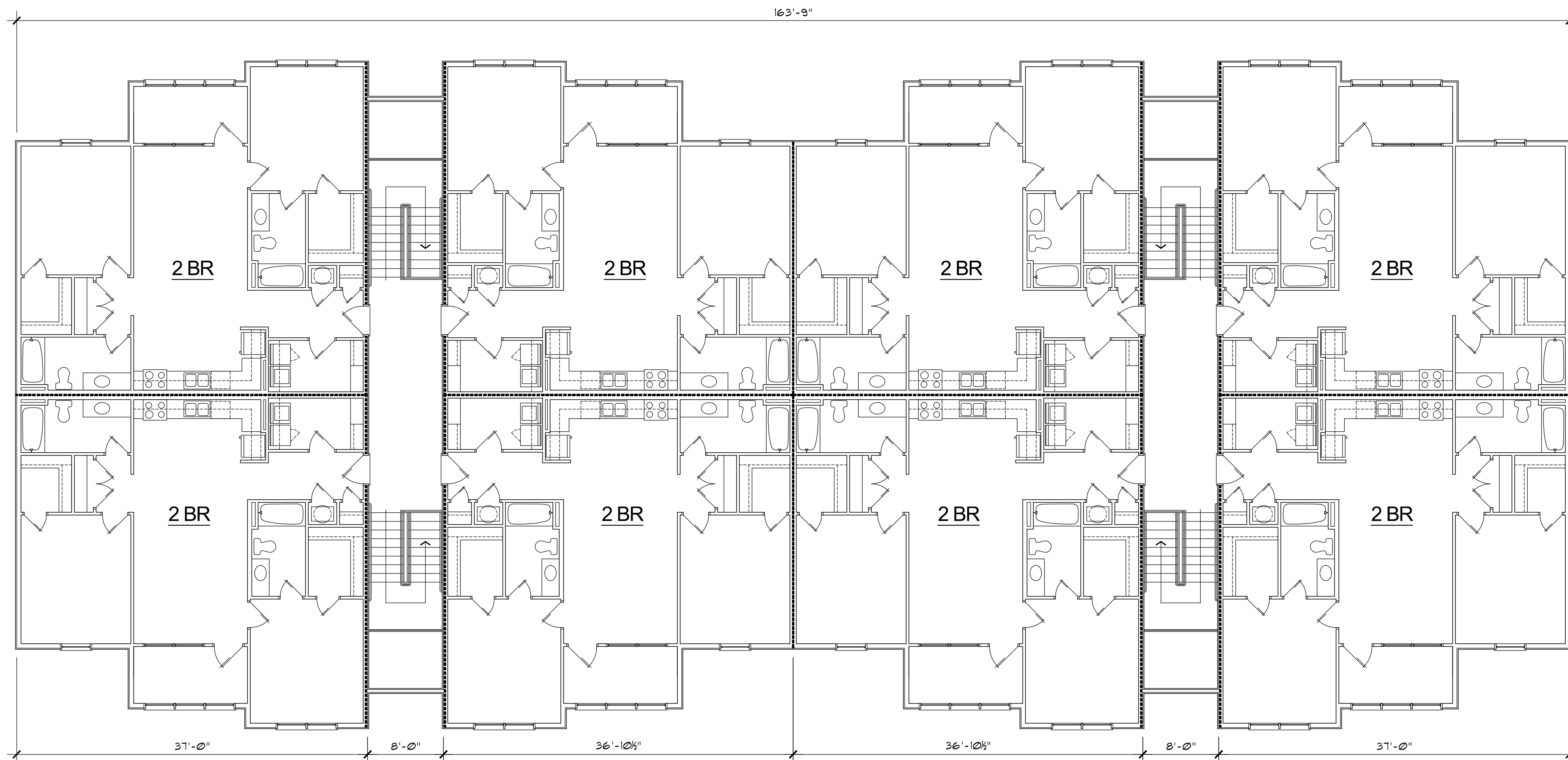
BERNARD L. WEINSTEIN
& ASSOCIATES · ARCHITECTS
NASHVILLE, TENNESSEE

PROJ. NO.
DATE
11/14/2018
REVISED

FOXHILL RIDGE
COLUMBIA, TENNESSEE

BUILDING C
FIRST & SECOND FLOOR PLANS





FIRE RATING LEGEND

1 HR FIRE RATED PARTITION-
TENANT SEPARATION (ALL FLRS)
OR EXIT PROTECTION # BRZLWYS.
EXTEND INTO SOFFIT ABOVE
BRZLWY WALLS IN ATTIC.

DRAFTSTOP IN ATTIC
SPACE IN LINE W/ TENANT
SEPARATION (PARTY)
WALLS FROM TOP PLATE
TO ROOF DECK.

BUILDING C THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

BERNARD L. WEINSTEIN
& ASSOCIATES · ARCHITECTS
NASHVILLE, TENNESSEE

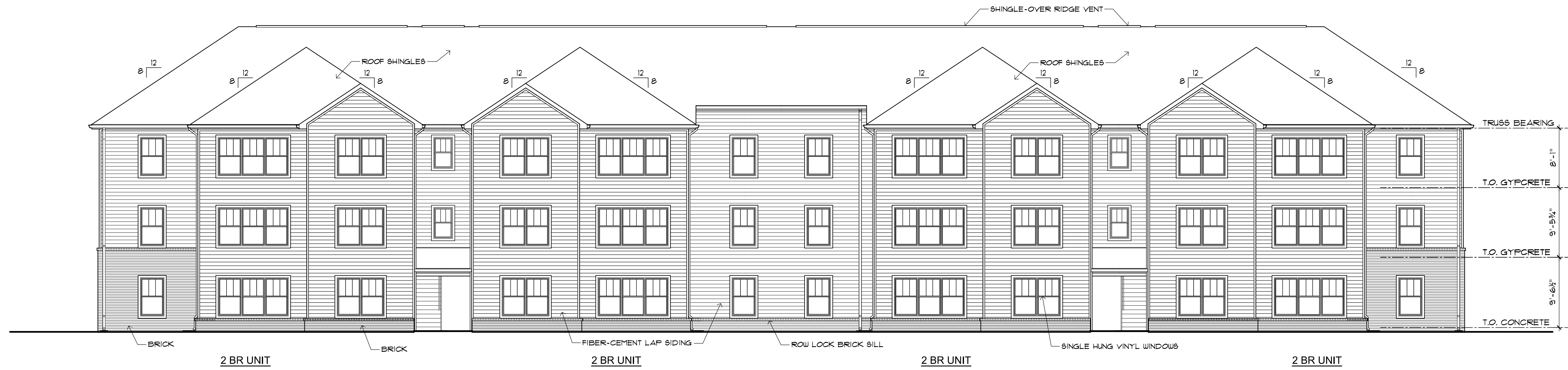
PROJ. NO.

DATE
11/14/2018
REVISED

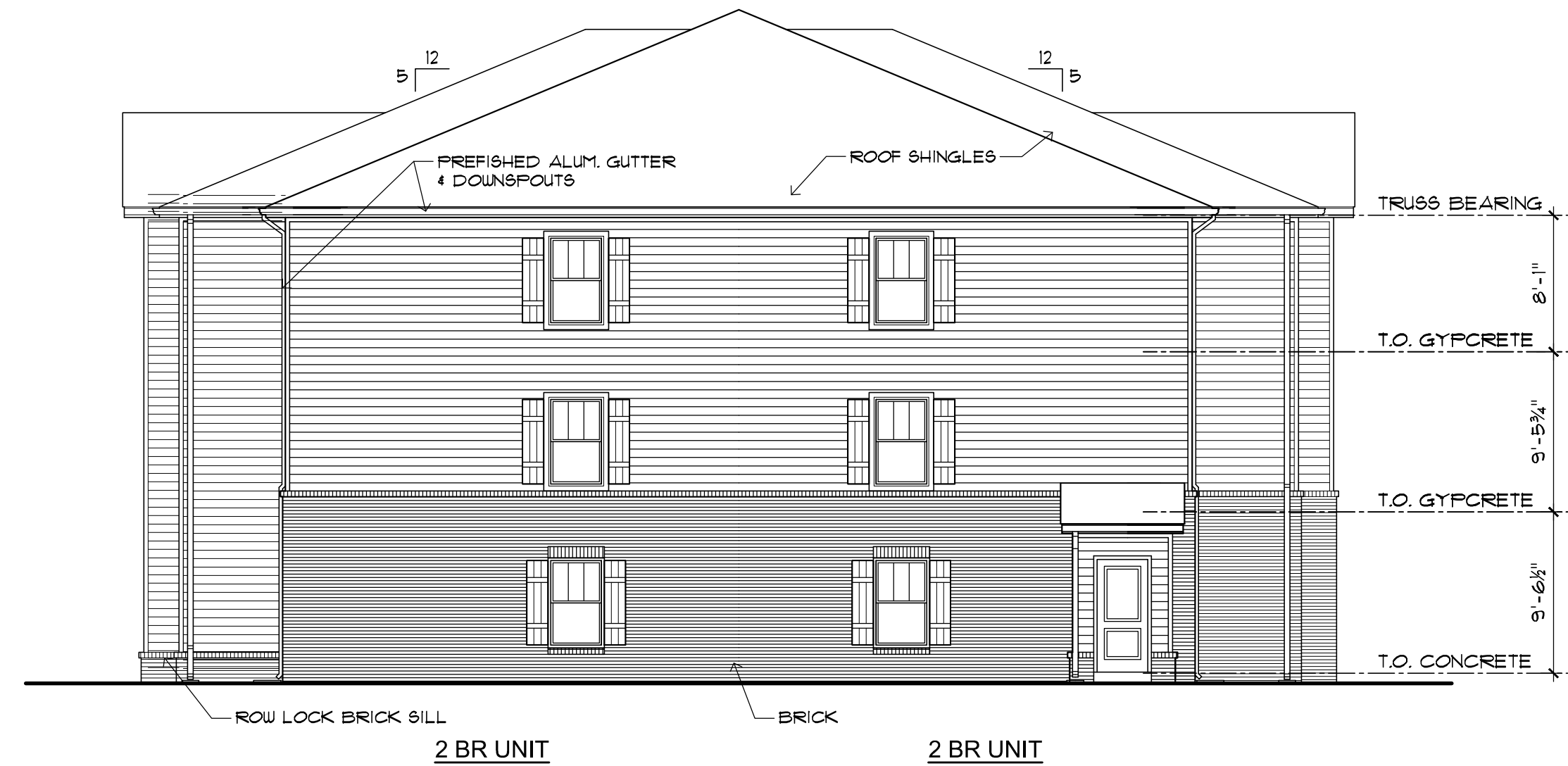
FOXHILL RIDGE
COLUMBIA, TENNESSEE

BUILDING C
THIRD FLOOR PLAN

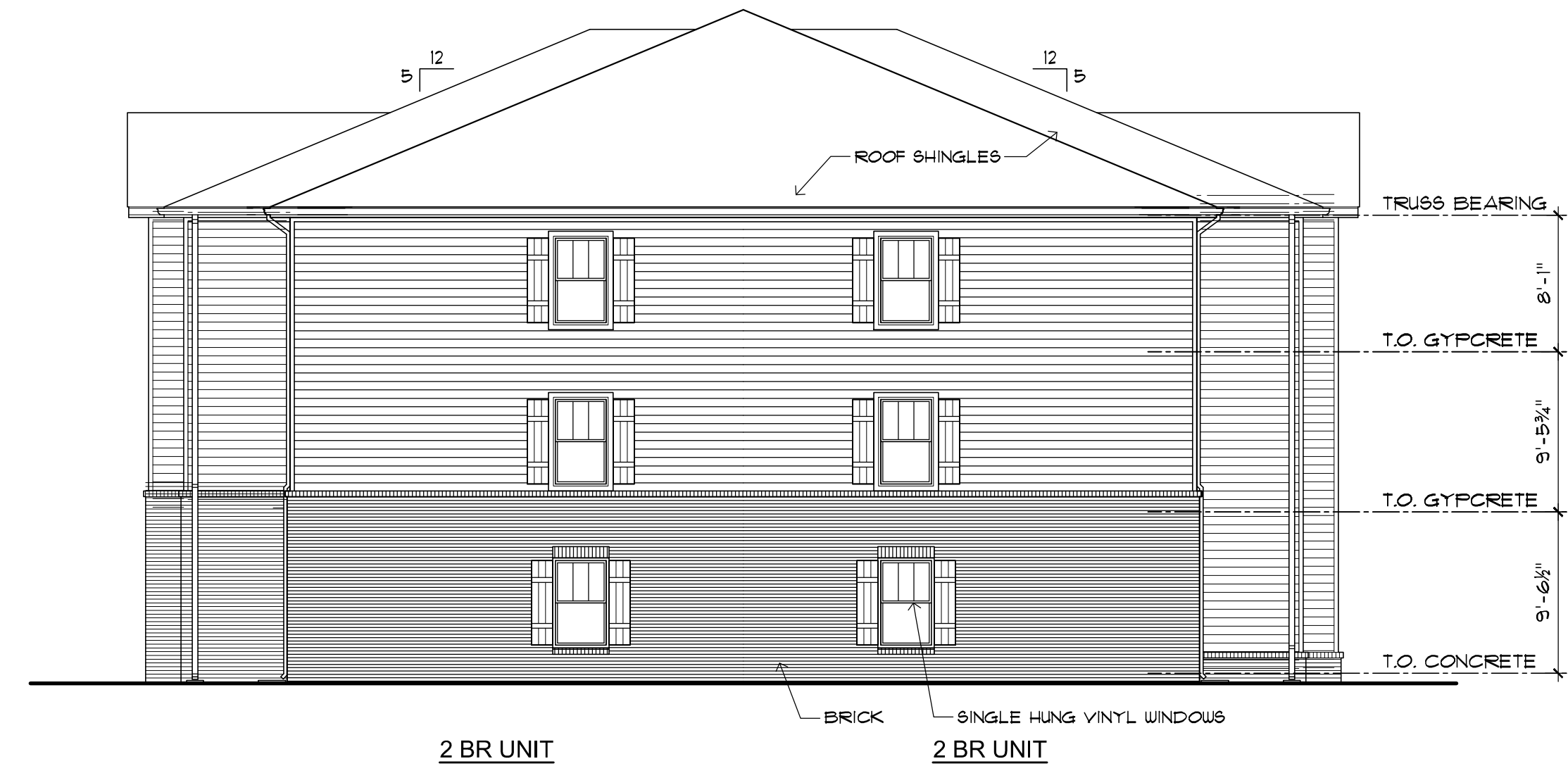
BLW



4 BUILDING C - REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING C - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING C - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING C - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

Case Number:

19-0042

Request:

Request from Bill Carroll to rezone property off South Garden Street from Industrial General to Mixed Residential Commercial district being Tax Map 99H Group J Parcels 10,9,8, and 7.00.

Case Number:

19-0046

Request:

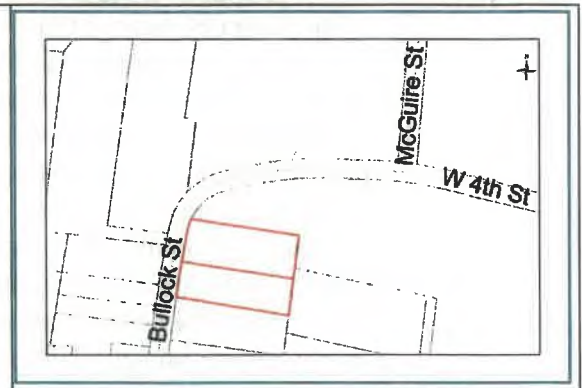
James Svarda to rezone property off Bullock Street from R-6 to RM-1 being Tax Map 89M Group A Parcels 20.01 and 20.00.

STAFF REPORT CONTACT INFORMATIONPaul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560DOCKET/CASE/APPLICATION NUMBER
2019-0046APPLICANT/PROPERTY OWNER
James Svarda

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
600 Bullock Street**August 8th, 2019****BRIEF SUMMARY OF REQUEST**

This is a rezoning request for 1.64 acres in order to construct a townhome development. The concept plan shows a total of 20 units with an interior parking area for a density of 12 units per acre.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
R-6	vacant	Residential	Townhome	1.69 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

Current zoning is Urban Neighborhood which does support RM-1 zoning.

PROPERTY HISTORY

NA

COMPATIBILITY with the ZONING ORDINANCE

Staff finds this request to be compliant with the City's plans and policies.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS**CITY MAPS**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE): **Zoning****Ordinance****3.18.7 B**

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONING'S

...

B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

1. The rezoning is in agreement with the general plan for the area;
2. It has been determined that the legal purposes for which zoning exists are not contravened;
3. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare;
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public; and
5. It has been determined that conditions affecting the area have changed to a sufficient extent to warrant an amendment to the area's general plan or other applicable local plans, and consequently, the zoning map.
6. The availability of adequate school, road, parks, wastewater treatment, water supply, and stormwater drainage facilities.

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

The proposed Comprehensive Plan designates the subject property as Urban Neighborhood. The RM-1 request would be in agreement with Urban Neighborhood.

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The surrounding properties are a mixture of residential sizes and would be similar to other developments in the area. The project also has a limited number of units that would have an insignificant impact.

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

The proposal is similar in development and supported by the comprehensive plan.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

In the community, housing demands within the city limits have increased to a sufficient extent to warrant an amendment to the City's Zoning Map for redevelopment.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

No significant impacts have been reported by any facilities.



TECHNICAL COMMITTEE MEETING

Tuesday, May 28, 2019

ITEM NO.

19-0046

DESCRIPTION: Request from James Svarda to rezone property at 600-602 Bullock Street.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING AND DIVISION COMMENTS:

Planning

1. Just for note only 6 units in a row can have the same front wall. A modulation change will be needed at sketch plat.

Engineering

2. Note: Max grade on required parking stalls is 8%

Fire

3. Townhomes to be constructed according to the 2012 IRC.

Wastewater

4. Wastewater approves this request.

Atmos Energy

5. Gas available.

Columbia Power

6. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Columbia Water

7. Water is available for domestic and fire protection.

Police

8. No comments provided.

Public Works

9. No comments.

Maury County E911

10. No comments provided.

Maury County Schools

11. No comments provided.

ATTACHMENTS: Concept Plan.



Connect Columbia Land Use Designations

 Safety Projects-Intersections	Future_LU	 Suburban Corridor
 Special Areas	 Center	 Suburban Neighborhood
 ColumbiaTN_Future_Park_Facility_Areas	 Employment District	 Urban Corridor
 ColumbiaTN_Proposed_Greenway_Routes	 Interstate	 Urban Neighborhood
Columbia_FLU_exported	 Rural Countryside	



Case Number:

19-0022

Request:

Stormwater violation update.