

1. Agenda

Documents:

[CMPC_20190508AGENDA \(PDF\).PDF](#)

2. Public Hearing

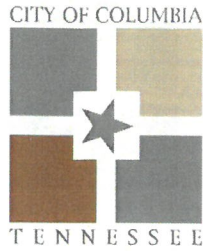
Documents:

[CMPC_20190508PHAGENDA \(PDF\).PDF](#)

3. Meeting Materials

Documents:

[CMPC_20190508AGENDAPACKET \(PDF\).PDF](#)



DEVELOPMENT SERVICES

To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: May 8, 2019 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, May 8, 2019 at 4:01 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

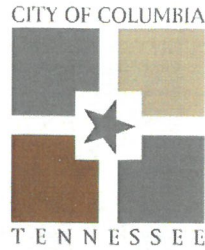
Call to Order.....Chairman

Roll Call.....Secretary

Approval of Minutes.....Commission Members

Welcome of Visitors.....Chairman

- 1. Review of Bonds and/or Letters of Credit.**
- 2. Acknowledgement of Official Communications of the Columbia City Council on annexation and zoning.**
- 3. Request from Allen O'Leary for preliminary plat approval of Morgan Meadows Conservation Subdivision off Forrest Drive being Tax Map 112 Parcel 6.**
- 4. Request from Allen O'Leary for final plat approval of Honey Farm Subdivision Phase 2 Section 8 with surety in the amount of \$145,000.**
- 5. Request from WES Engineers and Surveyors for preliminary plat approval of Beckett Place Subdivision on South Beckett Street being Tax Map 100D Group G Parcel 7.01**
- 6. Request from Scott Williams for multi-family site plan approval Stonebridge Apartments Phase 2 off Highlander Drive being Tax Map 99 Parcel 60.10.**
- 7. Request from Martin Engineering and Surveying for preliminary plat approval of Columbia Meadows Subdivision Phase 1 off Sidco Drive being Tax Map 114 Parcel 19.**



DEVELOPMENT SERVICES

8. Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.
9. Request from KCS Companies for final plat approval of Autumn Brook Subdivision at 420 Theta Pike with surety in the amount of \$103,000 being Tax Map 75 Parcel 45.
10. Request James Webb for Comprehensive Plan Amendment of 17.48 acres at 1316 Hampshire Pike being Tax Map 89 Parcels 15 and 39 from Suburban Neighborhood to Suburban Corridor. Annexation of 15.57 acres with a plan of services zoned RM-1 Planned Unit Development is also being requested with a master plan.
11. Request from Development Services Department for a Stormwater hearing concerning property at 919 Nashville Highway.
12. Other Business

*Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting.*



To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: May 8, 2019 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, May 8, 2019 at 4:00 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

Call to Order.....Chairman

Roll Call.....Secretary

- 1. Public hearing for a Comprehensive Plan Amendment to designate 1316 Hampshire Pike being Tax Map 89 Group A Parcel 15.00 and Map 89 Parcel 39.00 from Suburban Neighborhood to Suburban Corridor.**

Anyone requesting accommodations due to disabilities should contact Connie Etzkin at 931-560-1570 prior to the meeting.



Development Services Department

Municipal Planning Commission

May 8, 2019

TABLE OF CONTENTS

AGENDA.....1

MINUTES.....2

LETTERS OF CREDIT.....3

CASE 19-0019 Request from Allen O’Leary for preliminary plat approval of Morgan Meadows Conservation Subdivision off Forrest Drive being Tax Map 112 Parcel 6.....4

Staff Report
Attachments

CASE 19-0021 Request from Allen O’Leary for final plat approval of Honey Farm Subdivision Phase 2 Section 8 with surety in the amount of \$145,000.....5

Staff Report
Attachments

CASE 19-0020 Request from WES Engineers and Surveyors for preliminary plat approval of Beckett Place Subdivision on South Beckett Street being Tax Map 100D Group G Parcel 7.01.....6

Staff Report
Attachments

CASE 19-0017 Request from Scott Williams for multi-family site plan approval of Stonebridge Apartments Phase 2 off Highlander Drive being Tax Map 99 Parcel 60.10.....7

Staff Report
Attachments

CASE 19-0018 Request from Martin Engineering and Surveying for preliminary plat approval of Columbia Meadows Subdivision Phase 1 off Sidco Drive being Tax Map 114 Parcel 19.....8

Staff Report
Attachments

CASE 19-0015 Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.....9

Staff Report
Attachments

CASE 19-0007 Request from KCS Companies for final plat approval of Autumn Brook Subdivision at 420 Theta Pike with surety in the amount of \$103,000 being Tax Map 75 Parcel 45.....10

Staff Report
Attachments

CASE 19-0016 Request from James Webb for Comprehensive Plan Amendment of 17.48 acres at 1316 Hampshire Pike being Tax Map 89 Parcel 15 and 39 from Suburban Neighborhood to Suburban Corridor. Annexation of 15.57 acres with a plan of services zoned RM-1 Planned Unit Development is also being requested with a master plan.....11

Staff Report
Attachments

CASE 19-0022 Request from Development Services Department for a Stormwater hearing concerning property at 919 Nashville Highway.....12

Staff Report
Attachments



To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: May 8, 2019 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, May 8, 2019 at 4:00 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

Call to Order.....Chairman

Roll Call.....Secretary

- 1. Public hearing for a Comprehensive Plan Amendment to designate 1316 Hampshire Pike being Tax Map 89 Group A Parcel 15.00 and Map 89 Parcel 39.00 from Suburban Neighborhood to Suburban Corridor.**

Anyone requesting accommodations due to disabilities should contact Connie Etzkin at 931-560-1570 prior to the meeting.



DEVELOPMENT SERVICES

To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: May 8, 2019 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, May 8, 2019 at 4:01 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

Call to Order.....Chairman

Roll Call.....Secretary

Approval of Minutes.....Commission Members

Welcome of Visitors.....Chairman

- 1. Review of Bonds and/or Letters of Credit.**
- 2. Acknowledgement of Official Communications of the Columbia City Council on annexation and zoning.**
- 3. Request from Allen O'Leary for preliminary plat approval of Morgan Meadows Conservation Subdivision off Forrest Drive being Tax Map 112 Parcel 6.**
- 4. Request from Allen O'Leary for final plat approval of Honey Farm Subdivision Phase 2 Section 8 with surety in the amount of \$145,000.**
- 5. Request from WES Engineers and Surveyors for preliminary plat approval of Beckett Place Subdivision on South Beckett Street being Tax Map 100D Group G Parcel 7.01**
- 6. Request from Scott Williams for multi-family site plan approval Stonebridge Apartments Phase 2 off Highlander Drive being Tax Map 99 Parcel 60.10.**
- 7. Request from Martin Engineering and Surveying for preliminary plat approval of Columbia Meadows Subdivision Phase 1 off Sidco Drive being Tax Map 114 Parcel 19.**



DEVELOPMENT SERVICES

- 8. Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.**
- 9. Request from KCS Companies for final plat approval of Autumn Brook Subdivision at 420 Theta Pike with surety in the amount of \$103,000 being Tax Map 75 Parcel 45.**
- 10. Request James Webb for Comprehensive Plan Amendment of 17.48 acres at 1316 Hampshire Pike being Tax Map 89 Parcels 15 and 39 from Suburban Neighborhood to Suburban Corridor. Annexation of 15.57 acres with a plan of services zoned RM-1 Planned Unit Development is also being requested with a master plan.**
- 11. Request from Development Services Department for a Stormwater hearing concerning property at 919 Nashville Highway.**
- 12. Other Business**

***Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting.***

City of Columbia
MUNICIPAL PLANNING COMMISSION
APRIL 10, 2019

CALL TO ORDER:

Chairman Wesley Bryant called the April Planning Commission meeting for the City of Columbia to order at 4:00 p.m. The meeting was held in Council Chambers at City Hall.

ROLL CALL:

All present and included the following:

Present were: Mr. Ray Pace
 Mr. Charlie Goatz
 Mr. Randy McBroom
 Mayor Chaz Molder
 Mr. Wesley Bryant
 Dr. Rose McClain
 Councilman King

Other attendees: Mr. Paul Keltner, Development Services Director
 Mr. Tim Tisher, Esq.
 Mr. Glenn Harper, City Engineer
 Mr. Armond Harris, Asst. City Engineer
 Mr. Douglas Toney, Staff Engineer
 Mrs. Melissa Sanders, Secretary

APPROVAL OF MINUTES:

The March minutes were presented for approval. Mayor Molder made the motion to approve the minutes with Dr. McClain seconding the motion. Motion to approve the minutes passed unanimously with a vote of seven to zero.

REVIEW OF BONDS:

Mr. Harper stated all letters of credit are in order or in the process of being updated.

OFFICIAL COMMUNICATIONS:

Mr. Keltner stated there were three items going through council with the first one being the Tom Hitch and Sidco Drive rezoning and master plan approval, then the Baker property on Morrow Lane and Pulaski Highway rezoning and the Foxridge apartments master plan on Baker Road and Nashville Highway also went through on first reading.

City of Columbia
MUNICIPAL PLANNING COMMISSION
APRIL 10, 2019

AGENDA ITEM #3

Docket #DP-2019-07

Request from Meritage Homes for PUD Master Plan revision on the façade of the townhome dwellings in Taylor Landing Subdivision.

Staff Recommendation:

Mr. Keltner presented the details of the staff report and stated that the applicant is requesting modifications to the townhome elevations and also the single family as well. He gave a brief summary of the changes and pointed out the previously approved images in comparison with the requested changes.

Discussion:

Mr. Baylen Dahl, Meritage Homes, and Mr. Jay Easter, Ragan Smith, were both present to answer questions. Questions included the reason for the requested change, why the item was deferred, what was originally approved, the lack of an original rear elevation, and which facades will face River Road and Theta Pike. Commissioners expressed concerns over not being able to determine exactly on which changes they would be voting. Discussion continued about the materials details, with Mr. Easter stating the original documents listed vinyl, brick and cementitious materials. The request would be for a different configuration of the same materials listed.

The Commission requested staff to pull the original documents, thus Chairman Bryant moved this agenda item to the end of the docket.

The Commission reviewed the materials listed on the original documents and questioned the front façade materials. Mr. Keltner stated the request would include a change in the articulation design of the townhomes. Single family homes are requested to have a reduction in stone material and the number of build options that were originally submitted. Discussion continued concerning the different options the Commission could chose on which to vote and the phasing of the project. Mr. Dahl spoke to the cost and demand market study and the model changes that now included two car garages. Councilman King made the motion to approve the changes to the single family elevations and deny the townhome elevations. Chairman Bryant suggested to split the requests. Therefore, Councilman King's first motion is for single family approval only. Mr. Goatz seconded that motion. Motion to approve the single family was approved with a vote of six to one with Mr. Pace voting nay. The second motion from Councilman King is to deny the townhome elevations. With no second, the motion died. Mr. Pace made the motion to approve the townhome elevation Exhibit A only. Mr. McBroom seconded the motion. Motion to approve the townhome Elevation A passed with a vote of six to one, with Chairman Bryant voting nay.

City of Columbia
MUNICIPAL PLANNING COMMISSION
APRIL 10, 2019

AGENDA ITEM #4

Docket #CZ-2019-06

Request from WES Engineers and Surveyors to rezone 1418 South Main Street being Tax Map 100L Group E Parcel 7 from Commercial to Residential.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated the request is supported by the Comprehensive Plan and reviewed with Article 3.18.7(B).

Discussion:

Mr. Gerald Vick, WES Engineers and Surveyors, was present to answer questions. Mr. Goatz asked about the Maury County Schools Technical Committee comments. Councilman King made the motion to approve subject to the Technical Committee comments and Article 3.18.7(B). Dr. McClain seconded the motion. Motion to approve passed with a vote of seven to zero.

AGENDA ITEM #5

Docket #AN-2019-03

Request from Jamie Reed to annex 1.39 acres off Hicks Lane being a portion of Tax Map 88 Parcel 3.03 with .7 acres being zoned RS-40.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and included Article 3.19.6 for review by the Commission.

Discussion:

Mr. Jamie Reed, applicant, was present to answer questions. Mr. Goatz disclosed family residing nearby the subject property. Questions by the Commission included the current zoning of the property and the shared driveway access on Williamsport Pike. Mr. Pace made the motion to approve with approval of Article 3.19.6 with Councilman King seconding the motion. Motion to approve passed with a vote of seven to zero.

AGENDA ITEM #6

Docket #CZ-2019-05

Request from Jamie Reed to rezone 1.35 acre portion of Tax Map 88 Parcel 3.03 off Hicks Lane from RS-40 to RS-20.

Discussion:

Chairman Bryant announced this item had been removed from the agenda.

The Commission returned to Docket Item #3.

City of Columbia
MUNICIPAL PLANNING COMMISSION
APRIL 10, 2019

AGENDA ITEM #7

OTHER BUSINESS:

In other business, Mr. McBroom stated the success of Columbia's First Fridays event.

ADJOURNMENT:

Mayor Molder made the motion to adjourn with Dr. McClain seconding the motion. Meeting adjourned at 4:49 p.m. with a vote of seven to zero.

Planning Commission Chairman

Date

CURRENT LETTERS OF CREDIT

MAY 1, 2019

NO.	EXP. DATE	DEVELOPER	DEVELOPMENT	AMOUNT	FINAL PLAT	ORIGINAL SURETY AMOUNT
1	09.09.2016	Sterling Martin	Colter Place Subdivison, Section 1 (rds/drainage)	\$ 44,502.69	9/15/2015	\$44,502.69
2	03.01.2017	CMH Parks, Inc.	Windstone Subdivision, Section 1	\$ 9,300.00	3/14/2006	\$93,000.00
3	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 3	\$ 55,000.00	1/25/2018	\$55,000.00
4	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 4	\$ 61,000.00	1/25/2018	\$61,000.00
5	02.02.2018	General Homes of Columbia, LLC	BradFord Place Subdivision - Section 7 (rds/drainage)	\$ 6,600.00	2/8/2012	\$65,900.00
6	05.05.2018	General Homes of Columbia, LLC	Armstrong Meadows, Section 2 (roads/drainage)	\$ 28,000.00	6/2/2009	\$277,000.00
7	05.15.2018	General Homes of Columbia, LLC	Armstrong Meadows, Section 1 (rds/drainage)	\$ 21,000.00	6/13/2007	\$205,200.00
8	05.30.2018	FP,TCI, CCS, LLC	Homestead Carters's Creek Station Sec.1 / Phase1C	\$ 211,000.00	6/22/2017	\$211,000.00
9	06.29.2018	D.R. Horton, Inc.	Highland Bear Creek , Phase 2, Section 1	\$ 82,000.00	9/12/2017	\$82,000.00
10	08.18.2018	Fortuna Capital, LLC	Grove Park Subdivision - Phase 4	\$ 211,000.00	10/9/2017	\$211,000.00
11	08.25.2018	Shaw Enterprises - (cashier's check)	The Landings Subdivision, Phase 2, Section 2	\$ 108,000.00	10/10/2017	\$108,000.00
12	09.01.2018	Arden Village, LLC	Arden Village - Section 2, Phase 1	\$ 13,000.00	1/8/2016	\$132,600.00
13	10.26.2018	D.R. Horton, Inc.	The Highlands of Bear Creek - Phase 2, Section 2	\$ 259,000.00	11/17/2017	\$259,000.00
14	11.09.2018	McBroom Family Limited Partnership	Wellington Plac Subdivision, Section 2	\$ 25,000.00	7/6/2005	\$100,000.00
15	12.13.2018	Honey Farms Management, LLC	Honey Farm Townhomes- Phase 1A (completion of roads)	\$ 20,000.00	1/11/2017	\$20,000.00
16	12.19.2018	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 1	\$ 141,000.00	2/1/2018	\$141,000.00
17	12.19.2018	Estate of Cyril Evers	Fieldstone Farms - Section 4 (roads/drainage)	\$ 21,000.00	8/29/2008	\$210,000.00
18	01.12.2019	Honey Farms Management, LLC	Honey Farms Townhomes Phase 2, Section 2 (roads)	\$ 40,000.00		\$40,000.00
19	02.20.2019	Fortuna Capital, LLC	Grove Park Subdivision, Phase III (roads/drainage)	\$ 10,000.00	2/2/2017	\$99,000.00
20	04.16.2019	FP,TCI, CCS, LLC	Homestead @Carter's Creek Station, Section 2, Phase 1B	\$ 65,000.00		\$65,000.00
21	04.25.2019	Arlington Heights General Partnership	Arlington Heights,Phase 2, Section 2 (roads/drainage)	\$ 105,000.00		\$105,000.00
22	05.05.2019	General Homes of Columbia, LLC	Armstrong Meadow, Phase 1, Section 3 (roadsd/drainage)	\$ 203,500.00	6/27/2017	\$203,500.00
23	05.09.2019	Arlington Heights General Partnership	Arlington Heights, Section 2, Phase 1	\$ 106,000.00	6/26/2017	\$106,000.00
24	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivison, Phase 2, Section 5	\$ 66,000.00	6/27/2018	\$66,000.00
25	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivisonm Phase 2, Sectin 6	\$ 49,000.00	6/27/2018	\$49,000.00
26	05.21.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 4, Phase 1A	\$ 134,000.00	6/29/2018	\$134,000.00
27	05.21.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 4, Phase 1B	\$ 120,000.00	6/29/2018	\$120,000.00
28	05.30.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 1, Phase 1C	\$ 211,000.00	6/22/2017	\$211,000.00
29	06.05.2019	LPT, LLC	Timberland Estates, Section 6 (roads and drainage)	\$ 7,600.00	8/5/2018	\$76000 Perf Bond
30	08.14.2019	Fortuna Capital, LLC	Grove Park Subdivison, Phase 6 (roads and drainage)	\$ 120,000.00	10/2/2018	\$120,000.00
31	09.06.2019	Haury & Smith Contractors, Inc.	The Highlands of Bear Creek - Phase 1 (roads/drainage)	\$ 150,000.00	4/5/2012	\$250,184.00
32	09.07.2019	J.D.Eartherly and Charles Raines	Honey Farms Subdivision, Phase 2, Section 1	\$ 7,500.00	5/19/2017	\$75,000.00
33	09.07.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 1, Section 3	\$ 11,300.00	9/28/2016	\$113,000.00
34	09.23.2019	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.1/Phase 1A	\$ 45,000.00	10/4/2016	\$449,000.00
35	09.28.2019	Campbell and Lovell Rentals	Savannah Cove Subdivision - roads/drainage	\$ 69,575.00	12/17/2007	\$160,260.00
36	10.06.2019	Shaw Enterprises, LLC	The Landings Subdivision, Phase 2, Section 1	\$ 95,000.00	10/28/2015	\$95,000.00
37	10.10.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 2, Section 7	\$ 70,000.00	10/17/2018	\$70,000.00
38	10.11.2019	Parkside - Homestead, LLC	Townhomes of Homestead - (roads and drainage)	\$ 23,000.00	1/11/2017	\$76,000.00
39	01.05.2020	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec. 1, Phase 1B	\$ 7,000.00	12/2/2016	\$74,000.00
40	01.24.2020	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 2A	\$ 87,000.00		\$87,000.00
41	02.27.2020	JD Eatherly & Charles Raines	Honey Farm Subdivision, Phase 2, Section 2	\$ 9,900.00	9/19/2017	\$99,000.00
42	03.07.2020	LPT, LLC	Greystone Subdivision	\$ 166,500.00	5/18/2017	\$166,500.00
43	04.04.2020	Victor Beck, III (B&B Development)	Cherry Springs Subdivision - Roads & Drainage	\$ 10,600.00	12/6/2004	\$98,500.00
44	05.20.2020	Arden Village, LLC	Arden Village - Section 2, Phase 2	\$ 165,000.00	6/13/2017	\$165,000.00

Case Number:

19-0019

Request:

Request from Allen O'Leary for preliminary plat approval of Morgan Meadows Conservation Subdivision off Forrest Drive being Tax Map 112 Parcel 6.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0019

APPLICANT/PROPERTY OWNER
Allen O'Leary

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION
Morgan Meadows

NA

BRIEF SUMMARY OF REQUEST

This request is to review and approve a preliminary plat for 110 lots in Morgan Meadows Subdivision adjacent to Pleasant Hills Subdivision. The request is for a conservation development overlay allowing for a reduction in the lot design standards while preserving an equal amount of wetland area. The applicant is proposing a border of conventional R-10 housing lots in replace of the 100 foot buffer requirement from adjacent homes.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
R-10 Medium Residential	Residential	Residential	NA	45.35 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY

This property is undeveloped with existing subdivisions to the North and East.

COMPATIBILITY with the ZONING ORDINANCE

Staff would not find this request to be compliant with city standards and policies without sidewalks on at least one side per the Subdivision Regulations and staff would recommend at least a 20' street setback to accommodate driveway parking.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE):
**CRITERIA FOR
RECOMMENDATIONS**

Section 3.19.6 of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items for the amendment:

3.19.6 CRITERIA FOR PLANNING COMMISSION RECOMMENDATIONS

...

The recommendations of the Planning Commission to the City Council shall show that the Planning Commission has studied and considered the proposed change in relation to the following, where applicable:

- Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;
- Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;
- Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general; and
- Whether the subject parcel is of adequate shape and size to accommodate the proposed change.

Staff's review of Section 3.19.6 in relation to this rezoning request finds the following:

- A. Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;

The proposed Conservation Plan for the subject property is an allowed development pattern in the Zoning Ordinance which the R-10 zoning supports.

- A. The legal purposes for which zoning exists are not contravened;

All future development of the property will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

- B. Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;

The proposed zoning will continue residential established patterns within the area.

- C. Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general;

The proposed uses on the property at the time of development will be required to conform to the zoning ordinance standards in effect at that time to mitigate any potential adverse impacts upon adjoining property owners.

- D. Whether the subject parcel is of adequate shape and size to accommodate the proposed change;

The parcel exceeds the minimum lot area required as stated in Zoning Ordinance 3638.



TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

ITEM NO.

19-0019

DESCRIPTION: Request from Allen O'Leary for Preliminary Plat approval of Morgan Meadows being Tax Map 112 Parcel 6 off Forrest Drive.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Columbia Water

1. Water is available for domestic use and fire protection.

Columbia Power

2. Columbia Power System has existing power facilities near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Atmos Energy

3. 2" PE gas main at Stonewall Road connection.

Maury County E911

4. Spoke to Erik yesterday, Morgan Road needs something added to this.

Engineering

5. Subject to Construction Plan approval
6. Provide Flood Study
7. Two curves with bulbs should meet minimum radius for horizontal curvature
8. Add note identifying TIS improvements
9. Provide Phasing
10. Show Proposed Contours

11. Provide pervious/impervious area assumptions
12. Show sidewalks
13. Forrest Dr should extend full depth of lot 10 and have adequate turnaround

Planning

14. Buffer area on the North property side needs to be 100' wide or transitional housing at 10,000 sqft.

Fire

15. Verify spacing between fire hydrants are spaced no more than 500 feet apart. Dead ends cannot be over 150 feet in length without an approved turnaround. 2012 IFC Section 503.2.5

Maury County Schools

16. School Attendance Zones for this development:
Woodard Elem. School: Capacity 695; Projected Enrollment 2018/19 - 476
Whitthorne Middle School: Capacity - 1420; Projected Enrollment 2018/19 - 1082
Columbia Central High School: Capacity - 1852; Projected Enrollment 2018/19 - 1325

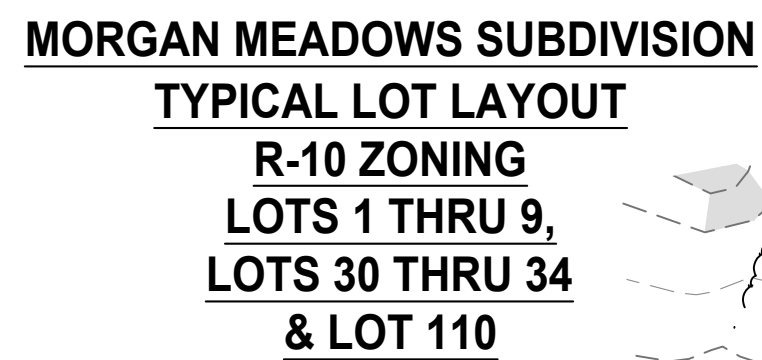
Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:
Woodard Elementary School: Capacity - 695; Projected Enrollment 2019/20 - 502
Whitthorne Middle School: Capacity - 1420; Projected Enrollment 2019/20 - 1092
Columbia Central High School: Capacity - 1852; Projected Enrollment 2019/20 - 1445

Wastewater

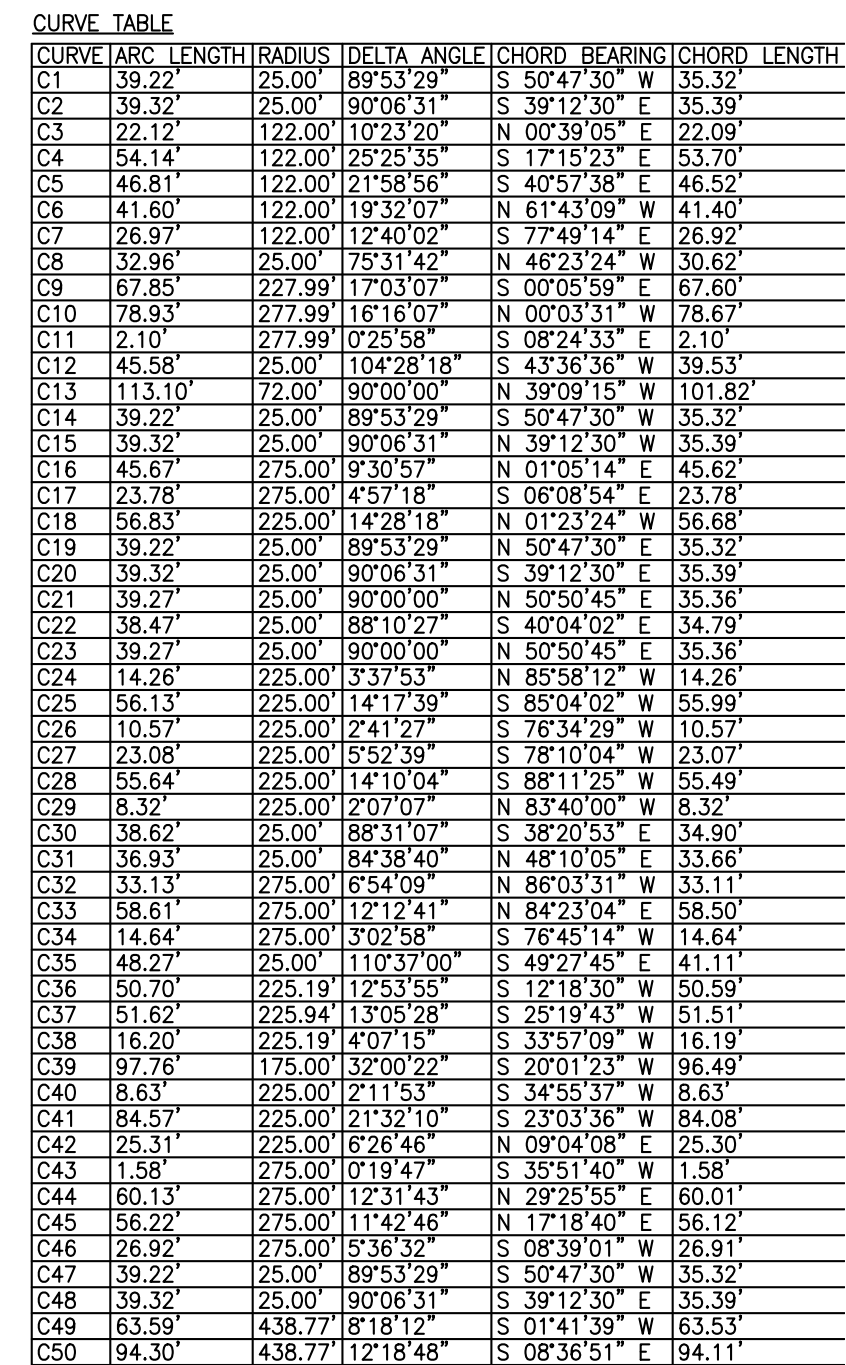
17. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

ATTACHMENTS: Preliminary Plat.

GRID NORTH



Tennessee:11
Know what's **below**
Call before you dig.



LOT AREA TABLE								
LOT#	SQ. FT.	ACRES	LOT#	SQ. FT.	ACRES	LOT#	SQ. FT.	ACRES
1	10,000.00	0.23	39	6,000.00	0.14	77	5,394.34	0.15
2	10,000.00	0.23	40	8,110.02	0.19	78	5,170.09	0.14
3	10,000.00	0.23	41	6,285.86	0.14	79	6,082.97	0.14
4	10,006.99	0.23	42	4,500.00	0.13	80	6,051.02	0.14
5	10,006.95	0.23	43	5,500.00	0.13	81	5,019.08	0.13
6	10,000.00	0.23	44	5,500.00	0.13	82	5,987.13	0.13
7	10,308.46	0.24	45	5,500.00	0.13	83	7,874.46	0.18
8	10,000.00	0.23	46	5,500.00	0.13	84	6,562.31	0.15
9	10,014.37	0.23	47	5,500.00	0.13	85	5,500.00	0.13
10	8,732.14	0.20	48	5,500.00	0.13	86	5,598.51	0.13
11	8,145.68	0.19	49	5,500.00	0.13	87	6,085.87	0.14
12	9,223.88	0.21	50	5,500.00	0.13	88	6,234.34	0.14
13	6,000.00	0.14	51	5,500.00	0.13	89	5,758.98	0.13
14	6,000.00	0.14	52	5,500.00	0.13	90	5,500.08	0.13
15	6,000.00	0.14	53	5,500.00	0.13	91	5,857.39	0.15
16	6,000.00	0.14	54	11,279.49	0.26	92	6,056.79	0.14
17	6,000.00	0.14	55	8,891.89	0.20	93	5,500.00	0.13
18	6,000.00	0.14	56	8,681.68	0.20	94	5,500.00	0.13
19	6,000.00	0.14	57	10,925.25	0.25	95	5,500.00	0.13
20	6,000.00	0.14	58	8,385.97	0.19	96	5,500.00	0.13
21	6,000.00	0.14	59	8,651.57	0.19	97	5,500.00	0.13
22	6,000.00	0.14	60	5,825.46	0.13	98	5,500.00	0.13
23	6,000.00	0.14	61	5,511.78	0.13	99	5,500.00	0.13
24	6,000.00	0.14	62	5,500.00	0.13	100	5,500.00	0.13
25	7,285.45	0.17	63	5,500.00	0.13	101	5,500.00	0.13
26	6,000.00	0.14	64	5,500.00	0.13	102	5,504.50	0.13
27	6,000.00	0.14	65	5,500.00	0.13	103	5,832.25	0.13
28	6,014.62	0.14	66	5,500.00	0.13	104	5,500.00	0.13
29	10,915.81	0.25	67	5,500.00	0.13	105	5,500.00	0.13
30	11,048.42	0.25	68	5,500.00	0.13	106	5,500.00	0.13
31	10,000.00	0.23	69	5,500.00	0.13	107	5,500.00	0.13
32	11,087.27	0.26	70	6,268.10	0.14	108	5,500.00	0.13
33	11,221.09	0.26	71	8,384.98	0.19	109	5,500.01	0.13
34	8,318.20	0.20	72	11,221.09	0.26	110	5,044.67	0.13
35	8,738.15	0.20	73	7,557.07	0.17	OS-A	342,605.32	21.84
36	7,300.00	0.17	74	8,612.30	0.20	OS-R	19,716.30	0.45
37	7,300.00	0.17	75	7,612.31	0.17	OS-S	38,771.48	0.89
38	6,000.00	0.14	76	7,325.51	0.19			

SUBMITTED FOR MUNICIPAL APPROVAL
NOT FOR CONSTRUCTION

ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C0280E DATED APRIL 16, 2007 (ZONE "X")

A FLOOD STUDY OF THE EAST FORK GREENLICK CREEK HAS BEEN COMPLETED BY ARMSTRONG ENGINEERING AS PREPARED BY JIM ARMSTRONG P.E. SEALED AND DATED 1/14/2019.

[illegible]

John R.
Neal
B. R2018 PG. 400
R.O.M.C.,TN
ZONING RS-40

©2019

WES ENGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
2486 NASHVILLE HIGHWAY
COLUMBIA, TN 38401
PHONE: (931) 388-2329
www.wesengineers.com

Client
CHARLES RAINES &
DEILAH SPEED
P.O. BOX 1715
SPRING HILL, TN 37174

MORGAN MEADOWS

GAN MEAD
STONEWALL DRIVE

GAN MEADOWS
STONEWALL DRIVE
BERRY COUNTY, TENNESSEE

18574
Drawn: RP

18574

job, no.

1 of 1

Case Number:

19-0021

Request:

Request from Allen O'Leary for final plat approval of Honey Farm Subdivision Phase 2 Section 8 with surety in the amount of \$145,000.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
2019-0021

APPLICANT/PROPERTY OWNER
Allen O'Leary

PUBLIC HEARING DATE

NA

PROPERTY ADDRESS/LOCATION
Honey Farm Ph 2 Section 8

BRIEF SUMMARY OF REQUEST

This request is for allowance to construct 42 single family homes on approximately 10 acres being a portion of the Preliminary Plat approved in September 2017. All required infrastructure has been installed to support the home construction.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
PUD Residential	Residential	Residential	NA	10 acres

COMPATIBILITY with the COMPREHENSIVE PLAN NA	PROPERTY HISTORY This property has been under construction since 2007.
COMPATIBILITY with the ZONING ORDINANCE Staff finds this request to be compliant with city standards and policies and plans.	

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE) :



TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

ITEM NO.

19-0021

DESCRIPTION: Request from Allen O'Leary for Final Plat approval of 42 lots in Honey Farm Phase 2 Section 8.

RECOMMENDATION: For final recommendation please see staff report.

TECHNICAL AND DIVISION COMMENTS:

Columbia Water

1. Water has been installed and approved.

Columbia Power

2. Columbia Power System has an existing power line near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Atmos Energy

3. No gas.

Engineering

4. Confirm Sidewalk and Stormdrain Locations

Planning

5. No Comments

Fire

6. No comments.

Maury County Schools

7. School Attendance Zones for this development:

Spring Hill Elem. School: Capacity - 616; Projected Enrollment 2018/19 - 566

Spring Hill Middle School: Capacity - 1045; Projected Enrollment 2018/19 - 989

Spring Hill High School: Capacity - 1200; Projected Enrollment 2018/19 - 1165

Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:

Battle Creek Elementary School: Capacity - 700; Projected Enrollment 2019/20 - 454

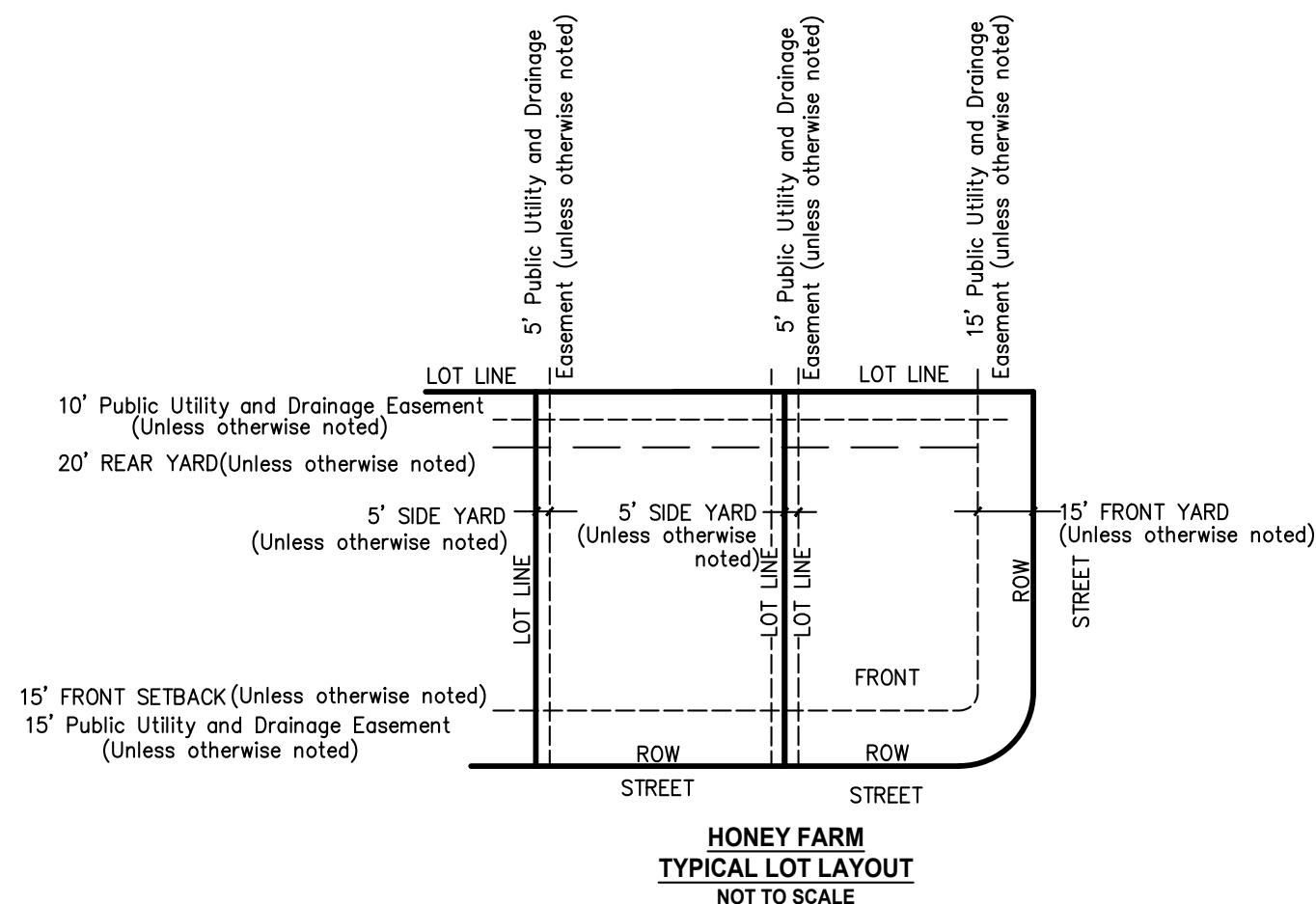
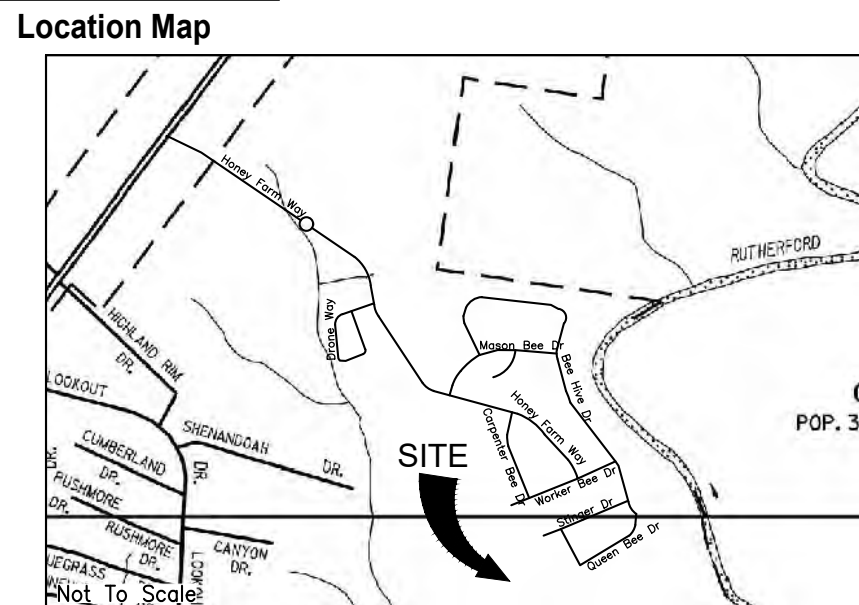
Battle Creek Middle School: Capacity - 1000; Projected Enrollment 2019/20 - 522

Spring Hill High School: Capacity - 1200; Projected Enrollment 2019/20 - 1242

Wastewater

8. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

ATTACHMENTS: Final Plat.



PARCEL NUMBER: TAX MAP 051, PCL 58.01
DEED BOOK: R1917, PAGE 546

PARCEL ADDRESS: NASHVILLE HWY
COLUMBIA, TENNESSEE 38401

EXISTING ZONING: MU-PUI

BUILDING SETBACKS:

FRONT - 15', SIDE - 5',
REAR - 20'

ACREAGE OF PARCEL: ±10.14 ACRE (441,698 SQFT) TOTAL
±2.14 ACRE (93,191 SQFT) IN RIGHT
OF WAY DEDICATION

PROPERTY OWNER: CHARLES RAINES & J.D. EATHERLY
PO BOX 1715
SPRING HILL, TN 37174

DENSITY: 4.14 LOTS/ACRE

PURPOSE NOTE:
The purpose of this final plat is to create 42 single family lots.

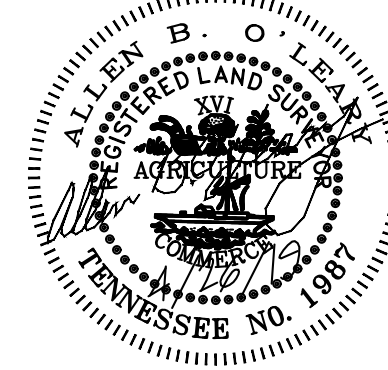
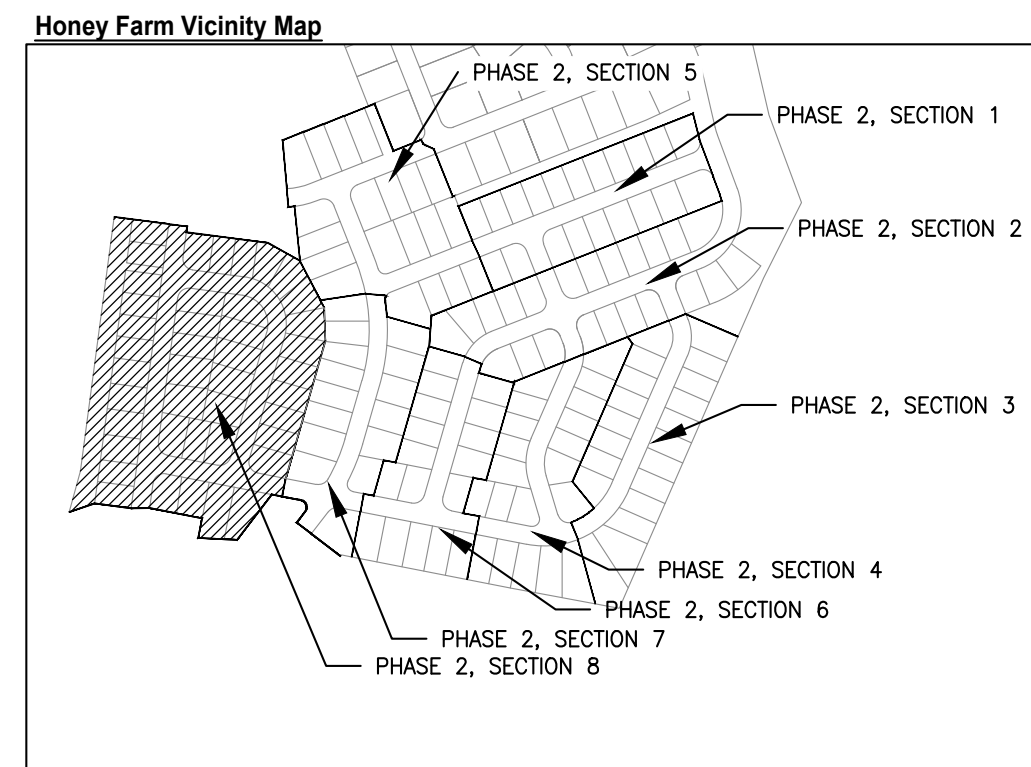
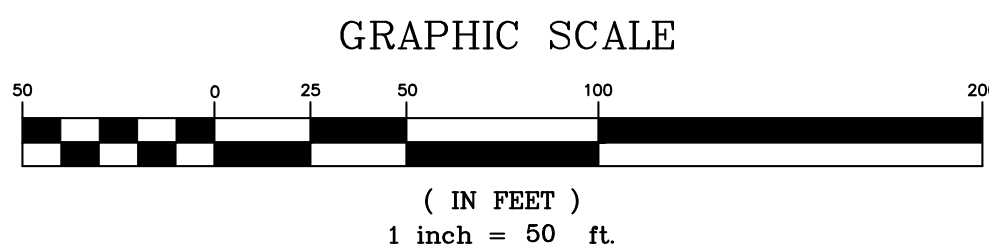
STORMWATER MANAGEMENT AGREEMENT:

RECORDED: 02/06/2017
DEED BOOK: R2415 PAGE: 1427-1433

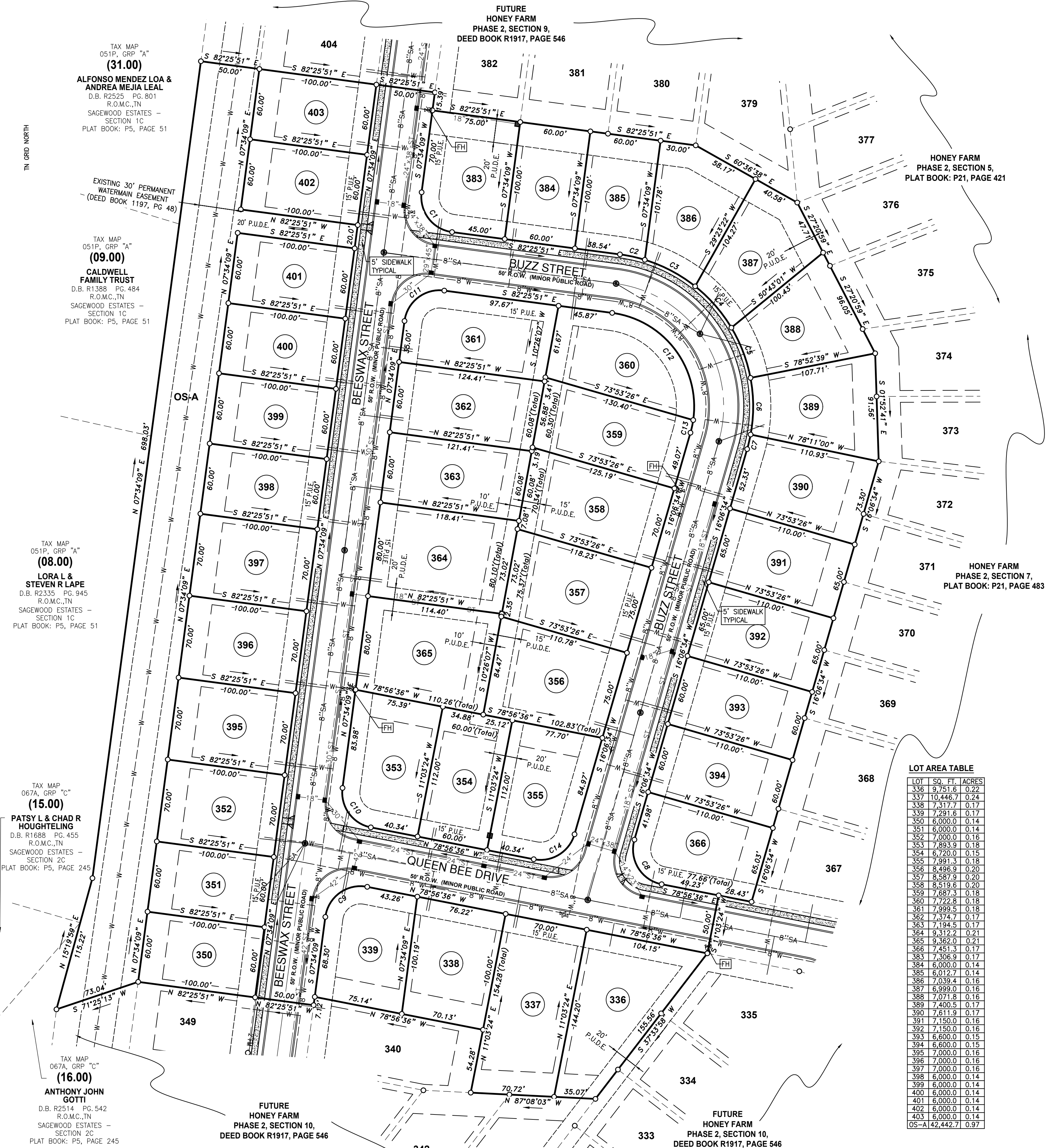
- | |
|--|
| <p>PURPOSE NOTE:
 The purpose of this final plat is to create 42 single family lots.</p> <p>STORMWATER MANAGEMENT AGREEMENT:
 RECORDED: 02/06/2017
 DEED BOOK: R2415 PAGE: 1427-1433</p> |
|--|

Curve	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.12	30.00	90°00'00"	N 37°25'11" E	W 42.43'
C2	21.58	30.00	93°00'04"	N 77°40'49" E	E 21.53'
C3	48.13	130.00	20°12'38"	N 72°00'00" E	E 48.13'
C4	46.84	130.00	20°38'38"	N 41°14'08" E	E 46.59'
C5	45.71	130.00	20°08'45"	E 20°50'26" E	E 45.47'
C6	45.71	130.00	20°08'45"	E 62°04'33" E	E 45.47'
C7	12.69	130.00	53°35'36"	S 1°19'46" W	W 12.69'
C8	49.77	30.00	95°03'10"	S 31°25'01" E	E 44.26'
C9	48.95	30.00	93°28'19"	S 54°18'46" W	W 43.70'
C10	45.71	130.00	20°08'45"	S 62°04'33" E	E 45.47'
C11	47.12	30.00	90°00'00"	E 52°34'09" W	W 42.43'
C12	126.62	80.00	94°01'04"	S 70°05'19" W	W 113.81'
C13	103.80	80.00	94°01'04"	S 70°05'19" W	W 103.80'
C14	44.45	30.00	94°56'50"	E 58°34'59" W	W 40.51'

LOT AREA TABLE		
LOT	SQ. FT.	ACRES
336	9,751.66	0.22
337	10,446.7	0.24
338	3,717.7	0.17
339	3,717.7	0.17
350	6,000.0	0.14
351	6,000.0	0.14
352	7,000.0	0.16
353	7,000.0	0.16
354	6,720.0	0.15
355	7,991.3	0.18
356	7,991.3	0.18
357	5,287.9	0.20
358	8,519.6	0.20
359	7,687.3	0.18
360	7,687.3	0.18
361	7,995.5	0.18
362	7,374.7	0.17
363	7,194.5	0.17
364	7,194.5	0.17
365	9,362.0	0.21
366	7,451.3	0.17
367	7,506.9	0.17
368	7,506.9	0.17
369	6,012.7	0.14
370	7,039.4	0.16
386	6,999.0	0.16
387	6,999.0	0.16
388	7,400.5	0.17
390	7,611.9	0.17
391	1,150.0	0.06
392	1,150.0	0.06
393	6,600.0	0.15
394	6,600.0	0.15
395	7,000.0	0.16
396	7,000.0	0.16
397	7,000.0	0.16
398	6,000.0	0.14
399	6,000.0	0.14
400	6,000.0	0.14
401	6,000.0	0.14
402	6,000.0	0.14
403	6,000.0	0.14
OS-A	42,442.7	0.97



Register of Deed Recording Stamp



OPEN SPACE NOTE:
ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE
HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF
MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS
INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

Legend

○
○

0

-----	Adjoining Property Line	-----	Edge of Water
-----	Subject Property Line	-----	Ditch / Creek Center
-----	Easement Line	-----	Minor Contour Line
-----	Building Setback Line	-----	Index Contour Line
-----	Centerline	G	Gas Line
-----	Edge of Pavement	SA	Sanitary Sewer Line
-----	Edge of Gravel	W	Water Line
X	Fence Line	ST	Storm Sewer Line
-----	Landscape	OH	Overhead Utility Line
~~~~~	Woods / Tree line	OH/C	Overhead Cable Line

—OHE—	Overhead Electric Line
—OHT—	Overhead Telephone Line
—UG—	Underground Utility Line
—UGC—	Underground Cable Line
—UGE—	Underground Electric Line
—UGT—	Underground Telephone Line
—FM—	Forced Main Line

**Case Number:**

19-0020

**Request:**

Request from WES Engineers and Surveyors for preliminary plat approval of Beckett Place Subdivision on South Beckett Street being Tax Map 100D Group G Parcel 7.01.

**STAFF REPORT CONTACT INFORMATION**

Paul Keltner, Director of Development Services, [paul@columbiatn.com](mailto:paul@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**2019-0020**

APPLICANT/PROPERTY OWNER  
**WES Engineers and Surveyors**

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION  
**West 8th and Beckett Street**

**NA**

**BRIEF SUMMARY OF REQUEST**

This is an infill development of 17 Townhomes with 4 attached housing units on the corner of West 8th and Beckett Street. The PUD Master Plan was approved in December of 2018, and all building and infrastructure design will follow the details from the Master Plan and site construction plans.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
PUD Residential	Residential	Residential	NA	1.76 acres

**COMPATIBILITY with the COMPREHENSIVE PLAN**

**NA**

**PROPERTY HISTORY**

This property has been undeveloped for at least 20 years.

**COMPATIBILITY with the ZONING ORDINANCE**

Staff finds this request to be compliant with the Master Plan.

ATTACHMENTS (CIRCLE)

**SUBMITTED PLANS**

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

**AGENCY COMMENTS**

RESPONSE TO STANDARDS

OTHER (DESCRIBE) :



## TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

### ITEM NO.

19-0020

**DESCRIPTION:** Request from WES Engineers & Surveyors for Preliminary Plat approval of Beckett Street PUD being Tax Map 100D Group G Parcel 7.01.

**RECOMMENDATION:** For final recommendation please see staff report.

### **TECHNICAL AND DIVISION COMMENTS:**

#### Columbia Water

1. Water is available for this site.

#### Columbia Power

2. Columbia Power System has existing power facilities near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

#### Atmos Energy

3. Gas lines on W 8th & W 9th Streets if needed.

#### Maury County E911

4. Pop Geers Ct. is reserved.

#### Engineering

5. Subject to Construction Plan Approval

## **Planning**

6. No Comments

## **Fire**

7. Townhomes must be constructed in accordance with the 2012 International Residential Code.

## **Maury County Schools**

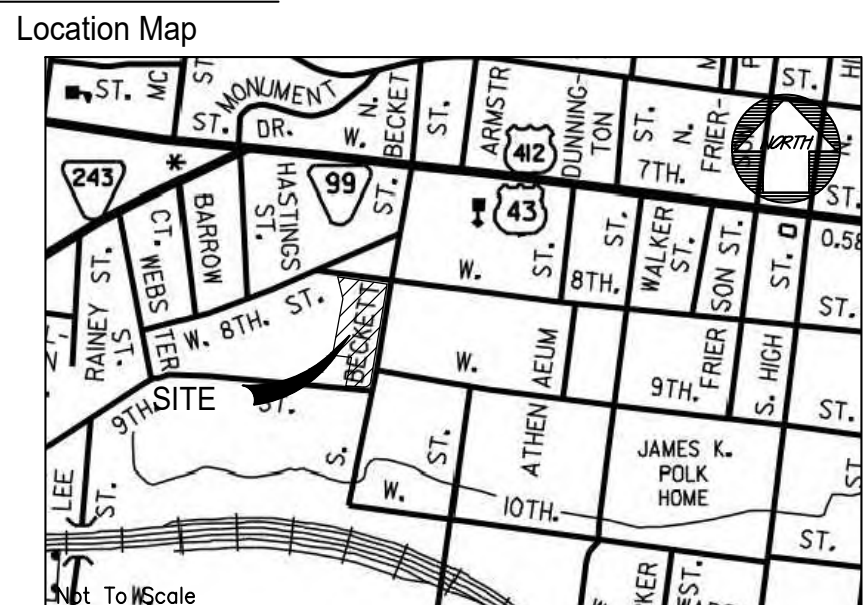
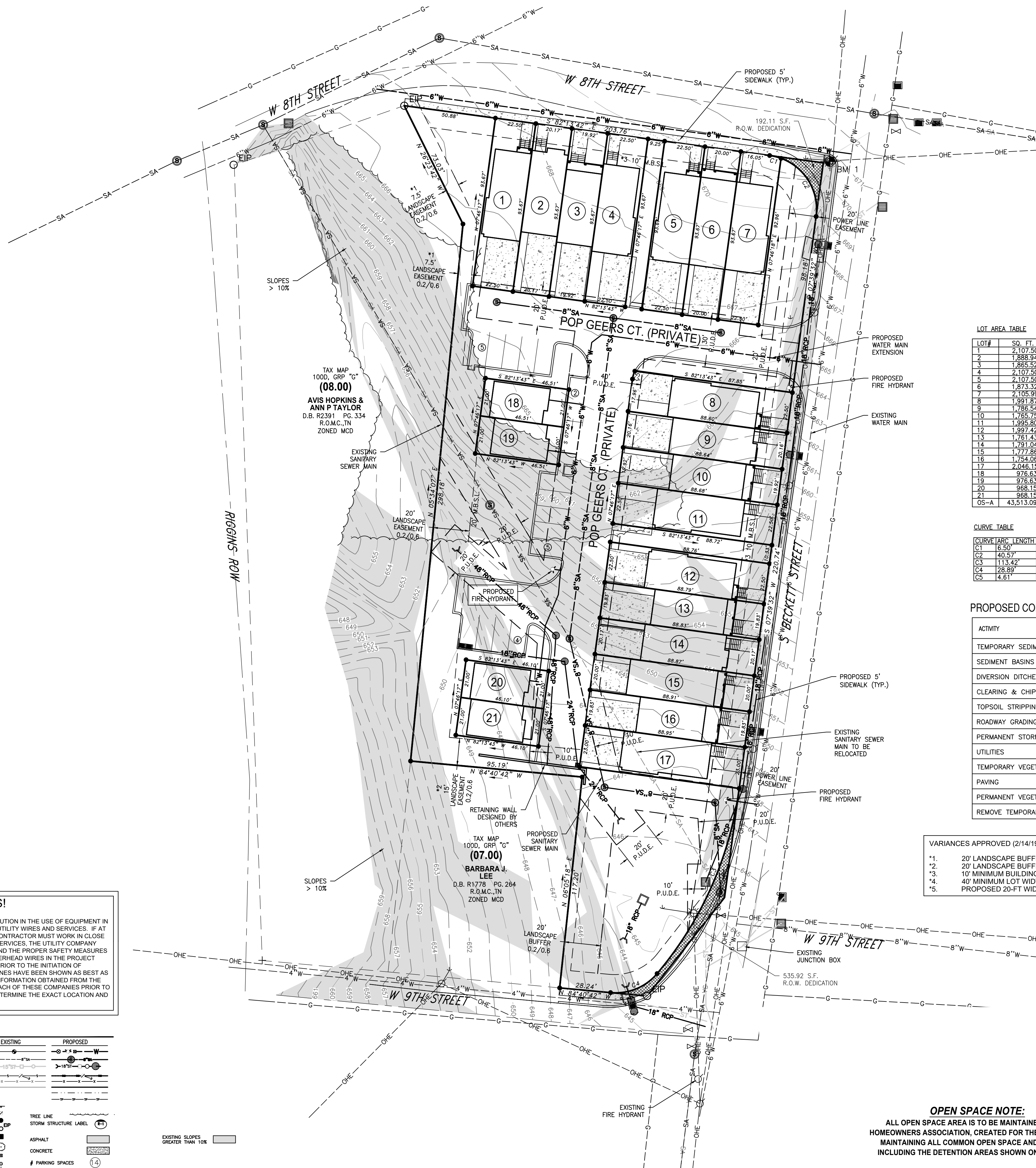
8. School Attendance Zones for this development:  
McDowell Elem. School: Capacity - 371; Projected Enrollment 2018/19 - 303  
Whitthorne Middle School: Capacity - 1420; Projected Enrollment 2018/19 - 1082  
Columbia Central High School: Capacity - 1852; Projected Enrollment 2018/19 - 1325  
  
Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:  
McDowell Elementary School: Capacity - 371; Projected Enrollment 2019/20 - 322  
Whitthorne Middle School: Capacity - 1420; Projected Enrollment 2019/20 - 1092  
Columbia Central High School: Capacity - 1852; Projected Enrollment 2019/20 - 1445

## **Wastewater**

9. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

**ATTACHMENTS: Preliminary Plat.**

# PRELIMINARY PLAT



## SITE DATA:

OWNER: CHARLES RAINES  
P.O. BOX 1715  
SPRING HILL, TN 37174

PARCEL NUMBER: TAX MAP 1000, GRP G, PARCEL 07.01  
DEED BOOK: R2432, PG 994

SUBJECT PARCEL ZONING: RM2 - PUD (APPROVED 2/14/2019)

ACREAGE OF SITE: ±1.76 ACRES  
PROPOSED PERVIOUS AREA: ±0.81 AC.  
PROPOSED IMPERVIOUS AREA: ±0.95 AC.

DENSITY: 21 UNITS/1.76 AC. = 8.38 UNITS/ACRE

MINIMUM REQUIRED BUILDING SETBACKS:  
10' FRONT (MINOR)  
5' REAR  
5' SIDE

UTILITY SERVICES: WATER SERVICE  
COLUMBIA POWER & WATER SYSTEMS  
201 PICKENS LANE  
COLUMBIA, TENNESSEE 38401  
(931) 388-4833

ELECTRIC SERVICE  
COLUMBIA POWER & WATER SYSTEMS  
201 PICKENS LANE  
COLUMBIA, TENNESSEE 38401  
(931) 388-4833

PARKING REQUIREMENTS:  
21 UNITS @ 1.5 SPACES PER UNIT: 32 SPACES REQUIRED

PARKING AVAILABLE/PROVIDED:  
DRIVEWAYS 7 @ 2 SPACES EACH 14 SPACES  
DRIVEWAYS 10 @ 1 SPACE EACH 10 SPACES  
OPEN SPACES 16 SPACES  
TOTAL PARKING AVAILABLE/PROVIDED 40 SPACES

PURPOSE NOTE: CONSTRUCT 21 RESIDENTIAL UNITS AND RELATED APPURTENANCES.

- NOTES:
- ALL OPEN SPACE AREAS TO BE MAINTAINED BY INDIVIDUAL HOMEOWNERS ASSOCIATION.
  - ALL AREAS OUTSIDE OF PROPOSED LOTS TO BE OPEN SPACE.

## PROPOSED CONSTRUCTION SCHEDULE FOR THE YEAR 2017/2018

ACTIVITY	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	JAN
TEMPORARY SEDIMENT STRUCTURES												
SEDIMENT BASINS												
DIVERSION DITCHES												
CLEARING & CHIPPING												
TOPSOIL STRIPPING AND STORAGE												
ROADWAY GRADING												
PERMANENT STORM SEWER												
UTILITIES												
TEMPORARY VEGETATION												
PAVING												
PERMANENT VEGETATION												
REMOVE TEMPORARY STRUCTURES												

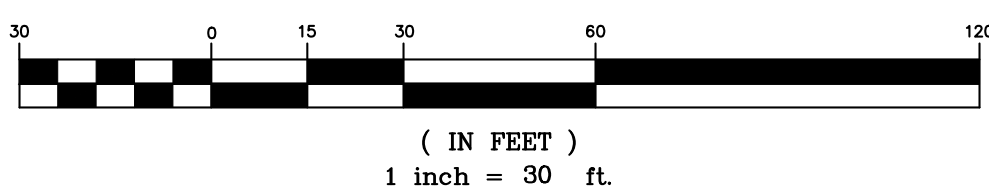
## VARIANCES APPROVED (2/14/19):

- 20' LANDSCAPE BUFFER REQUIRED: REQUEST 7.5' BUFFER
- 20' LANDSCAPE BUFFER REQUIRED: REQUEST 15' BUFFER
- 10' MINIMUM BUILDING SETBACK (APPROVED IN PREVIOUS REQUEST)
- 40' MINIMUM LOT WIDTH REQUEST VARIANCE FOR MULTI UNIT BUILDINGS
- PROPOSED 20-FT WIDTH OF UNITS.

## OPEN SPACE NOTE:

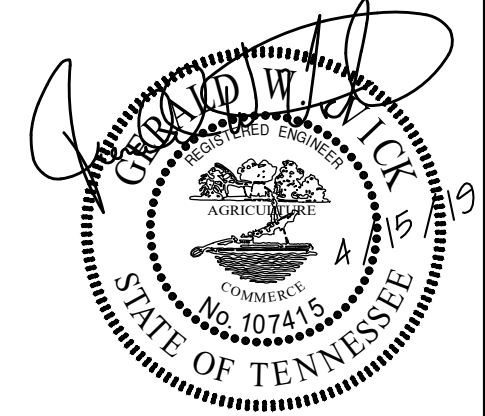
ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

## GRAPHIC SCALE



## FLOOD STUDY NOTE:

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C0285E DATED APRIL 16, 2007 (ZONE "X")



SUBMITTED FOR MUNICIPAL APPROVAL  
NOT FOR CONSTRUCTION

BENCHMARK  
BENCHMARK #1  
IRON ROD  
N = 467,959.30  
E = 1,658,322.46  
ELEV = 670.72'

## WARNING! UTILITY LINES!

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

## LEGEND

EXISTING	PROPOSED
WATER MAIN	WATER MAIN
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
OVERHEAD	OVERHEAD
FENCE	FENCE
DRAINAGE DITCH	DRAINAGE DITCH
TREE PROTECTION FENCE	TREE PROTECTION FENCE
UTILITY POLE	UTILITY POLE
IRON PIN SET	IRON PIN SET
EXISTING IRON PIN	EXISTING IRON PIN
CONCRETE MONUMENT	CONCRETE MONUMENT
DECIDUOUS TREE	DECIDUOUS TREE
GATE VALVE IN BOX	GATE VALVE IN BOX
LIGHT POLE	LIGHT POLE
BENCHMARK	BENCHMARK

EXISTING SLOPES  
GREATER THAN 10%



Client

DATE

REVISIONS

B

Drawn: RP  
Checked: JG  
Approved: GV  
Date: 04/15/19

18558

Scale

Vertical

Horizontal

1

**Case Number:**

19-0017

**Request:**

Request from Scott Williams for multi-family site plan approval of Stonebridge Apartments Phase 2 off Highlander Drive being Tax Map 99 Parcel 60.10.

**STAFF REPORT** CONTACT INFORMATION

Paul Keltner, Director of Development Services, [paul@columbiatn.com](mailto:paul@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**2019-0017**

APPLICANT/PROPERTY OWNER  
**Scott Williams**

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION  
**Highlander Drive**

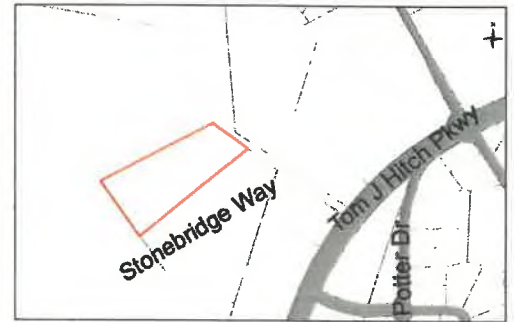
**NA**

**BRIEF SUMMARY OF REQUEST**

This multi-family apartment request of 60 units will be a mix of one, two and three bedroom dwellings. These buildings will be 3 story structures with one floor being inset below grade level to better accommodate the existing topography. The exterior materials include a combination of brick and fiber cement lap siding.

**Staff Notes:**

The amount of brick has been reduced along the rear on resubmittal and would recommend it going back to mimicking the front as presented. Also, parking and driveways in the landscape buffer needs to be adjusted with the access and turn around needing modification before permits.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RM-1 Residential	Residential	Residential	NA	5 acres

<b>COMPATIBILITY</b> with the COMPREHENSIVE PLAN  NA	<b>PROPERTY HISTORY</b>  This property is undeveloped.
<b>COMPATIBILITY</b> with the ZONING ORDINANCE  Staff finds this request to be compliant subject to staff notes.	

ATTACHMENTS (CIRCLE)

**SUBMITTED PLANS**

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

**AGENCY COMMENTS**

RESPONSE TO STANDARDS

**3.5.5 ACTION BY THE APPROVING AUTHORITY**

---

- A. The Approving Authority shall compile all staff comments on the development plan in light of any applicable requirements of this ordinance. A copy of these comments shall be provided to the applicant.
- B. The Zoning Administrator shall be responsible for approving all Sketch Development plans.
- C. The Zoning Administrator shall be responsible for approving Site Development plans.

**3.5.6 DEVELOPMENT PLAN REVIEW CRITERIA**

---

The following evaluations shall be made during the development plan review process.

- A. Compliance with all applicable ordinance requirements;
- B. Compliance with all previously approved plans, such as earlier development plans;
- C. Conformance with all applicable land use plans;
- D. The site plan displays a site design and development intensity appropriate for and tailored to the unique natural characteristics of the site, such as significant wooded areas, specimen trees, wetlands, steep slopes, and floodplains;
- E. Adequacy and location of parking areas and pedestrian and vehicular access points;
- F. Adequacy of design of traffic patterns, traffic control measures and street pavement areas, with provisions for maintaining traffic flows and reducing unfavorable effects of traffic on nearby properties;
- G. Compliance with site construction specifications;
- H. Adequacy of stormwater facilities, water supply, sanitary sewer service, fire protection, street signs, and street lighting as evidenced by conformance with department standards, specifications and guidelines; and
- I. Compliance with requirements for easements or dedications.

**3.5.7 CONCURRENT APPLICATIONS**

---

Development permit applications for projects requiring design review, a conditional use permit, certificate of appropriateness, floodplain development permit, or rezoning may proceed concurrently with the other application. However, final approval of the development plan may not be granted prior to receiving the additional permit.

**3.5.8 TIME LIMITS ON APPROVALS**

---

Any Sketch Development plan or Site Development plan approved under the provisions of this ordinance shall become null and void one year after the date of its approval unless a Zoning Permit for the project has been obtained in which case the provisions of Sec. 3.4, shall apply, provided, however, that in no instance shall an approved Sketch Development plan or Site Development plan become null and void in less than one year.

**3.5.9 INSPECTIONS OF REQUIRED IMPROVEMENTS**

---

Inspections during the installation of site improvements shall be made by the entity responsible for such improvements as required to certify compliance with approved development plans. No improvements shall be accepted for maintenance by the City unless and until the requirements regarding public improvements have been met.



## TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

### ITEM NO.

19-0017

**DESCRIPTION:** Request from Scott Williams for multi-family site plan approval of Stonebridge Apartments Phase 2 located at Tax Map 99 Parcel 60.10.

**RECOMMENDATION:** For final recommendation please see staff report.

### **TECHNICAL AND DIVISION COMMENTS:**

#### Engineering

1. Subject to Construction Plan Approval
2. 120' minimum on hammerhead turnaround
3. Provide temporary turnaround at end of Highlander Dr.

#### Planning

4. Note C.1 says pool house but the plan does not show one.
5. Project boundary landscape buffer needed.

#### Fire

6. No comments.

#### Maury County Schools

7. School Attendance Zones for this development:  
Ranclolph Howell Elem. School: Capacity - 772; Projected Enrollment 2018/19 - 553  
EA Cox Middle School: Capacity - 917; Projected Enrollment 2018/19 - 738  
Columbia Central High School: Capacity - 1852; Projected Enrollment 2018/19 - 1325  
  
Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:  
Randolph Howell Elementary School: Capacity - 772; Projected Enrollment 2019/20 - 471  
EA Cox Middle School: Capacity - 917; Projected Enrollment 2019/20 - 761  
Columbia Central High School: Capacity - 1852; Projected Enrollment 2019/20 - 1445

### **Wastewater**

8. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

### **Maury County E911**

9. Have not received any street name requests.

### **Atmos Energy**

10. No gas.

### **Columbia Power**

11. Columbia Power System has existing power facilities near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

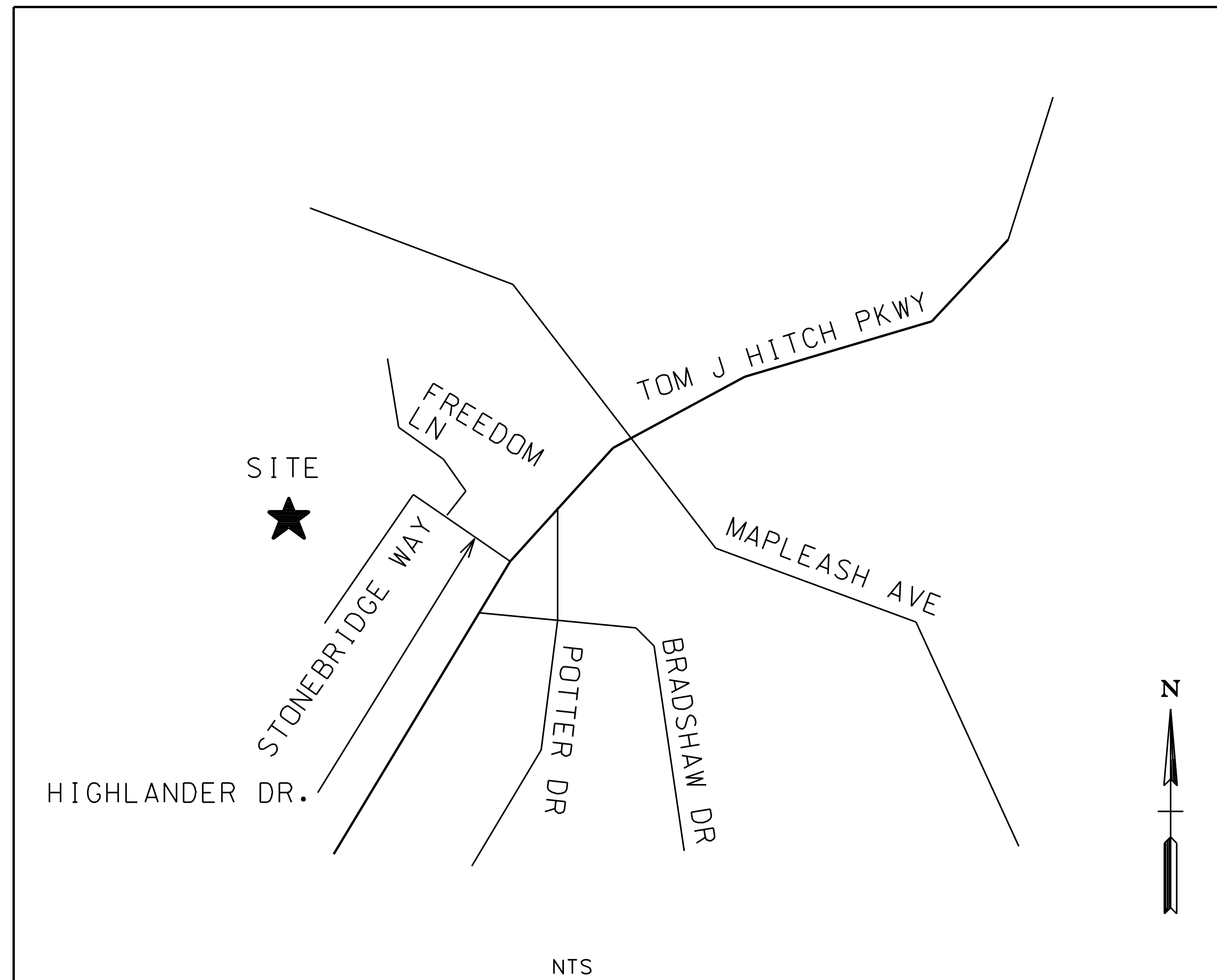
### **Columbia Water**

12. Water is available but must be extended by developer.

**ATTACHMENTS: Multi-Family Site Plan.**

# STONEBRIDGE APARTMENTS - PHASE 2

## SITE PLAN SUBMITTAL COLUMBIA, TENNESSEE



VICINITY MAP

### SHEET INDEX

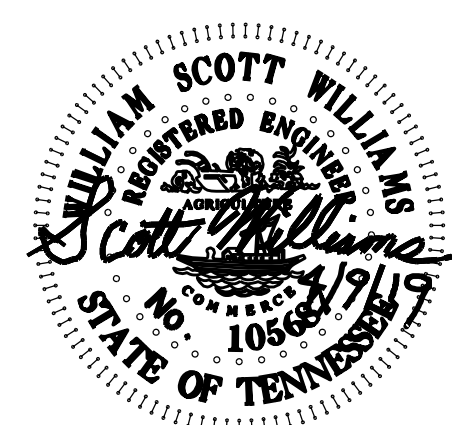
C0	EXISTING CONDITIONS
C1	SITE & UTILITY LAYOUT PLAN
C2	GRADING AND DRAINAGE PLAN
L1	LANDSCAPE PLAN
	TYPICAL BUILDING PLAN
	TYPICAL BUILDING ELEVATIONS

SITE ADDRESS:  
HIGHLANDER DR. NEAR  
TOM J HITCH PKWY.  
COLUMBIA, TENNESSEE  
TAX MAP 099 PARCEL 060.10

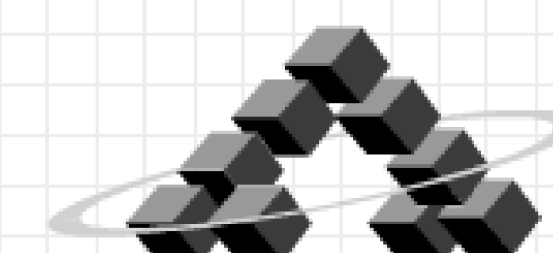
DEVELOPER:

**NORTHSTAR  
EQUITY, LLC**

300 QUARRY LANE  
HAVERFORD, PA 19041  
Office 859-816-8015



APRIL 9, 2019



CONSULTING  
CIVIL ENGINEERING  
LAND SURVEYING

**W. SCOTT WILLIAMS AND ASSOCIATES**

4530 Annalee Way  
Knoxville, TENNESSEE 37921  
P & F: (865) 692-9809  
E-MAIL: wscottwill@comcast.net

JOB # 1901

NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO SHOW BOUNDARY AND TOPOGRAPHIC INFORMATION.
2. NORTH IS BASED ON DEED BOOK R2528 PAGE 707.
3. THIS PROPERTY IS ZONED RM-1.
4. NO TITLE REPORT WAS ISSUED TO THIS SURVEYOR. A TITLE REPORT MAY UNCOVER ADDITIONAL EASEMENTS AND/OR ENCUMBRANCES THAT MAY OR MAY NOT AFFECT THIS PROPERTY.
5. THIS PROPERTY IS NOT LOCATED IN A FLOODPLAIN (ZONE X) PER FEMA FIRM MAP 47119C0285E, EFFECTIVE DATE APRIL 16, 2007.
6. IRON PIN SET AT ALL CORNERS UNLESS OTHERWISE SHOWN.
7. TOTAL AREA THIS SURVEY: 1 LOT OF 5.00 ACRES.
9. DEED REFERENCES: DB R2528 PG. 707.
10. ELEVATIONS ARE BASED ON TENNESSEE STATE PLANE.

ZONING

SETBACKS: FRONT....ARTERIAL STREETS 40'; COLLECTOR STREETS 35'; MINOR STREETS 20'  
SIDE.....ONE & TWO STORY BUILDINGS 7'(15' TOTAL); THREE STORY BUILDINGS 10'(30' TOTAL)  
REAR.....20'

MAXIMUM LOT COVERAGE BY ALL BUILDINGS IS 50%.

HEIGHT RESTRICTION IS 35 FEET.

CERTIFICATION OF ACCURACY

I CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:110,000 AS SHOWN HEREON AND THAT SAID SURVEY WAS PREPARED IN COMPLIANCE WITH THE CURRENT EDITION OF THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS STANDARDS OF PRACTICE.

*Scott Williams*  
REGISTERED LAND SURVEYOR  
TENNESSEE CERTIFICATE NO. 1914

HELLER MANAGEMENT COMPANY  
DEED BOOK R1918 PAGE 31  
PLAT BOOK 16 PAGE 253  
MAP 099 PARCEL 060.00

TRACT 2  
5.00 ACRES  
217,837 S.F.

ACCESS EASEMENT 1 (0.40 ACRES)  
DEED BOOK R1887 PG 1069

OWNER:  
TENNESSEE NORTHSTAR 2 LLC  
9918 CARVER RD, STE 110  
CINCINNATI, OH 45242

TENNESSEE NORTHSTAR 1 LLC  
DEED BOOK R2528 PAGE 712  
MAP 099 PARCEL 060.09

LEGEND

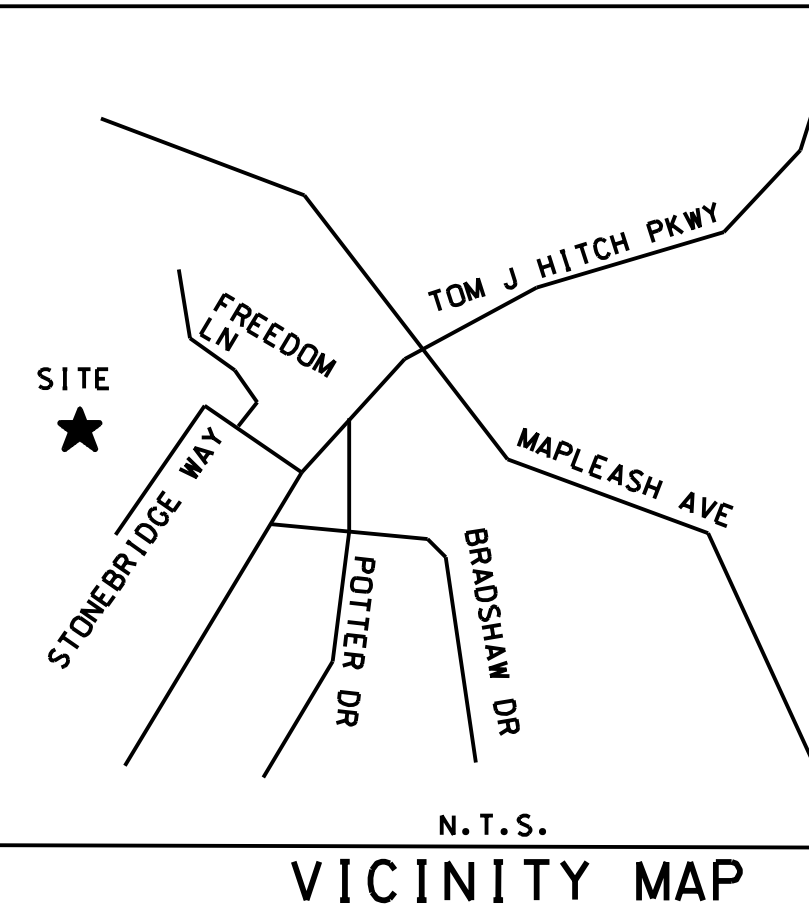
- IPS ● IRON PIN SET (NEW)
- IPF ● IRON PIN FOUND (OLD)
- x— CENTERLINE R.O.W.
- PROPERTY LINES
- ⊙ SANITARY SEWER MANHOLE
- ◆ FIRE HYDRANT
- ▨ CONCRETE AREAS
- 1' CONTOURS

HELLER MANAGEMENT COMPANY  
DEED BOOK R1918 PAGE 31  
PLAT BOOK 16 PAGE 253  
MAP 099 PARCEL 060.00

HEADWALL  
PIPE (18" CMP)  
DRAINS TO POND

HEADWALL  
PIPE (36" CMP)  
DRAINS TO POND

SEE NOTE #2



NOT FOR CONSTRUCTION

REVISIONS	
NO.	DATE DESCRIPTION

EXISTING CONDITIONS

STONEBRIDGE APARTMENTS  
PHASE 2

HIGHLANDER DR., NEAR TOM J HITCH PKWY.  
COLUMBIA, TENNESSEE  
TAX MAP 099 PARCEL 060.10



W. SCOTT WILLIAMS ASSOCIATES

CONSULTING  
CIVIL ENGINEERING  
LAND SURVEYING

4530 Amelie Avenue  
Nashville, Tennessee 37221  
P & F: (615) 692-5889  
E-Mail: wscottwilliams@comcast.net

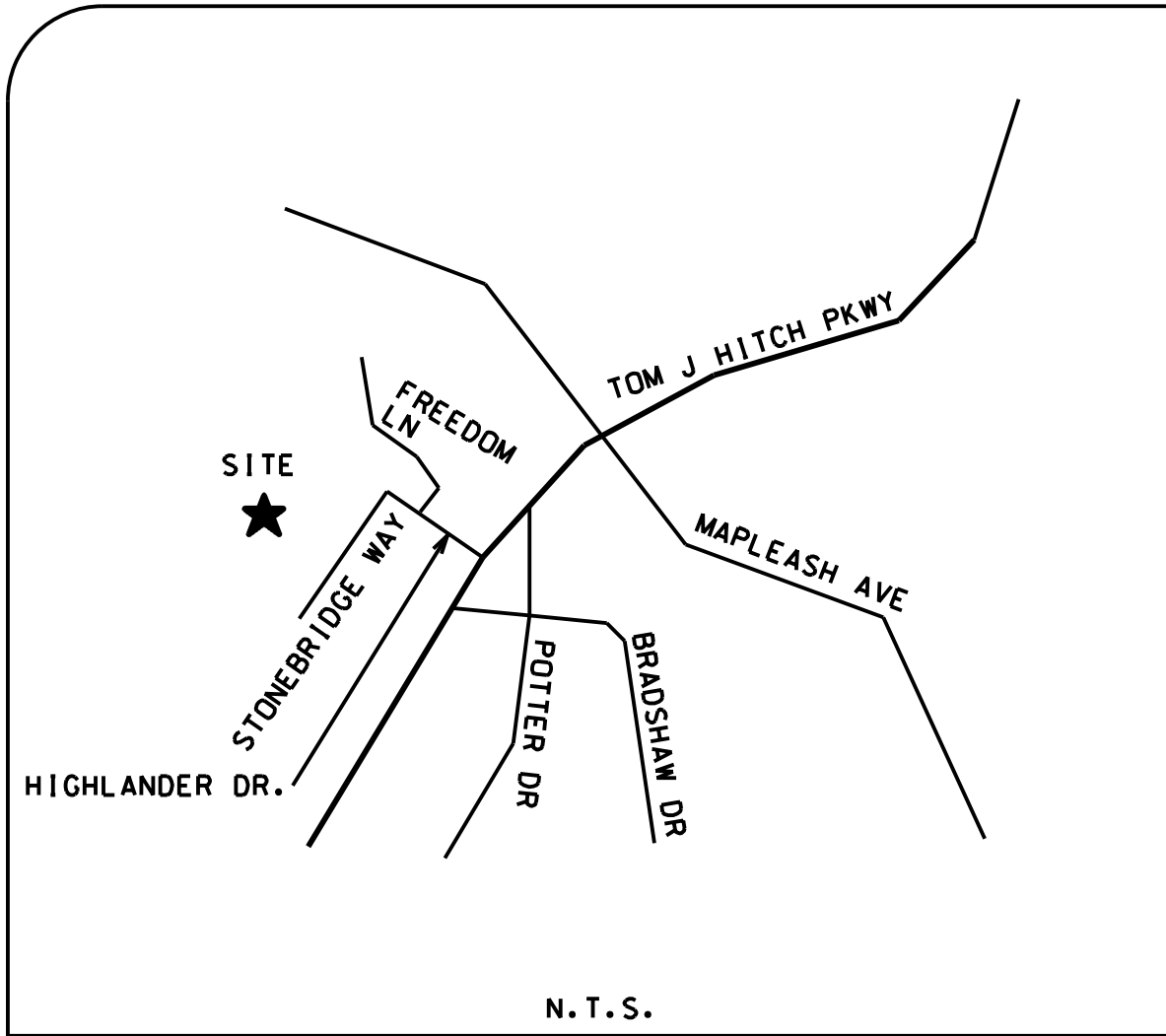
CLIENT:

NORTHSTAR EQUITY, LLC  
300 QUARRY LANE  
HAVERFORD, PA 19041  
Office 859-816-8015

ORIGINAL ISSUE:  
FEB. 10, 2019

SHEET NO.  
CO

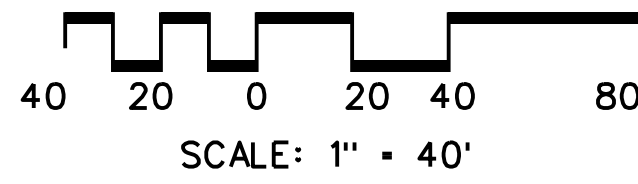
JOB NO. 1901



VICINITY MAP

LEGEND

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- STORM SEWER
- SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN OUT
- SA SANITARY SEWER
- BUILDING SETBACK LINE
- FENCE
- F/O FIBER OPTIC
- COMM COMMUNICATION
- CATCH BASIN
- 17 PARKING SPACE COUNT
- LIGHT DUTY CONCRETE
- SIGN



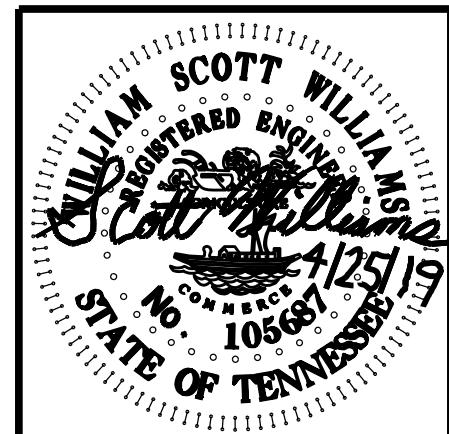
NOTES:  
THIS PLAN IS TO SHOW THE SITE LAYOUT FOR PAVING, CURB, SIDEWALK, BUILDINGS, ETC. ONLY.  
ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF COLUMBIA REGULATIONS AND O.S.H.A. STANDARDS.  
CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.  
THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.  
ALL CURB RADI ARE 3' AT FACE OF CURB UNLESS OTHERWISE SHOWN. ROADWAY AND PARKING LOT DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. BUILDING LOCATION MEASUREMENTS ARE TO OUTSIDE FACE.  
PAVEMENT MARKINGS SHALL BE 4" WIDE SOLID WHITE PAINTED STRIPES MEETING REQUIREMENTS AND INSTALLED IN ACCORDANCE WITH APPLICABLE DETAILS AND SPECIFICATIONS.  
PORTLAND CEMENT CONCRETE USED IN SITE WORK CONSTRUCTION TO BE MIXED AND PLACED IN ACCORDANCE WITH A.C.I. STANDARD 318 - LATEST EDITION.  
ALL SIGNS TO BE DESIGNED AND INSTALLED BY OTHERS UNDER SEPERATE SIGN PERMIT.  
THE MOST UP TO DATE A.D.A. REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES.  
ANY DISCREPANCIES IN THE LAYOUT SHALL BE REPORTED TO W. SCOTT WILLIAMS & ASSOC. IMMEDIATELY.  
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND PERFORMING ALL DEMOLITION AND UTILITY RELOCATION REQUIRED. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.  
ALL PROPOSED ROADS TO BE PRIVATE DRIVEWAYS.  
PROPOSED PAVEMENT SHALL BE PER DETAILS ON D1 UNLESS OTHERWISE SPECIFIED BY LICENSED GEOTECHNICAL ENGINEER. LIGHT DUTY PAVEMENT MAY BE USED IN PARKING SPACES ONLY PER DETAIL D1/10 WITH GEOTECHNICAL ENGINEER APPROVAL.  
SEE D# SHEETS FOR SITE DETAILS.  
REFER TO SURVEY FOR ALL EXISTING SURVEY INFORMATION.

SITE DATA

ZONING: RM-1  
BUILDING SETBACKS:  
FRONT....ARTERIAL STREETS 40'; COLLECTOR STREETS 35';  
MINOR STREETS 20'  
SIDE.....ONE & TWO STORY BUILDINGS 7'(15' TOTAL);  
THREE STORY BUILDINGS 10'(30' TOTAL)  
REAR.....20'  
MAXIMUM LOT COVERAGE BY ALL BUILDINGS IS 50%.  
HEIGHT RESTRICTION IS 35 FEET.  
PROPOSED DENSITY: 60 APARTMENT UNITS (120 BR)  
PROPOSED IMPERVIOUS AREA: 2.3 ACRES  
PARKING:  
1.5 PARKING SPACES PER 2 BEDROOMS (90) REQUIRED  
114 PARKING SPACES INCL. 9 ADA ACCESSIBLE

REVISIONS		
NO.	DATE	DESCRIPTION
1	4/25/19	CITY COMMENTS

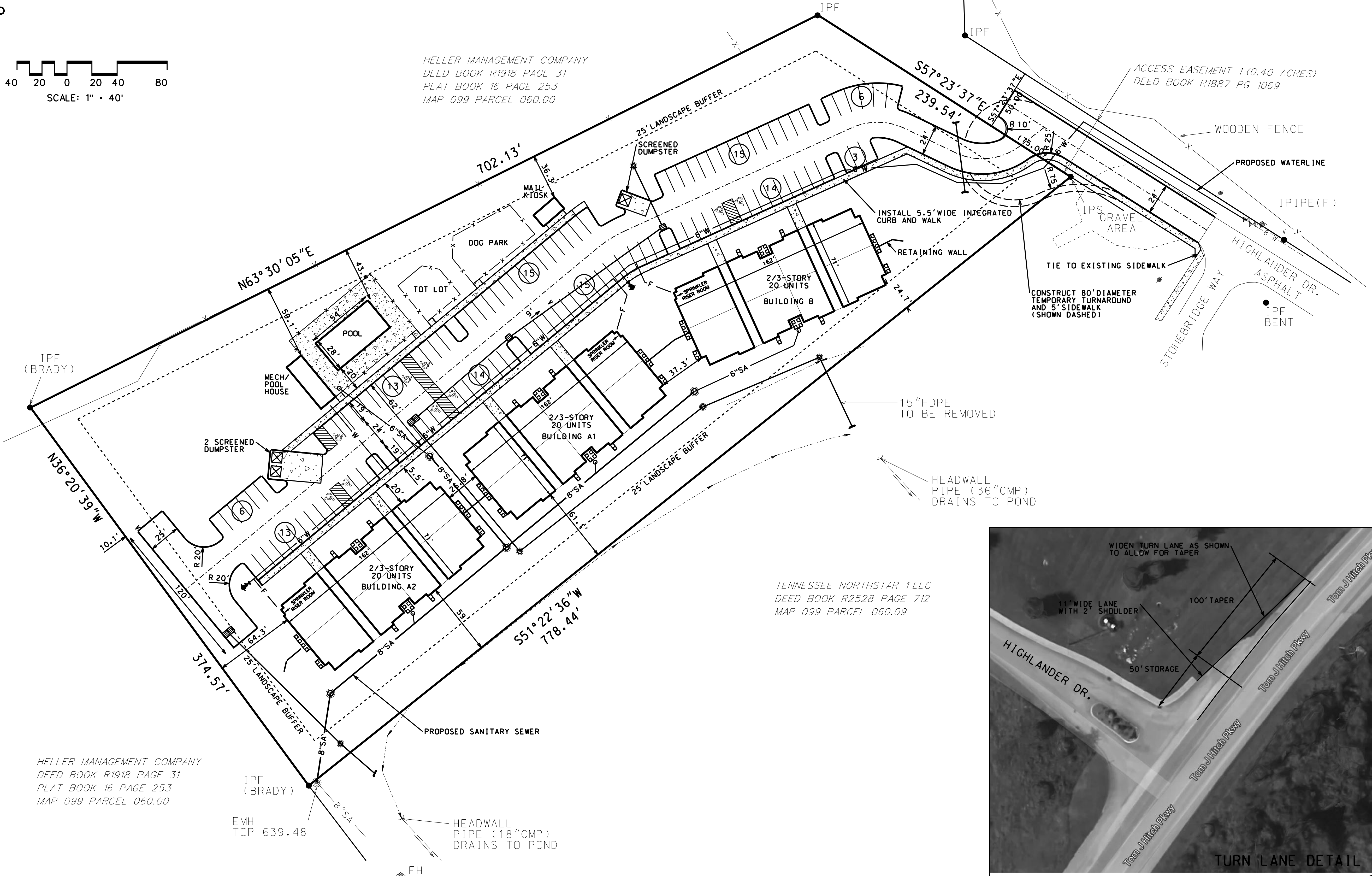
SITE & UTILITY LAYOUT PLAN  
STONEBRIDGE APARTMENTS PHASE 2  
HIGHLANDER DR., NEAR TOM J HITCH PKWY.  
COLUMBIA, TENNESSEE  
TAX MAP 099 PARCEL 060.10

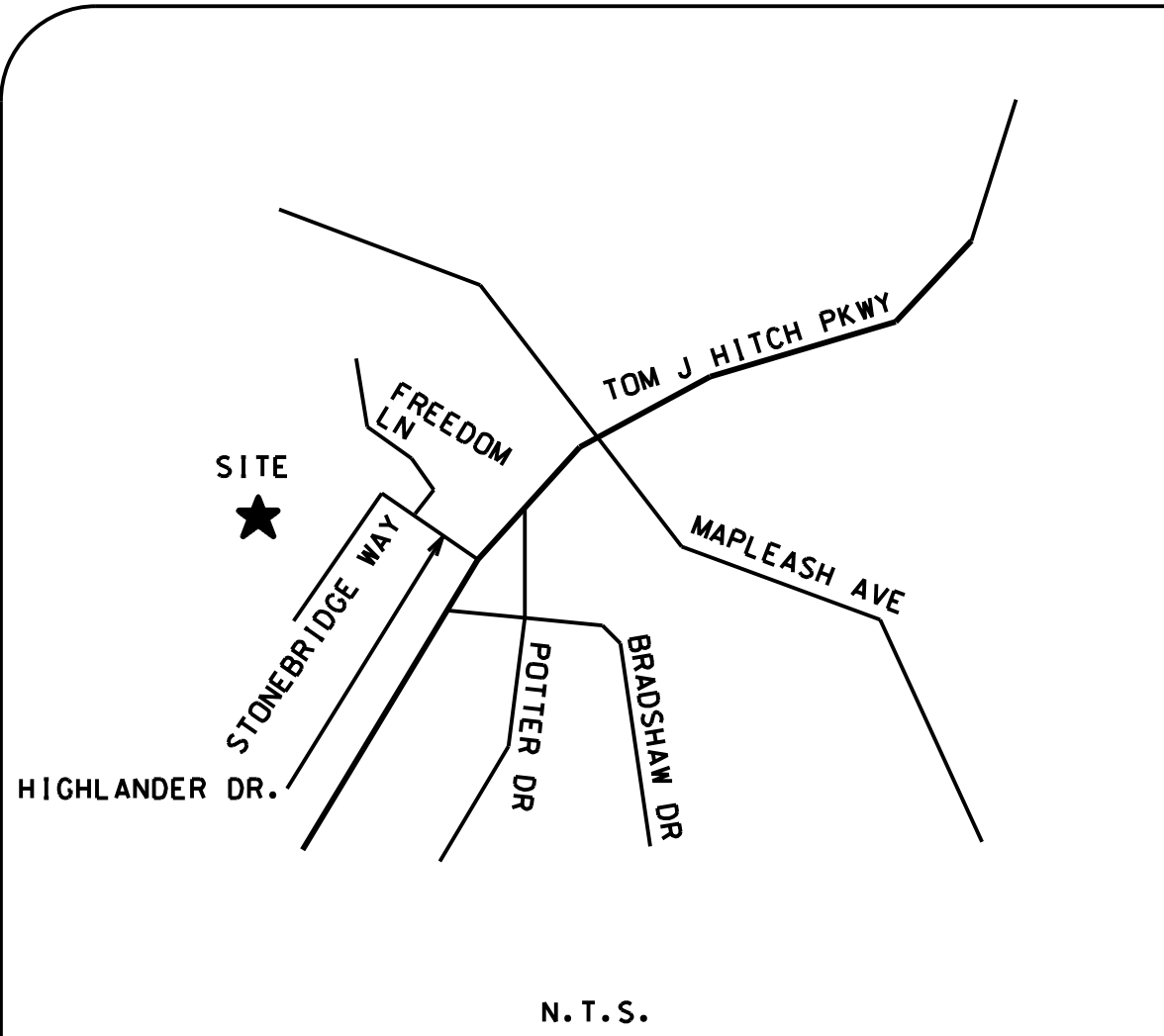


W. SCOTT WILLIAMS & ASSOCIATES  
CONSULTING ENGINEERING  
CIVIL, MECHANICAL, ELECTRICAL, AND SURVEYING  
4530 Arnette Avenue  
P.O. Box 1885  
Haverford, PA 19041  
P: 610-662-6922  
F: 610-662-6989  
E: WScottWilliams@comcast.net

CLIENT:  
NORTHSTAR EQUITY, LLC  
300 QUARRY LANE  
HAVERFORD, PA 19041  
Office 859-816-8015

ORIGINAL ISSUE:  
APR 9, 2019  
SHEET NO.  
C1  
JOB NO. 1901





VICINITY MAP

LEGEND

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- STORM SEWER
- SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN OUT
- SA SANITARY SEWER
- BUILDING SETBACK LINE
- FENCE
- F/O FIBER OPTIC
- COMM COMMUNICATION
- 4 STORM STRUCTURE NUMBER
- STORM SEWER
- CATCH BASIN
- CONCRETE HEADWALL
- 986 PROPOSED FINISHED GRADE CONTOUR
- 926+9 PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SURFACE DRAINAGE SWALE DIRECTION (MIN 12" ASPHALT, 22" GRASS)
- RIPRAP APRON
- LIMIT OF CONSTRUCTION

GENERAL NOTES:

BORROW MATERIAL TO BE USED FOR FILL WILL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS WILL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. SIX (6) DENSITY TESTS SHOULD BE PERFORMED NO LESS THAN EVERY 10,000 SQUARE FEET OF AREA PER 8-INCH LIFT (APPROX. 1 TEST PER EVERY 50 FEET).

A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.

PRIOR TO DIGGING, CALL TENNESSEE ONE CALL TO LOCATE UTILITIES 3 OR MORE DAYS IN ADVANCE.

SEE D2/4 FOR TYPICAL PIPE BEDDING DETAIL.

SEE D2/3 FOR TYPICAL ENVIRONMENTAL STATEMENT TO BE PLACED ON ALL STORM SEWER INLETS / MANHOLES.

All stormwater pipes must be installed correctly with adequate pipe bedding, backfill and stormwater joint techniques.

See the following for proper installation practices:

- Reinforced Concrete Pipe (RCP) - ASTM C 1479-01
- Double Walled High-Density Polyethylene (HDPE) - ASTM D 2321

DRAINAGE NOTES:

FOR ALL BUILDINGS:

DOWNSPOUT SPLASH PADS MAY BE USED ON FRONT ROOF DRAINS AS LONG AS CONTRACTOR ENSURES POSITIVE DRAINAGE (MIN 2") AWAY FROM ALL BUILDINGS. EXTENSIONS MAY BE USED AS LONG AS THE PIPES ARE TERMINATED IN GRASS AREAS. ALL REAR GUTTERS SHALL BE EXTENDED TO TOE OF STEEP SLOPES.

ALL BUILDINGS SHALL HAVE 6" VERTICAL GRADE DROP TO ADJACENT GRASS AREAS. ALL GRASS AREAS SHALL SLOPE AWAY FROM THE BUILDING AT 2% SLOPE WHERE POSSIBLE AND 1% MINIMUM SLOPE.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS THROUGHOUT AND AT THE END OF CONSTRUCTION.

SITE DATA

ZONING: RM-1

BUILDING SETBACKS:

FRONT....ARTERIAL STREETS 40'; COLLECTOR STREETS 35'; MINOR STREETS 20'

SIDE.....ONE & TWO STORY BUILDINGS 7'(15' TOTAL); THREE STORY BUILDINGS 10'(30' TOTAL)

REAR.....20'

MAXIMUM LOT COVERAGE BY ALL BUILDINGS IS 50%.

HEIGHT RESTRICTION IS 35 FEET.

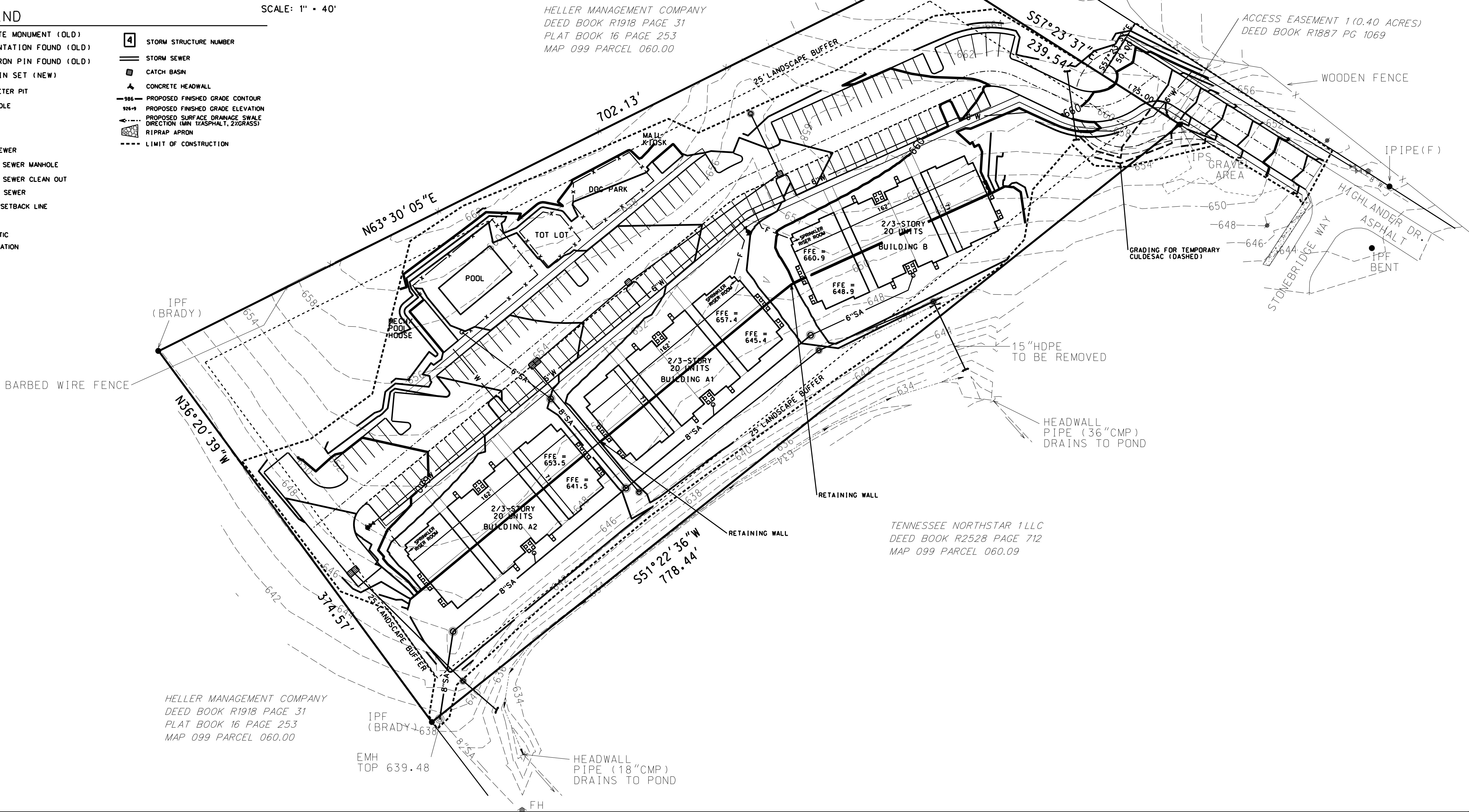
PROPOSED DENSITY: 60 APARTMENT UNITS & 1 CLUBHOUSE

PROPOSED IMPERVIOUS AREA: 2.3 ACRES

PROPOSED DISTURBED AREA: 4.2 ACRES

GRADING NOTES (SEE SWP1-4 FOR EROSION CONTROL NOTES):

- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D698. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY, PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2' OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
- ALL SLOPES TO BE 3'H:1'V UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2'H:1'V. IF ROCK IS ENCOUNTERED IN SLOPES, CONTRACTOR TO NOTIFY ENGINEER SO NEW DESIGN CAN BE CONSIDERED BEFORE CONTINUING WORK.
- FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PLAN PRIOR TO DISTURBANCES.
- ALL GRADING AND DRAINAGE ORDINANCES OF COLUMBIA SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS. STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 6". A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS. THE SOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DIRT, DEBRIS, ETC. SHALL BE HAULED OFF.
- A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK. OUTLET STRUCTURES MAY NEED TO BE ALTERED WHILE USED AS SEDIMENT BASIN. SEE SWPPP.
- FFE = FINISHED FLOOR ELEVATION
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH A.D.A. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.



NOT FOR CONSTRUCTION

REVISIONS		DATE	DESCRIPTION
1		4/25/19	CITY COMMENTS

GRADING AND DRAINAGE PLAN

STONEBRIDGE APARTMENTS PHASE 2

HIGHLANDER DR., NEAR TOM J HITCH PKWY, COLUMBIA, TENNESSEE

TAX MAP 099 PARCEL 060.10



W. SCOTT WILLIAMS ASSOCIATES

CONSULTING ENGINEERING AND SURVEYING

4530 Anheuser-Busch Pkwy, Suite 37921, Louisville, KY 40241

E-Mail: wscottwilliams@comcast.net

CLIENT:

NORTHSTAR EQUITY, LLC

300 QUARRY LANE, HAVERTOWN, PA 19041

Office 859-816-8015

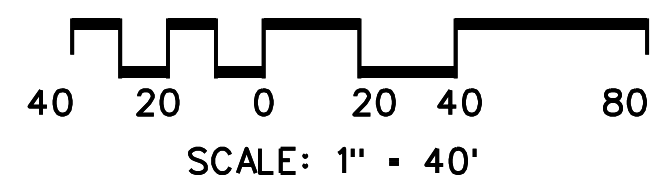
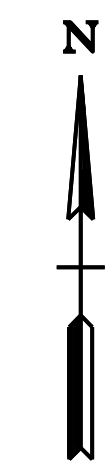
ORIGINAL ISSUE:

APRIL 9, 2019

SHEET NO.

C2

JOB NO. 1901



## LEGEND

- |        |                           |           |                                                                        |
|--------|---------------------------|-----------|------------------------------------------------------------------------|
| ● MON  | CONCRETE MONUMENT (OLD)   |           |                                                                        |
| ● (F)  | MONUMENTATION FOUND (OLD) | ———       | STORM SEWER                                                            |
| ● IPF  | 1/2" IRON PIN FOUND (OLD) | ⌘         | CATCH BASIN                                                            |
| ● IPS  | IRON PIN SET (NEW)        | ⌘         | CONCRETE HEADWALL                                                      |
| WM     | WATER METER PIT           | — 986 —   | PROPOSED FINISHED GRADE CONTOUR                                        |
| # PP   | POWER POLE                | 926+9     | PROPOSED FINISHED GRADE ELEVATION                                      |
| — ) —  | GUY WIRE                  | ⌘ — — — — | PROPOSED SURFACE DRAINAGE SWALE DIRECTION (MIN 12" ASPHALT, 22" GRASS) |
| -----  | EASEMENT                  | ⌘         | RIPRAP APRON                                                           |
| =====  | STORM SEWER               | ---       | LIMIT OF CONSTRUCTION                                                  |
| ⊙      | SANITARY SEWER MANHOLE    |           |                                                                        |
| CO     | SANITARY SEWER CLEAN OUT  |           |                                                                        |
| — SA — | SANITARY SEWER            |           |                                                                        |
| .....  | BUILDING SETBACK LINE     |           |                                                                        |
| — X —  | FENCE                     |           |                                                                        |
| F/O    | FIBER OPTIC               |           |                                                                        |
| COMM   | COMMUNICATION             |           |                                                                        |

## LANDSCAPE LEGEND

- |                                                                                   |                                     |
|-----------------------------------------------------------------------------------|-------------------------------------|
|  | EVERGREEN TREE (MIN. 6' TALL)       |
|  | SHADE TREE (MIN. 2.5" CALIPER)      |
|  | ORNAMENTAL TREE (MIN. 1.5" CALIPER) |
|  | LARGE SHRUB (MIN. HEIGHT 3')        |
|  | MEDIUM SHRUB (MIN. HEIGHT 2')       |
|  | SMALL SHRUB (MIN. HEIGHT 18")       |
|  | EVERGREEN SHRUB (MIN. HEIGHT 4')    |

**NOTES:**

THIS PLAN IS TO SHOW MINIMUM LANDSCAPING REQUIRED FOR THE PROJECT.  
A FINAL LANDSCAPE PLAN SHOULD BE PROVIDED BY OTHERS FOR CONSTRUCTION.

## SITE DATA

ZONING: RM-1

BUILDING SETBACKS:  
FRONT....ARTERIAL STREETS 40'; COLLECTOR STREETS 35';  
MINOR STREETS 20'  
SIDE.....ONE & TWO STORY BUILDINGS 7'(15' TOTAL);  
THREE STORY BUILDINGS 10'(30' TOTAL)  
REAR.....20'

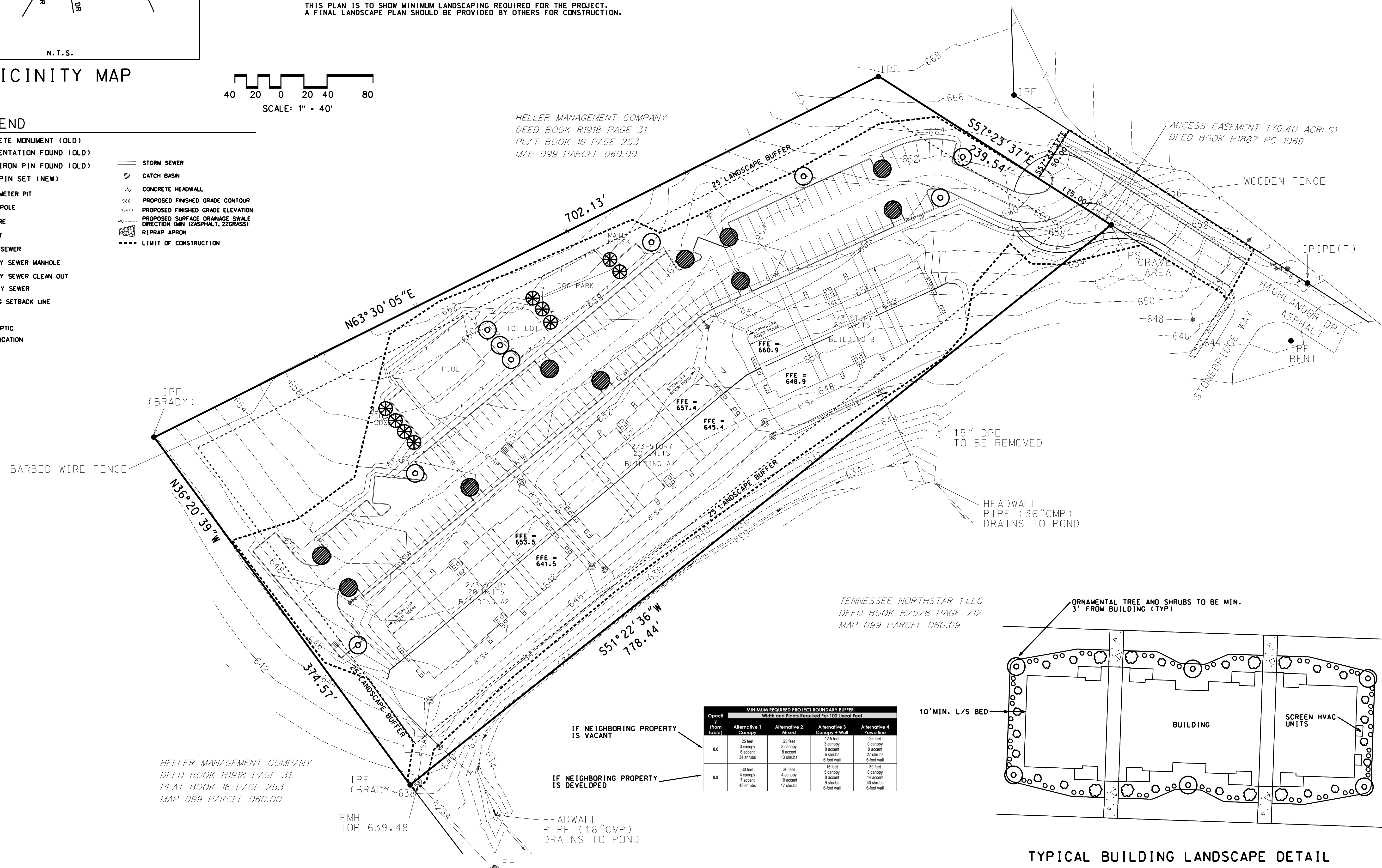
MAXIMUM LOT COVERAGE BY ALL BUILDINGS IS 50%.

HEIGHT RESTRICTION IS 35 FEET.

PROPOSED DENSITY: 60 APARTMENT UNITS & 1 CLUBHOUSE

PROPOSED IMPERVIOUS AREA: 2.3 ACRES

PROPOSED DISTURBED AREA: 4.2 ACRES



## TYPICAL BUILDING LANDSCAPE DETAIL

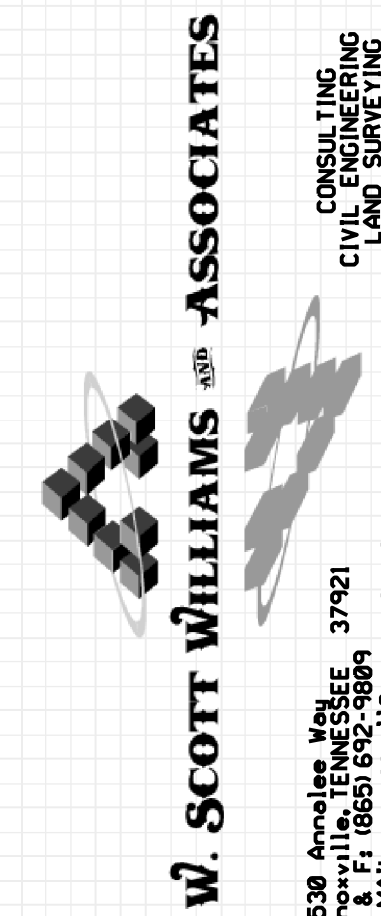
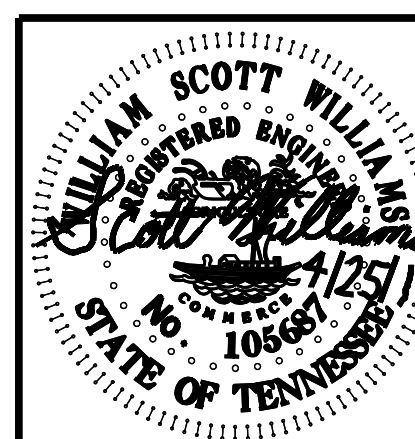
**NOT FOR CONSTRUCTION**

[illegible]

## LANDSCAPE PLAN

STONEBRIDGE APARTMENTS  
PHASE 2

HIGHLANDER DR. NEAR TOM J HITCH PKWY.  
COLUMBIA, TENNESSEE  
TAX MAP 099 PARCEL 060.10



**CLIENT:**

**NORTHSTAR EQUITY, LLC**

300 QUARRY LANE  
HAVERFORD, PA 19041  
Office 859-816-8015

ORIGINAL ISSUE:

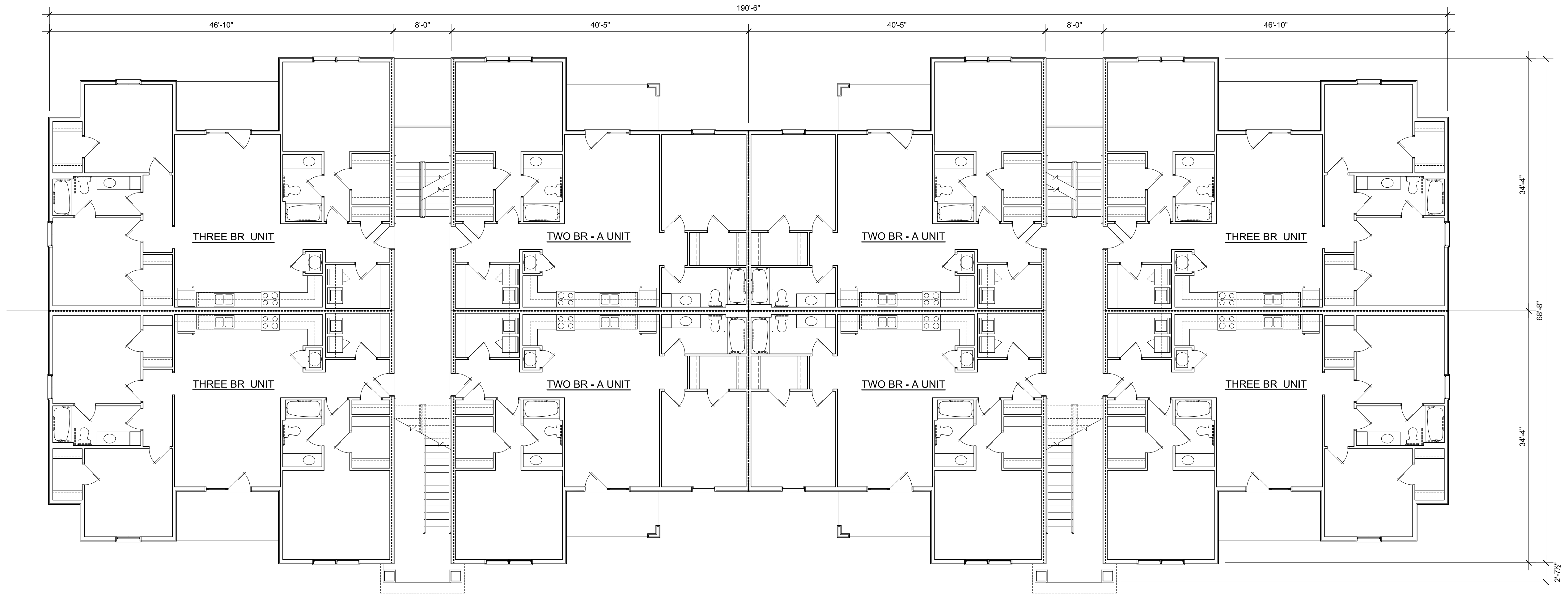
APRIL 9, 2019

SHEET NO.

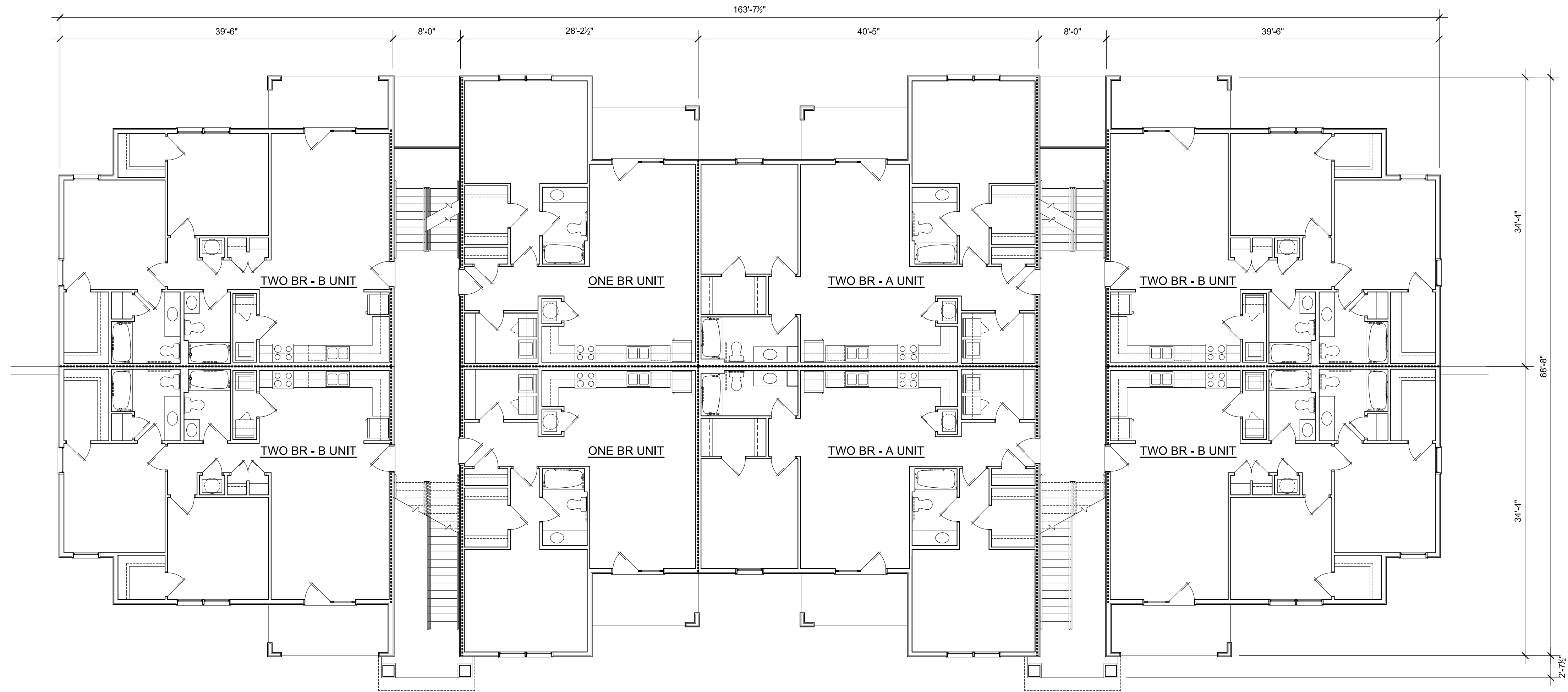
L1

JOB NO. 1901

Apr 26, 2019 - 1008an C:\Users\Paul\Dropbox\Stonebridge 2\SR2_PRESENTATION BLDG PLANS.dwg

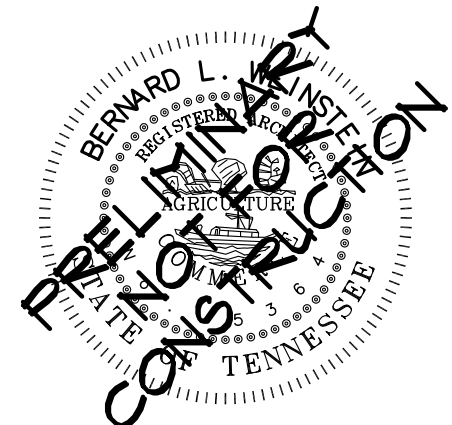


**BUILDING B FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING A1 & A2 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- FIRE RATING LEGEND**
- 1 HR FIRE RATED PARTITION, TENANT SEPARATION (ALL FLRS) OR EXIT PROTECTION @ BRZWYS, EXTEND INTO SOFFIT ABOVE BRZWY WALLS IN ATTIC.
  - DRAFTSTOP IN ATTIC SPACE IN LINE W/ TENANT SEPARATION (PARTY) WALLS FROM TOP PLATE TO ROOF DECK.



**BERNARD L. WEINSTEIN  
& ASSOCIATES · ARCHITECTS  
NASHVILLE, TENNESSEE**

PROJ. NO.  
DATE  
04/26/19  
REVISED

**STONEBRIDGE APTS. - PHASE 2**  
HIGHLANDER DR NEAR TOM J. HITCH PKWY  
COLUMBIA, TENNESSEE

BUILDING PLANS

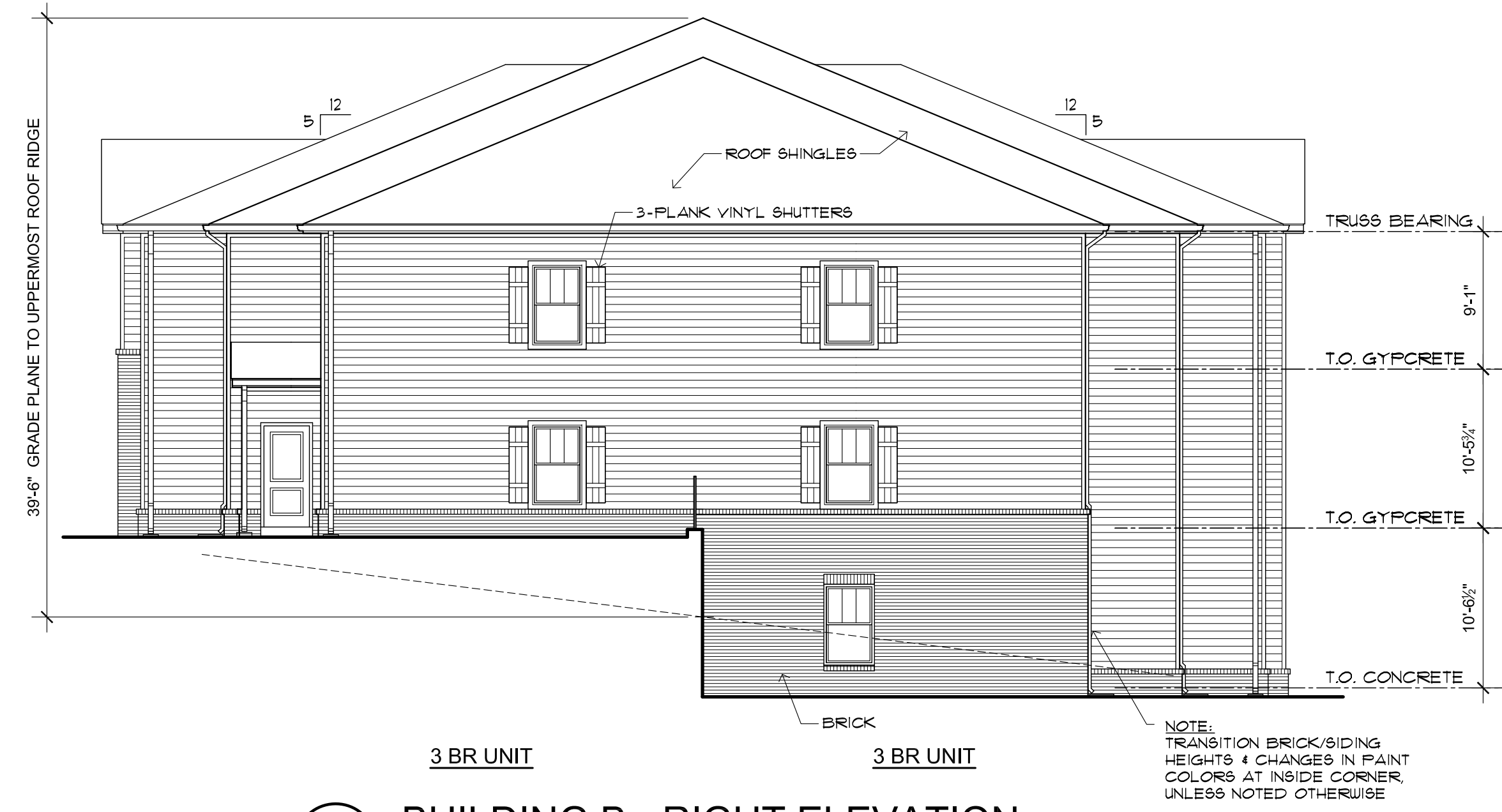
**A1**

**BLW**

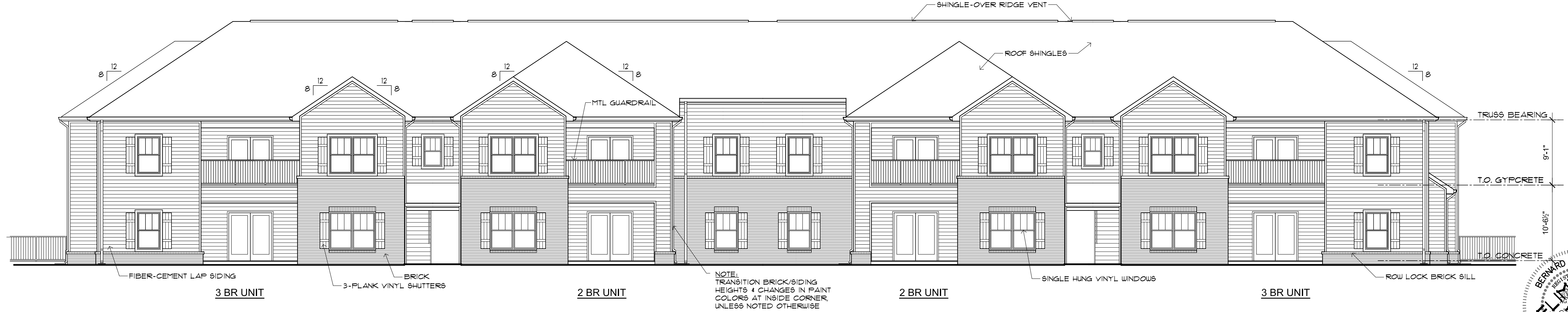
Apr 26, 2019 - 1021am C:\Users\Paul\Dropbox\Stonebridge 2\SB2_PRESENTATION BLDG PLANS.dwg



3 BUILDING B - REAR ELEVATION  
SCALE: 1/8" = 1'-0"



2 BUILDING B - RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



1 BUILDING B - FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

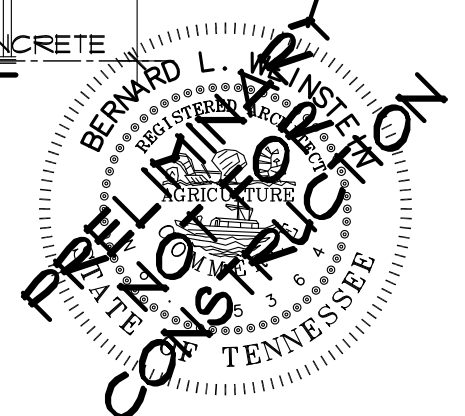
BERNARD L. WEINSTEIN  
& ASSOCIATES - ARCHITECTS  
NASHVILLE, TENNESSEE

PROJ. NO.  
DATE  
04/26/19  
REVISED

STONEBRIDGE APTS. - PHASE 2  
HIGHLANDER DR NEAR TOM J. HITCH PKWY  
COLUMBIA, TENNESSEE

BUILDING ELEVATIONS

A2  
BLW



**Case Number:**

19-0018

**Request:**

Request from Martin Engineering and Surveying for preliminary plat approval of Columbia Meadows Subdivision Phase 1 off Sidco Drive being Tax Map 114 Parcel 19.

**STAFF REPORT CONTACT INFORMATION**

Paul Keltner, Director of Development Services, [paul@columbiatn.com](mailto:paul@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**2019-0018**

APPLICANT/PROPERTY OWNER  
**Martin Engineering and Surveying**

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION  
**Precast Drive**

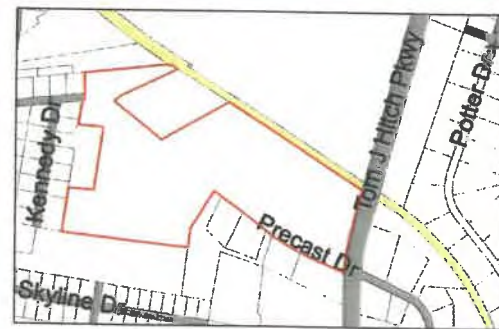
**NA**

**BRIEF SUMMARY OF REQUEST**

This preliminary plat request comes after Master Plan approval in February of 2019. Phase 1 of Columbia Meadows (which will need to be changed per 911) consist of 17 townhome units and an equal number in single family dwellings.

**Staff Notes:**

The dumpster area will need a turn around and gravel is not an allowed surface and will need to be hard surfaced.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RM-1 Residential	Residential	Residential Industrial	NA	8 acres

<b>COMPATIBILITY with the COMPREHENSIVE PLAN</b>  NA	<b>PROPERTY HISTORY</b>  This property is undeveloped.
<b>COMPATIBILITY with the ZONING ORDINANCE</b>  Staff finds this request to be compliant subject to staff notes.	

ATTACHMENTS (CIRCLE)

**SUBMITTED PLANS**

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

**AGENCY COMMENTS**

RESPONSE TO STANDARDS



## TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

### **ITEM NO.**

19-0018

**DESCRIPTION:** Request from Martin Engineering & Surveying for Preliminary Plat approval of Columbia Meadows Phase 1 located at Tax Map 114 Parcel 19 off Sidco and Precast Drives.

**RECOMMENDATION:** For final recommendation please see staff report.

### **PRESCREENING AND DIVISION COMMENTS:**

#### **Engineering**

1. Subject to Construction Plan Approval
2. Cul-de-sac radius to be 45'
3. Provide curb ramps and sidewalks at side roads

#### **Columbia Water**

4. Water is available for domestic and fire protection.

#### **Columbia Power**

5. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

#### **Atmos Energy**

6. Gas available on Tom J. Hitch.

#### **Maury County E911**

7. I am not sure where the names came from. Columbia Meadows is already an apartment complex name off of Hatcher Lane. I am also not sure where Sherman Way and Bouchard Ct. is from. They have not been requested or approved.

## **Planning**

8. Show dumpster location.

## **Fire**

9. Townhomes must be constructed in accordance with the 2012 International Residential Code.

## **Maury County Schools**

10. School Attendance Zones for this development:

Joseph Brown Elem. School: Capacity - 462; Projected Enrollment 2018/19 - 275

EA Cox Middle School: Capacity - 917; Projected Enrollment 2018/19 - 738

Columbia Central High School: Capacity - 1852; Projected Enrollment 2018/19 - 1325

Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:

Joseph Brown Elementary School: Capacity - 462; Projected Enrollment 2019/20 - 360

EA Cox Middle School: Capacity - 917; Projected Enrollment 2019/20 - 761

Spring Hill High School: Capacity - 1852; Projected Enrollment 2019/20 - 1445

## **Wastewater**

11. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

**ATTACHMENTS: Preliminary Plat.**

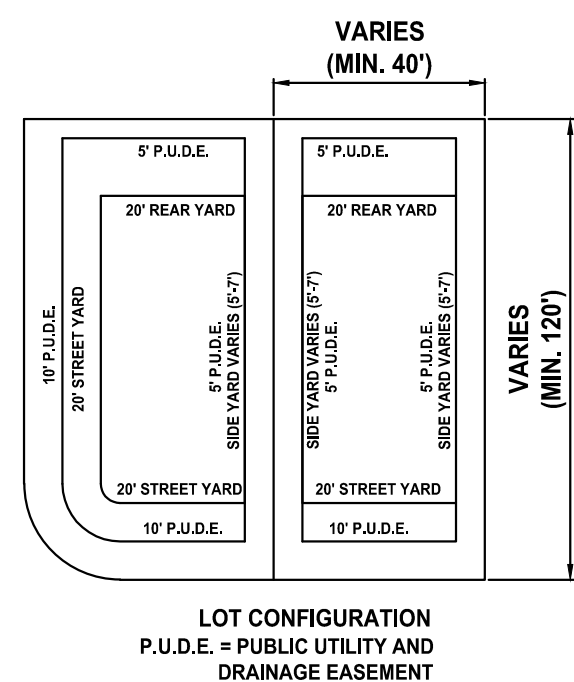
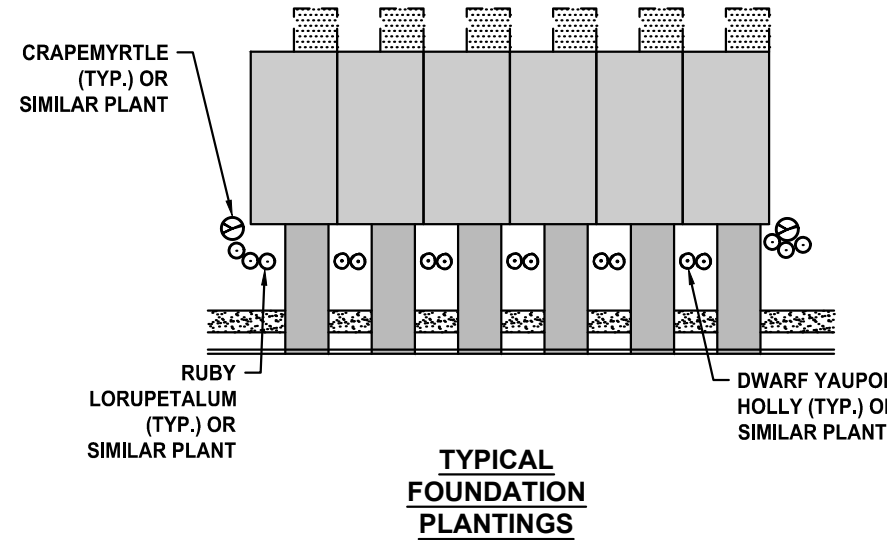
PHASE 1 LOT TABLE	
LOT NUMBER	AREA (SF)
1	6,457
2	5,040
3	5,094
4	5,165
5	5,230
6	6,589
7	7,951
8	7,460
9	7,752
10	7,903
11	7,657
12	6,045
13	5,564
14	5,938
15	5,527
16	5,200
17	7,027

LINE TABLE		
LINE#	LENGTH	DIRECTION
L1	21.60	S32°30'40"W
L2	38.00	N27°51'15"E
L3	5.80	N27°51'15"E
L4	26.60	N27°51'15"E
L5	22.70	S27°51'15"W
L6	4.21	S27°51'15"W
L7	5.80	S27°51'15"W
L8	38.00	S27°51'15"W
L9	15.70	N27°51'15"E
L10	3.57	S16°16'18"W
L11	5.97	S16°16'18"W
L12	17.84	S28°30'28"E
L13	19.20	S27°51'15"W
L14	26.70	N27°51'15"E
L15	21.12	N27°51'15"E
L16	17.87	S49°17'00"E
L17	16.52	N27°50'40"W
L18	25.60	N27°50'40"W

CURVE TABLE				
CURVE #	LENGTH	RAADIUS	CHORD	CHORD LENGTH
C1	45.10	20.00	100°29'32"	39.60
C2	34.40	175.44	171°48'00"	34.80
C3	62.40	260.57	114°00'00"	62.40
C4	8.37	393.30	44°07'31"	1.80
C5	139.62	260.57	274°54'41"	139.62
C6	47.34	260.57	119°30'00"	47.34
C7	39.20	25.00	89°50'00"	35.30
C8	38.64	175.80	123°38'00"	38.95
C9	4.12	175.80	123°38'00"	4.12
C10	5.34	63.00	93°21'31"	5.30
C11	35.80	63.00	32°44'00"	35.90
C12	5.72	55.00	57°57'38"	5.72
C13	34.81	55.00	39°20'50"	34.13
C14	29.60	55.00	39°20'50"	29.33
C15	26.64	55.00	27°40'11"	26.30
C16	29.60	55.00	39°20'50"	29.33
C17	29.60	55.00	39°20'50"	29.33
C18	29.60	55.00	39°20'50"	29.33
C19	34.82	55.00	39°21'15"	34.13
C20	24.22	55.00	29°24'01"	23.91
C21	24.44	63.00	24°02'41"	24.24
C22	19.50	63.00	17°43'50"	19.42
C23	35.54	125.00	14°50'00"	35.47
C24	39.28	25.00	89°50'00"	39.30
C25	1.90	25.00	42°38'18"	1.90
C26	6.85	380.00	1°18'31"	6.80
C27	27.49	380.00	51°59'00"	27.48
C28	38.60	193.00	14°50'00"	38.50

## LEGEND

EXISTING SANITARY SEWER	
SANITARY SEWER	
WATER LINE	
SANITARY SEWER MANHOLE	
FIRE HYDRANT ASSEMBLY	
WATER VALVE	
STOP SIGN	



PURPOSE OF SUBMITTAL - TO OBTAIN PRELIMINARY PLAT APPROVAL OF 17-TOWNHOME UNITS AND 17 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 8.01 ACRES OF PARCEL 19.00 IN TAX MAP 114 UNDER RM-1 PUD.

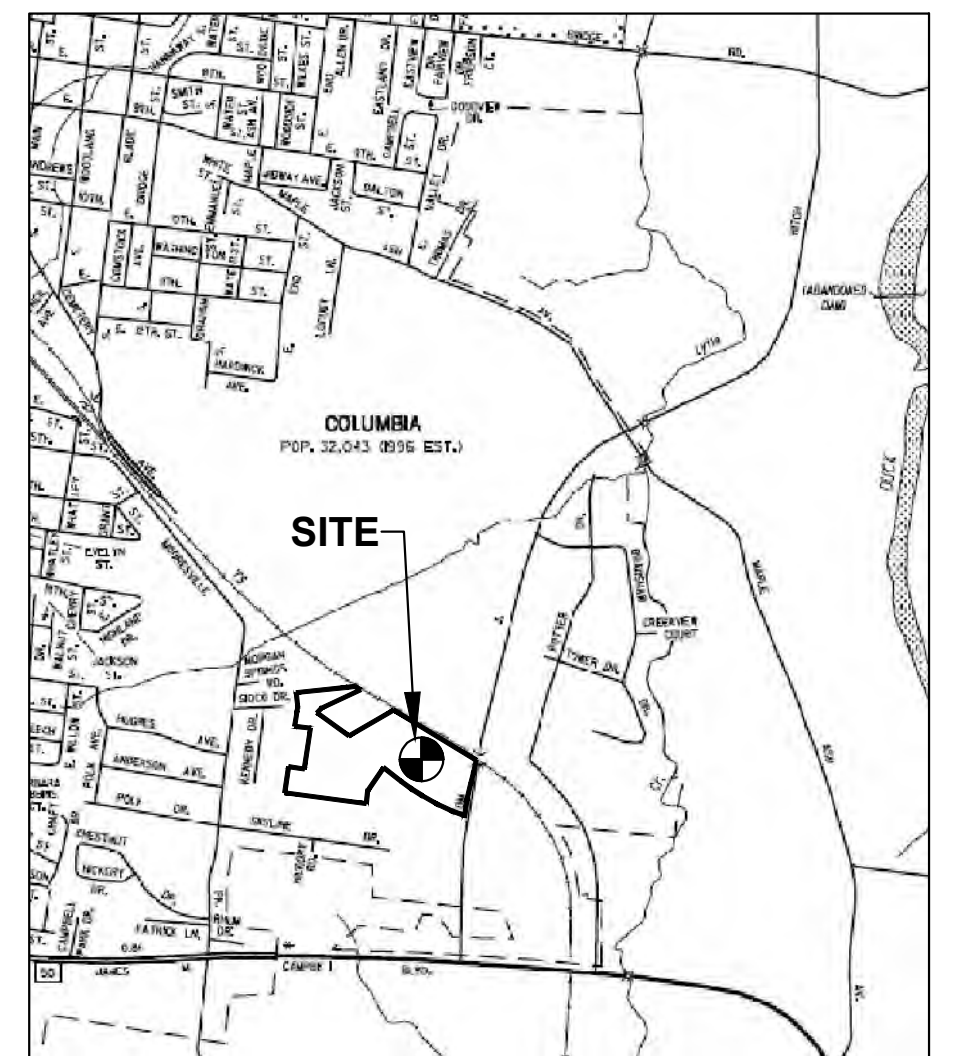
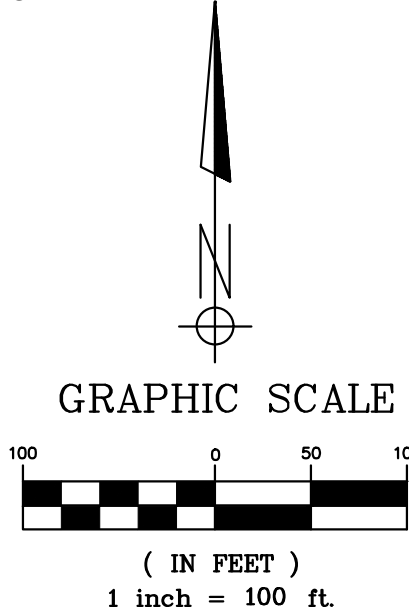
PROJECT DESCRIPTION:  
DEVELOP 17-TOWNHOME UNITS AND 17 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 7.79 ACRES OF LAND.

PROPERTY OWNER:  
COLUMBIA CONCRETE COMPANY INC.  
P.O. BOX 1469  
COLUMBIA, TN 38402  
TAX MAP 114, PARCEL 19.00  
DEED BOOK 1138 PAGE 925

THIS PROPERTY IS LOCATED WITHIN OTHER FLOOD AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47119C0285E, DATED APRIL 16, 2007.

# COLUMBIA MEADOWS PRELIMINARY PLAT PHASE 1 COLUMBIA, TENNESSEE MAURY COUNTY APRIL 26, 2019

NOTE:  
ALL ROAD NAMES TO BE APPROVED BY E-911.  
ALL PATIO AREAS TO REMAIN UNCOVERED.  
TOWNHOMES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 IRC.



TOWNHOME DENSITY PHASE 1		
UNITS	ACRES	UNITS/AC.
17	1.38	12.32

TOWNHOME OPEN SPACE SUMMARY PHASE 1			
OPEN SPACE	AREA (AC)	PERCENT OF SITE	USABLE AREA (AC)
OPEN SPACE	0.53	38.4%	0.4
TOTAL	0.53	38.4%	0.4

PRIVATE OPEN SPACE REQUIREMENTS			
UNIT TYPE	AREA REQUIRED / UNIT (SF)	TOTAL REQUIRED (SF)	TOTAL PROVIDED (SF)
ATTACHED UNITS	500	17 X 500 = 8,500	8,500

TOWNHOME PARKING SUMMARY PHASE 1					
TYPE UNIT	# UNITS	TOTAL BR'S	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	OFFSTREET PARKING PROVIDED
20' - 3BR (1 CAR GAR.)	11	33	11(0)	11	
24' - 3BR (2 CAR GAR.)	6	18	12(1)	12	
TOTAL	17	51	33(1)	33(33)	7
TOTAL PARKING PROVIDED ..... 33 + 33 + 7 = 73					
TOTAL PARKING REQUIRED ..... 51/2 X 1.5 = 39					
TOTAL PARKING ALLOWED BY REGS. .... 1 + 33 + 7 = 41					

PERVIOUS / IMPERVIOUS BREAKDOWN - TOWNHOMES PHASE 1		
USE	ACRES	SITE%
ROADWAYS, PARKING, BUILDINGS & SIDEWALKS	0.85	61.6%
OPEN SPACE	0.53	38.4%
TOTAL	1.38	100%

SITE USE SUMMARY SINGLE-FAMILY PHASE 1		
USE	ACRES	SITE%
LOTS	2.47	38.5%
ROAD	1.82	28.4%
OPEN SPACE	2.12	33.1%
TOTAL	6.41	100%

DEVELOPMENT SCHEDULE					
PHASE	NUMBER OF TOWNHOME UNITS	UNITS	NUMBER OF SINGLE-FAMILY LOTS	LOTS	COMPLETION DATE
PHASE 1	17	1-17	17	1-17	SEPT. 2019



**MARTIN ENGINEERING & SURVEYING, LLC**  
5226 Main Street, Suite C-3  
Spring Hill, TN 37174  
615.812.2147  
gary@martinengr.com

**Case Number:**

19-0015

**Request:**

Request from T-Square Engineering to annex with a plan of services 28 acres off Frye Road being Tax Map 52 Parcel 14 with an R-10 zoning.

**STAFF REPORT** CONTACT INFORMATION

Paul Keltner, Director of Development Services, [paul@columbiatn.com](mailto:paul@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**2019-0015**

APPLICANT/PROPERTY OWNER  
**T Squared Engineering**

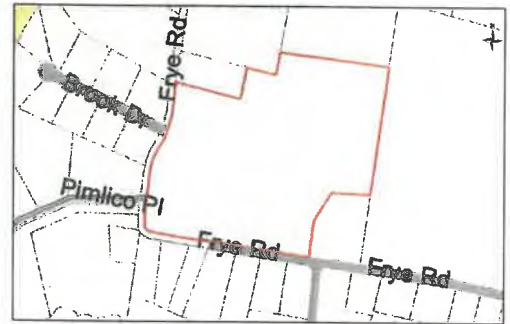
PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION  
**Frye Road Map 52 Parcel 14**

**July 11th 2019.**

**BRIEF SUMMARY OF REQUEST**

This is an application to annex with a plan of services 28 acres with a zoning request of R-10. The concept plan for this property shows 74 lots in an alternative development pattern as described in Zoning Ordinance Article 6.3.9.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
County – Rural A-2	Single Family Dwelling	Residential	NA	28 acres

**COMPATIBILITY** with the COMPREHENSIVE PLAN

Suburban Neighborhood is the land use designation which allows the zoning of the R-10 zone.

**PROPERTY HISTORY****COMPATIBILITY** with the ZONING ORDINANCE

Staff would find this request to be compatible with the City's adopted policies and plans

ATTACHMENTS (CIRCLE)

**SUBMITTED PLANS**

**CITY MAPS**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

**AGENCY COMMENTS**

**RESPONSE TO STANDARDS**

OTHER (DESCRIBE)

Section 3.19.6 of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items for the amendment:

---

### 3.19.6 CRITERIA FOR PLANNING COMMISSION RECOMMENDATIONS

...

The recommendations of the Planning Commission to the City Council shall show that the Planning Commission has studied and considered the proposed change in relation to the following, where applicable:

- Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;
  - Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;
  - Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general; and
  - Whether the subject parcel is of adequate shape and size to accommodate the proposed change.
- 

Staff's review of Section 3.19.6 in relation to this rezoning request finds the following:

- A. Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;

*The proposed Comprehensive Plan designation for the subject property is Rural Countryside which supports the proposed RS-40 zoning.*

- A. The legal purposes for which zoning exists are not contravened;

*All future development of the property will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.*

- B. Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;

*The proposed zoning will continue those established patterns within the area.*

- C. Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general;

*The proposed uses on the property at the time of development will be required to conform to the zoning ordinance standards in effect at that time to mitigate any potential adverse impacts upon adjoining property owners.*

- D. Whether the subject parcel is of adequate shape and size to accommodate the proposed change;

*The parcel exceeds the minimum lot area required as stated in Zoning Ordinance 3638.*

Section 3.18.7(B) of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items:

---

### 3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONINGS

...

#### B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

---

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

*The proposed Comprehensive Plan designates the subject property as Rural Countryside. The request would be in agreement with the plan.*

2. The legal purposes for which zoning exists are not contravened;

*All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.*

3. There will be no adverse effects upon adjoining property owners;

*The surrounding properties are of similar development patterns as the proposed use and subdivision, hence no adverse effects.*

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

*The proposal is following the comprehensive plan allowance as approved by the general public representatives.*

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

*The City's growth and adaptation of a general land use plan for the area which the request is following is sufficient enough to warrant the amendment.*

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

*The rezoning will have a negligible impact on schools, roads, and parks*



## TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

### ITEM NO.

19-0015

**DESCRIPTION:** Request from T-Square Engineering to annex and approve a plan of services for property located at Tax Map 52 Parcel 14.00 located off Frye Road with a R-10 zoning.

**RECOMMENDATION:** For final recommendation please see staff report.

### **PRESCREENING AND DIVISION COMMENTS:**

#### Engineering

1. Concept Plan - Max Length of dead end roadway is 650'
2. Concept Plan - Provide hydraulic determination on all potential conveyances

#### Columbia Water

3. Domestic water is available for this site. A study will have to be made for fire protection.

#### Columbia Power

4. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction. (*Access and Circulation*)

#### Atmos Energy

5. 2" PE gas available on Frye Road.

#### Fire

6. No comments for annexation.

## **Planning**

7. Add Typical Lot detail
8. Verify Lot 46 is at least 10,000 sqft in size.
9. Note that all boundary lots will have setbacks as street 30', rear 30', and side as 10'
10. Show table of open space that equals or exceeds the lot reduction square footages.

## **Maury County Schools**

11. School Attendance Zones for this development:

Spring Hill Elem. School: Capacity - 616; Projected Enrollment 2018/19 - 566

Spring Hill Middle School: Capacity - 1045; Projected Enrollment 2018/19 - 989

Spring Hill High School: Capacity - 1200; Projected Enrollment 2018/19 - 1165

Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:

Spring Hill Elementary School: Capacity - 616; Projected Enrollment 2019/20 - 419

Spring Hill Middle School: Capacity - 1045; Projected Enrollment 2019/20 - 574

Spring Hill High School: Capacity - 1200; Projected Enrollment 2019/20 - 1242

## **Wastewater**

12. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

**ATTACHMENTS: Concept Plan.**

**6.3.9 ALTERNATIVE DEVELOPMENT (CLUSTERING)**

These provisions are intended to provide for variations in lot size and open space requirements within the Residential districts.

**A. Planning Commission Approval Required**

Alternative developments shall require Site Development Plan (Sec. 3.5) approval by the Planning Commission. In its review, the Planning Commission shall consider the following:

1. The preservation and protection of existing trees, ground cover, top soil, streams, rock outcroppings and scenic or historic sites from dangers and damage caused by excessive and poorly planned grading of streets and building sites;
2. The provisions for surface drainage control, sewage disposal, water supply, recreation and traffic control;
3. The protection of the character, property values, privacy and other characteristics of the surrounding neighborhood;
4. Generally all public utilities, specifically including water and a central sewage collection and treatment system shall be available. Where public sewer is not available, no lot or housing site may be created which is less than 20,000 square feet in area and all septic fields for each dwelling unit shall be located within the area of fee simple ownership of said dwelling unit; and
5. The standards found in this Section.

**B. Permitted Uses**

1. Generally, only one-family and two-family residential uses may be permitted in an alternative development. Multifamily and manufactured homes may not be permitted in an alternative development.
2. Up to 10% of the total site may be townhouse units, however all townhouses shall be located on the interior of a site.

**C. Minimum Development Size**

Alternative development standards may only be used for projects of 10 or more dwelling units.

**D. Permitted Net Density**

The aggregate density permitted is intended to be within the range of that allowable within a Conventional Development offering no common open space. The maximum number of dwelling units permitted shall be computed as follows:

1. From the gross acreage available within the development site shall be subtracted:
  - a. Any portion of the site which is within the right – of – way and/or easement for major utilities such as gas or electric transmission lines; and
  - b. Any portion of the site which lies within a floodway district.
2. The area remaining after the above adjustments shall be divided by the minimum development area per dwelling unit for the base district. For developments located in more than one zoning district the density shall be computed separately for portion of the development lying within each district. No developmental density may be transferred across zoning district boundaries.

**E. Minimum Lot Area**

Minimum lot dimensions shall be in accordance with the table below. Reductions below the minimum lot dimension by up to 25% may be established by the Planning Commission during the Development Plan review process.

Minimum Lot Area (square feet)*									
RS-40	R-40	RS-20	R-20	RS-10	R-10	RS-6	R-6	RM-1	RM-2
20,000	20,000	10,000	10,000	5,000	5,000	3,000	3,000	3,000	3,000
Townhouses shall be exempt from the minimum lot area requirements.									

**F. Yard and Buffer Requirements**

Within any development approved under the provisions of this section the following yard requirements shall apply:

1. Units located entirely within the interior of a site shall have no minimum yard depth requirements. However, each dwelling unit shall on its own lot have one yard containing not less than 400 square feet with a minimum horizontal dimension of 15 feet. This yard shall be reasonably secluded from view from streets and from neighboring property and shall not be used for off – street parking or for any accessory building. This yard shall not count towards required open space.
2. All lots located along the perimeter of a site shall comply with the Conventional Development yard and buffer provisions for the base district.

**G. Building Spacing**

All detached structures within an alternative development shall be separated by a minimum of ten feet.

**H. Lot Coverage**

Individual dwellings may exceed the maximum lot coverage provisions established for the district in which such site is located. However, in no instance shall the aggregate site coverage of all dwellings exceed the coverage provisions established for the district in which such site is located. In the event a project lies within two or more zoning districts, the coverage ratio applicable to each zone district shall apply to these dwellings located within the respective district. No transfer of coverage is permitted between zoning districts.

**I. Access to Dwellings**

Access to dwellings shall be provided in accordance with the provisions of Sec. 6.1.4, Access Requirements.

**J. Open Space Requirements**

1. The quantity of open space required shall be equal to the reduction in aggregate lot area if the project were developed under conventional development standards. In no case shall less than the base district open space requirement be provided. Yards required in Sec. 6.3.9F shall not count towards required open space;
2. Any open space held in common ownership shall be provided for in accordance with the requirements of Sec. Sec. 12.7.

# **PLAN OF SERVICES**

## **FOR ANNEXATION**

*Cynthia House & Shawn Rachel* **PROPERTY**  
**+/-27.97 ACRES,**  
*BEING*  
**TAX MAP 52 PARCEL 14.00**

### **A. Water**

As the property will be within the City of Columbia, water service will include fire protection to the property as required by the City of Columbia Fire Department standards.

### **B. Sewer**

1. Sewer is not currently adjacent to the parcel.
2. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rules, regulations, and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail designed plans for any extension of sewers have been proposed at this time.

### **C. Police**

The jurisdiction of the Columbia Police Department will be extended to the areas annexed immediately upon the effective date of annexation.

### **D. Fire and Rescue**

1. The City of Columbia Fire & Rescue Department will provide an array of services in a timely, courteous, and professional manner upon date of annexation.
2. The proposed annex is located on the property at Tax Map 52 Parcel 14 off Frye Road in Columbia, Tennessee. This location is approximately 1.9 miles from Columbia Fire Station #5 located at 2633 Nashville Highway, 4.6 miles from Fire Station #3 located at 1306 Nashville Highway, and 7.4 miles from Fire Station #1 located at 1000 South Garden Street.
3. The Columbia Fire & Rescue Department recommends a multi-faceted fire suppression approach. First, future homes should be constructed to meet or exceed all applicable fire and life safety codes. Secondly, even if not required by building, fire, or life safety codes, you should insist that fire sprinkler systems be installed for all future homes.

#### **E. Development Services**

1. The planning and zoning jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
2. The property shall be zoned R-10 (Low Density Residential) upon the effective date of the annexation.
3. The code administration jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
4. Upon the effective date of annexation, all development will be required to abide by the Columbia Zoning Ordinance.

#### **F. Streets**

1. Upon acceptance by City Council and all warranties have expired; all streets and drainage systems will be maintained by Public Works. Service will include street sweeping, catch basin cleaning, street repair and snow removal.
2. Upon acceptance by City Council, all approved street signs will be maintained by Public Works.

## **G. Parks and Recreation**

Residents of the annexed areas may use all existing recreational facilities, parks, etc., on the effective date of annexation. The same standards and policies now used in the present City will be followed in expanding the recreational program and facilities in the enlarged City.

## **H. Refuse Collection**

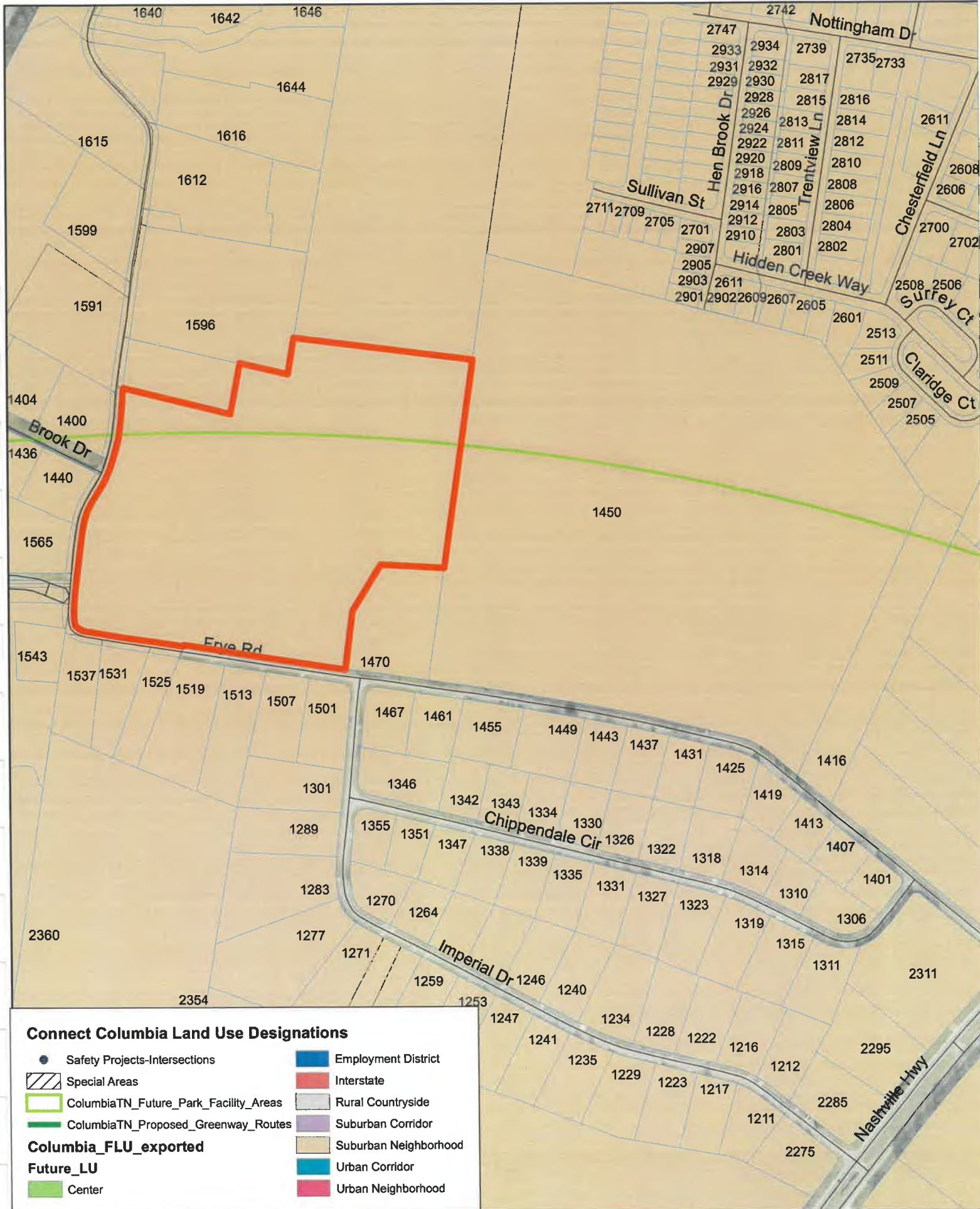
Sanitation will provide weekly refuse collection. Bi-weekly recycling will be offered on a subscription basis. Brush and bulky item collection will be provided.

## **I. Power**

Columbia Power System has an existing power line near the proposed development. CPWS is willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

## **J. Schools**

This property falls under the jurisdiction of Maury County Public School System.



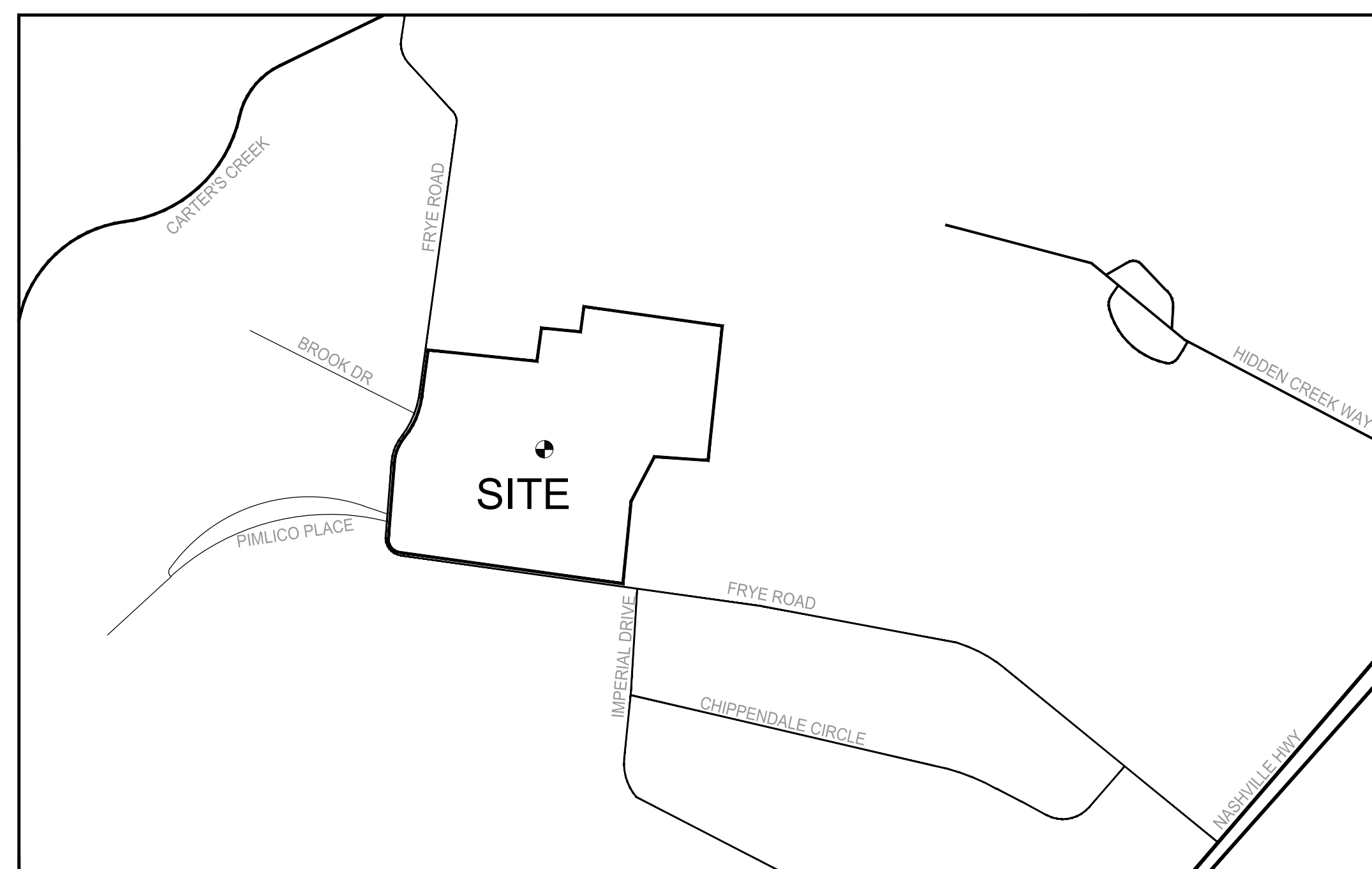


ANNEXATION SKETCH  
FOR  
TAX MAP 52, PARCEL 14.00  
FRYE ROAD  
COLUMBIA, TN 38401  
CITY OF COLUMBIA, WARD #5

ENGINEER:



T-SQUARE ENGINEERING  
701 WEST MAIN STREET  
FRANKLIN, TN 37064  
615-678-8212



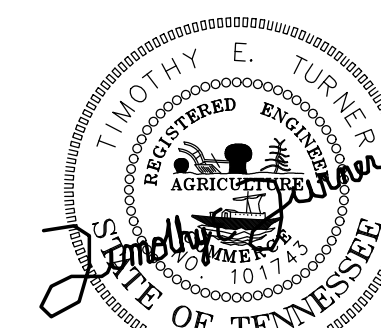
## SHEET SCHEDULE

**C-0.0 COVER**  
**C-1.0 EXISTING CONDITIONS**  
**C-2.0 SITE PLAN**

DATE:	NO.	DATE	REVISIONS
4-1-15-2019	1	4-26-19	REVISIONS PER CITY/OWNER COMMENTS
SCALE:			
AS SHOWN			
DRAWN BY:			
T-SQUARE			
REVIEWER:			
ET.			

COVER SHEET  
1470 FRYE ROAD  
3RD CIVIL DISTRICT  
MAURY COUNTY, TENNESSEE  
MAP 52 PARCEL 14.00

# FRYE ROAD

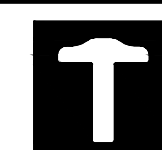


4-26-2019

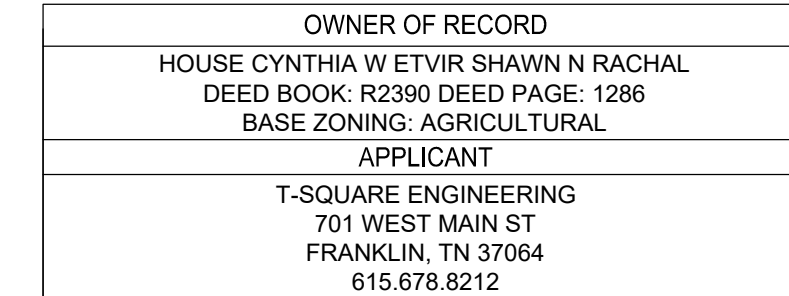
PROJECT  
18-0720

SHEET  
C-0.0

OWNER OF RECORD
HOUSE CYNTHIA W ETVIR SHAWN N RACHAL
DEED BOOK: R2390 DEED PAGE: 1286
BASE ZONING: AGRICULTURAL
APPLICANT
T-SQUARE ENGINEERING
701 WEST MAIN ST
FRANKLIN, TN 37064
615.678.8212



**T-SQUARE ENGINEERING**  
701 WEST MAIN STREET • FRANKLIN, TN • 615-678-8212 • [WWW.T2-ENG.COM](http://WWW.T2-ENG.COM)



<b>EXISTING CONDITIONS</b>  1470 FRYE ROAD  3RD CIVIL DISTRICT  MAURY COUNTY, TENNESSEE  MAP 52 PARCEL 14.00				DATE: 4-15-2019	NO.:	DATE	REVISIONS
				SCALE:	1	4-26-19	REVISIONS PER CITY/OWNER COMMENTS
				AS SHOWN			
				DRAWN BY:			
				T-SQUARE			
				REVIEWER:			
				TET			

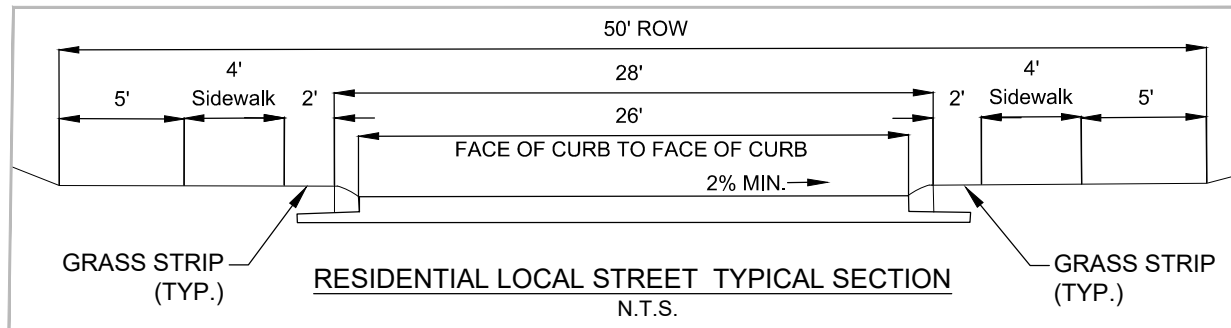
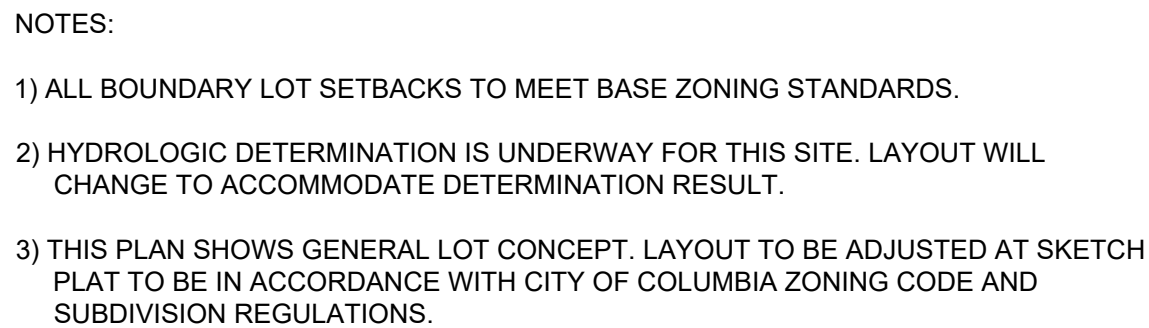
4-26-2019

PROJECT  
18-0720

SHEET  
C-1.0

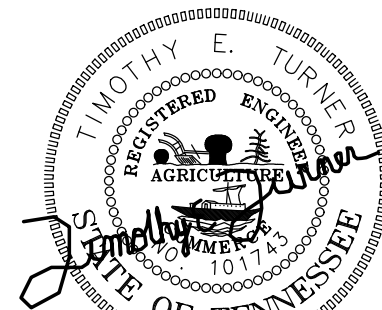
# FRYE ROAD

OPEN SPACE CALCULATION (IAW ZONING CODE 6.3.9.J)  
CLUSTER LOT REDUCTION = 3.02 AC  
BASE ZONE OPEN SPACE REQ'D = 1.95 AC  
  
REQUIRED OPEN SPACE = 3.02 AC  
PROVIDED OPEN SPACE = 6.83 AC



OWNER OF RECORD
HOUSE CYNTHIA W ETVIR SHAWN N RACHAL
DEED BOOK: R2390 DEED PAGE: 1286
BASE ZONING: AGRICULTURAL
APPLICANT
T-SQUARE ENGINEERING
701 WEST MAIN ST
FRANKLIN, TN 37064
615.678.8212

**SKETCH PLAN**  
1470 FRYE ROAD  
3RD CIVIL DISTRICT  
MAURY COUNTY, TENNESSEE  
MAP 52 PARCEL 14



4-26-2019

PROJECT  
18-0720

SHEET  
C-2.0

**Case Number:**

19-0007

**Request:**

Request from KCS Companies for final plat approval of Autumn Brook Subdivision at 420 Theta Pike with surety in the amount of \$103,000 being Tax Map 75 Parcel 45.

**STAFF REPORT** CONTACT INFORMATION

Paul Keltner, Director of Development Services, [paul@columbiatn.com](mailto:paul@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**2019-0007**

APPLICANT/PROPERTY OWNER  
**KCS Companies**

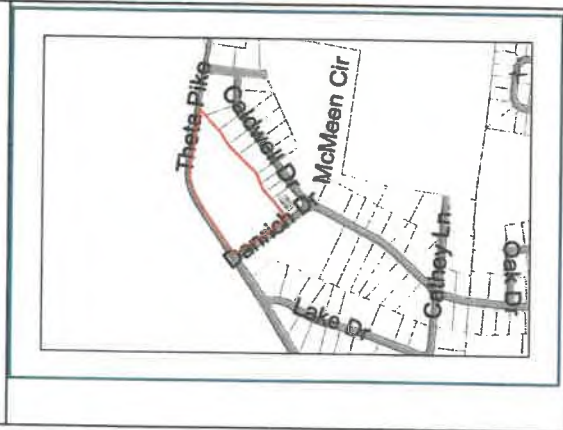
PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION  
**420 Theta Pike**

**NA**

**BRIEF SUMMARY OF REQUEST**

This request is for allowance to construct 22 single family homes on approximately 6 acres after Preliminary Plat approval in June 2017. All required infrastructure has been installed to support the home construction.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
R-6 Residential	Residential	Residential	NA	6.46 acres

**COMPATIBILITY** with the COMPREHENSIVE PLAN

**NA**

**PROPERTY HISTORY**

This property has been undeveloped

**COMPATIBILITY** with the ZONING ORDINANCE

Staff finds this request to be compliant with city standards and policies and plans.

ATTACHMENTS (CIRCLE)

**SUBMITTED PLANS**

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

**AGENCY COMMENTS**

RESPONSE TO STANDARDS

OTHER (DESCRIBE) :



## TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

### ITEM NO.

19-0007

**DESCRIPTION:** Approve final plat of 22 lots in Autumn Brook Subdivision located at 420 Theta Pike.

**RECOMMENDATION:** For final recommendation please see staff report.

### **PRESCREENING AND DIVISION COMMENTS:**

#### Engineering

1. Label Burchell Ln as Public Local Road
2. label Stormdrains size and type
3. All drives to access Burchell Ln
4. Add note to keep sight triangle clear along Theta Pike

#### Columbia Water

5. Water has been installed and approved for this site.

#### Columbia Power

6. Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

#### Atmos Energy

7. Gas installed.

#### Maury County E911

8. Burchell Lane is fine to use. Looking at Michelle's files, it doesn't appear they reserved the name but she has a note that it is okay. Also, I am not finding where reserve request was made for the subdivision name.

## **Planning**

9. Add note: All driveways shall be constructed on Burchell Lane.

## **Fire**

10. No comments.

## **Maury County Schools**

11. School Attendance Zones for this development:  
Riverside Elem. School: Capacity - 561; Projected Enrollment 2018/19 - 360  
EA Cox Middle School: Capacity - 917; Projected Enrollment 2018/19 - 738  
Spring Hill High School: Capacity - 1200; Projected Enrollment 2018/19 - 1165

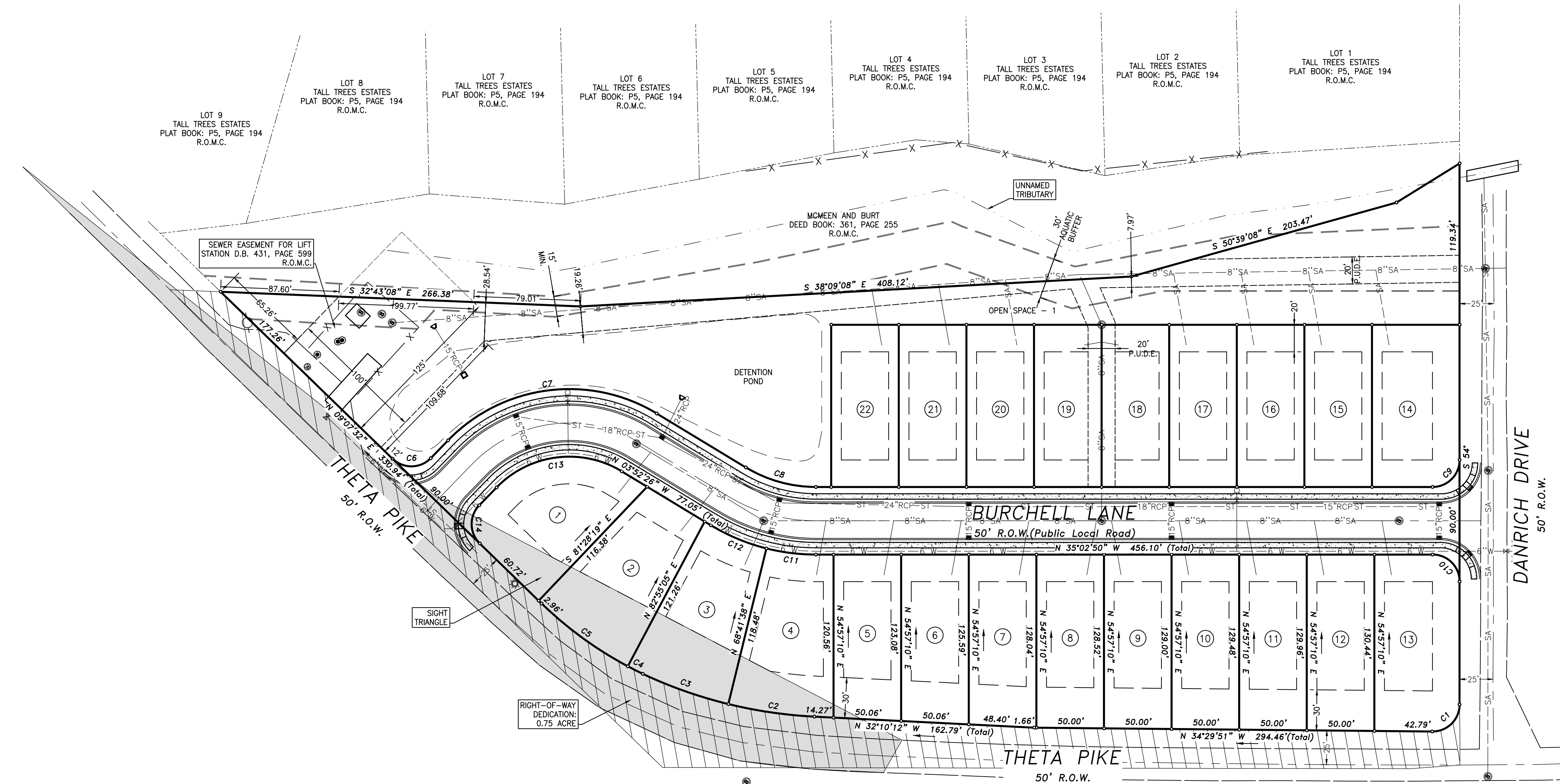
Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:  
Riverside Elementary School: Capacity - 561; Projected Enrollment 2019/20 - 419  
EA Cox Middle School: Capacity - 917; Projected Enrollment 2019/20 - 761  
Spring Hill High School: Capacity - 1200; Projected Enrollment 2019/20 - 1242

## **Wastewater**

12. Sewer improvements have been installed but have not been tested which is the next step towards Council approval. Wastewater approves this request.

**ATTACHMENTS: Final Plat.**

F:\E:\WES_Engineers_Surveyors_2018\18552 - Theta 22 - Land Management\Draw\Survey\18552-Survey-Final-Plat.dwg



- Legend**
- IPS Iron Rod Found
  - P.F. Iron Pipe Found
  - ⊗ AXLE Axle Found
  - ⊗ E.C.M. Fence Post
  - ⊗ P.K.F. PK Nail Found
  - ⊗ P.K.S. PK Nail Set
  - ⊗ R.R.S. Railroad Spike Found
  - ⊗ R.R.S. Railroad Spike Set
  - ✚ Bench Mark
  - △ Stake Found
  - ⊙ Fire Hydrant
  - ⊙ Water Meter
  - ⊙ Water Valve
  - ⊙ Water Reducer
  - ⊙ Clean Out
  - ⊙ Sanitary Sewer Manhole
  - ⊙ Storm Sewer Manhole
  - ⊙ Catch Basin
  - ⊙ Curb Inlet
  - ⊙ Storm Pipe
  - ⊙ Cable Manhole
  - ⊙ Electric Manhole
  - ⊙ Telephone Manhole
  - ⊙ Water Manhole
  - ⊙ Electric Meter
  - ⊙ Cable Riser
  - ⊙ Electric Riser
  - ⊙ Telephone Riser
  - ⊙ Telephone Booth
  - ⊙ Gas Meter
  - ⊙ Gas Valve
  - ⊙ Light Pole
  - ⊙ Power Pole
  - ⊙ Telephone Pole
  - ⊙ Guy Wire
  - ⊙ Power Pole
  - ⊙ Flag Pole
  - ⊙ Guy Wire
  - ⊙ Mailbox
  - ⊙ Parking Block
  - ⊙ Satellite Dish
  - ⊙ Handicap Parking
  - ⊙ Water Spigot
  - ⊙ Bollard
  - ⊙ Evergreen Tree
  - ⊙ Deciduous Tree
  - ⊙ Bush
  - ⊙ Sign

**AUTUMN BROOK SUBDIVISION  
TYPICAL LOT LAYOUT**

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	31.61	20.00	90°32'59"	N 79°46'21" W	28.42
C2	64.36	339.20	10°52'15"	N 26°44'04" W	64.26
C3	67.22	339.20	11°21'18"	N 15°37'19" W	67.11
C4	12.41	280.00	2°32'27"	N 08°21'06" W	12.41
C5	79.21	280.00	16°12'23"	S 01°01'18" W	78.94
C6	31.42	20.00	90°00'00"	S 35°52'28" E	28.28
C7	167.99	125.00	77°00'02"	N 42°22'27" W	155.63
C8	54.41	100.00	31°10'25"	N 15°21'38" W	53.74
C9	31.42	20.00	90°00'00"	N 80°02'50" W	28.28
C10	31.42	20.00	90°00'00"	N 09°57'10" E	28.28
C11	36.93	150.00	11°08'49"	S 27°59'26" E	36.86
C12	44.66	150.00	17°03'38"	S 12°24'14" E	44.50
C13	100.79	75.00	77°00'02"	S 42°22'27" E	93.38
C14	31.42	20.00	90°00'00"	N 54°07'32" E	28.28

LOT	SQ. FT.	ACRES
1	7,813.07	0.18
2	7,901.66	0.18
3	7,743.74	0.18
4	7,666.31	0.18
5	6,091.07	0.14
6	6,216.72	0.14
7	6,342.42	0.15
8	6,413.92	0.15
9	6,437.81	0.15
10	6,461.80	0.15
11	6,485.78	0.15
12	6,509.77	0.15
13	8,060.08	0.19
14	7,681.67	0.18
15	6,000.00	0.14
16	6,000.00	0.14
17	6,000.00	0.14
18	6,000.00	0.14
19	6,000.00	0.14
20	6,000.00	0.14
21	6,000.00	0.14
22	6,000.00	0.14
OS	162,960.97	1.45

- GRAPHIC SCALE**
- 1 inch = 50 ft.
- Adjoining Property Line
  - Subject Property Line
  - Minor Contour Line
  - Building Setback Line
  - Centerline
  - Edge of Pavement
  - Edge of Gravel
  - Fence Line
  - Landscape
  - Woods / Tree Line
  - Edge of Water
  - Ditch / Creek Centerline
  - Undergound Utility Line
  - Undergound Cable Line
  - Gas Line
  - Sanitary Sewer Line
  - Water Line
  - Storm Sewer Line
  - Overhead Utility Line
  - Overhead Cable Line
  - Overhead Electric Line
  - Overhead Telephone Line
  - Forced Main Line

**Surveyor's Notes**

- All distances were measured with E.D.M. equipment and have been adjusted for temperature and pressure.
- The property (Boundary) Line Survey exceeds the minimum requirements of an Urban Land Survey Category 1 as per Standards of Practice adopted by the State Board of Examiners for Land Surveyors for the State of Tennessee, and the precision of the unadjusted survey is greater than 1 foot in 10,000 feet.
- Information concerning site utility services and appurtenances shown hereon is based on visible evidence noted during the survey, information provided by utility representatives or information shown on original construction plans by other. Information and location of service lines on site should be considered approximate and there may be underground utility lines that are not shown on the survey. Owner(s) and contractor(s) should assume responsibility of locating all underground utility service lines prior to any construction, excavation or any disturbance of the existing ground elevation to avoid hazard of unnecessary expense.
- Information concerning major utilities or appurtenances shown hereon are based on visible evidence noted during the survey or information provided by utility representatives. Verification of existence, size, location, depth and availability of service should be confirmed by local utility agencies.
- The property shown hereon is located within the City of Columbia, Maury County, TN. All matters pertaining to construction, use location of improvements, signage, parking, noise, vibration, emissions, fire hazards, radiation, illumination, setback provisions, etc., are subject to the City of Columbia's Zoning Regulation as interpreted and regulated by the Department of Planning and Codes.
- The area of the parcels as shown hereon is 6.46 Acres.

**Additional Notes**

- All driveways shall be constructed on Burchell Lane.
- The sight triangle along Theta Pike is to be kept clear and is defined by the hatched area.

- This property currently identified as Tax Map No. 075 Parcel No. 045.00, Maury County. For designation shown thus ( ) indicates Parcel Numbers for said map.
- Plat reference: n/a
- Deed reference: Book R2472 Page 697
- Bearings based on: Tennessee State Plane, Fipzone 4100.
- This drawing was prepared in accordance with our field survey notes. It shows improvements as they exist to the best of our knowledge, but is not guaranteed to be correct in each and every detail.
- This survey was prepared from current deeds of record and does not represent a title search or a guarantee of title, and is subject to any state of facts a current and accurate search may reveal.
- This survey was prepared for the exclusive use of the person, persons, or entity, if any, named on the certification hereon. Said certificate does not extend to any unnamed person without an express re-certification by the surveyor naming said person.
- The certification as provided on this survey, is purely a statement of professional opinion based on knowledge, information and belief, based on existing field evidence and documentary evidence provided by others.
- The certification is not on an expressed or implied warranty or guarantee.
- This property is not located in a Special Flood Hazard Area as shown on F.E.M.A. Flood Insurance Rate Map, Community Panel No. 47119C0170E, dated April 16, 2007, and shown hereon graphically.
- All public utility and drainage easements located on proposed lots are to be maintained by the individual property owner for said lot.
- All property corners are 1" rebar with cap reading "WES 1987" unless otherwise noted.

**OPEN SPACE NOTE:**

ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

**Location Map**



PARCEL NUMBER: TAX MAP 075, PCL 45.00  
DEED BOOK: R2366, PAGE 999

PARCEL ADDRESS: 420 THETA PIKE  
COLUMBIA, TENNESSEE 38401

EXISTING ZONING: R-6

BUILDING SETBACKS: STREET: MINOR - 20'  
COLLECTOR - 30'  
ARTERIAL - 40'

ACREAGE OF PARCEL: ±6.46 ACRE (281,479.9 SQFT) TOTAL  
±1.67 ACRE (72,700.6 SQFT) IN RIGHT  
OF WAY DEDICATION

PROPERTY OWNER: KCS COMPANIES LLC  
2010 ELMER POGUE DRIVE  
COLUMBIA, TN 38401

DENSITY: 3.41 LOTS/ACRE

**PURPOSE NOTE:**  
The purpose of this final plat is to create 22 single family lots.

**STORMWATER MANAGEMENT AGREEMENT:**  
RECORDED: 03/07/2018  
DEED BOOK: R2483 PAGE: 988-1000

**CERTIFICATE OF APPROVAL OF STREETS, DRAINAGE,  
STREET SIGNS, AND UTILITIES**

I hereby certify that the streets, drainage, and utilities designated in Autumn Brook Subdivision have been installed in accordance with City Specifications, or a performance bond in the amount of \$_____ for streets and drainage has been posted with the City of Columbia, Tennessee, to assure completion of such improvements.

Date _____ City Engineer  
Columbia, Tennessee

**CERTIFICATE OF APPROVAL FOR SUBDIVISION NAMES  
AND STREET NAMES**

Subdivision and street names approved by the Maury County Emergency Communication.

Date _____ Maury County E-911  
Columbia, Tennessee

**CERTIFICATE OF APPROVAL OF SEWER SYSTEM**

I, (we) hereby certify that the sewer system(s) outlined or indicated on the final subdivision plat entitled Autumn Brook Subdivision has/have been installed in accordance with current local and state government requirements, or a sufficient bond or cash has been filed which will guarantee said installation.

Date _____ Name, Title and Agency or Authorized  
Approving Agent

**CERTIFICATE OF APPROVAL OF WATER SYSTEM**

I, (we) hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled Autumn Brook Subdivision has/have been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date _____ Name, Title and Agency or Authorized  
Approving Agent

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I, (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number R2472, Page 697, Maury County Registers Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.

Date _____ KCS Companies, LLC

Title (if acting for partnership or corporation)

**CERTIFICATE OF COMPLIANCE**

I hereby certify that the subdivision plat shown hereon has been found to comply with the City of Columbia Subdivision Regulations and other adopted ordinances and policies.

Date _____ City Engineer  
Columbia, Tennessee

**CERTIFICATE OF APPROVAL FOR RECORDING**

I hereby certify that the subdivision plat shown hereon has been found to comply with the City of Columbia Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register:

Date _____ Secretary, Planning Commission

**SURVEYOR'S CERTIFICATION (TENNESSEE)**

I hereby certify that this is a Category "I" survey and the ratio of precision of the undisturbed survey is greater than 1:10,000 as shown hereon, this survey was done in compliance with current Tennessee Minimum Standards of Practice.

*Allen B. O'Leary*

4/26/19

Date

Allen B. O'Leary, TN RLS #1987



Client

DATE

REVISIONS

FINAL P

Drawn: EB

Checked: AO

Approved: AO

Date: 10-15-2018

18552

Scale:

Vertical:

Horizontal:

1 of

**WES E ENGINEERS & SURVEYORS**  
CIVIL ENGINEERS & LAND SURVEYORS  
2486 NASHVILLE HIGHWAY  
COLUMBIA, TN 38401  
PHONE: (931) 388-2329  
www.wesengineers.com

**WES E ENGINEERS & SURVEYORS**

**Case Number:**

19-0016

**Request:**

Request from James Webb for Comprehensive Plan Amendment of 17.48 acres at 1316 Hampshire Pike being Tax Map 89 Parcels 15 and 39 from Suburban Neighborhood to Suburban Corridor. Annexation of 15.57 acres with a plan of services zoned RM-1 Planned Unit Development is also being requested with a master plan.

**STAFF REPORT CONTACT INFORMATION**

Paul Keltner, Director of Development Services, [paul@columbiatn.com](mailto:paul@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**2019-16**

APPLICANT/PROPERTY OWNER  
**WES Engineers**

PUBLIC HEARING DATE

**July 11th 2019**

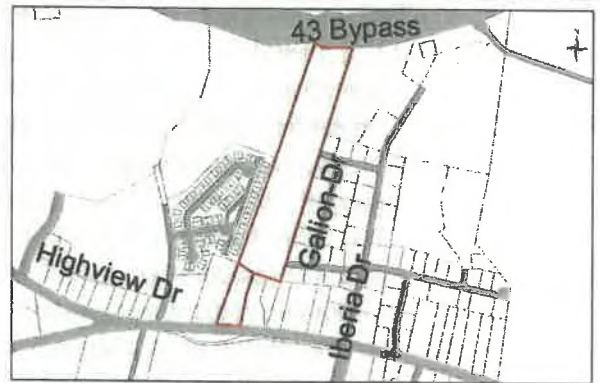
PROPERTY ADDRESS/LOCATION  
**1316 Hampshire Pike**

**BRIEF SUMMARY OF REQUEST**

This is a request to change the Comprehensive Plan from Suburban Neighborhood to Corridor for 17.48 acres in order to accommodate annexation for a condo development on 15.57 acres with a zoning of RM-1 PUD.

**Staff Notes:**

A plat is required for the right of way, the accessory structure on parcel 13 would need to be removed, driveway exception will be needed, Amenities area?



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
MRC Mixed - Residential and Commercial A-2- Ag/Residential	Vacant	Residential Commercial	Condo's	17 acres

**COMPATIBILITY with the COMPREHENSIVE PLAN**

Current zoning is Suburban Neighborhood which does not support RM-1 zoning.

**PROPERTY HISTORY**

This property is currently undeveloped.

**COMPATIBILITY with the ZONING ORDINANCE**

With the current plans this request would not meet the city's policies and plans.

**ATTACHMENTS** (CIRCLE)

**SUBMITTED PLANS**

**CITY MAPS**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

**AGENCY COMMENTS**

RESPONSE TO STANDARDS

**OTHER** (DESCRIBE)

---

### 3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONINGS

...

#### B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

1. The rezoning is in agreement with the general plan for the area;
2. It has been determined that the legal purposes for which zoning exists are not contravened;
3. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare;
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public; and
5. It has been determined that conditions affecting the area have changed to a sufficient extent to warrant an amendment to the area's general plan or other applicable local plans, and consequently, the zoning map.
6. The availability of adequate school, road, parks, wastewater treatment, water supply, and stormwater drainage facilities.

---

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

*The Comprehensive Plan designates the subject property as Suburban Neighborhood. The RM-1 request would not be in agreement with Suburban Neighborhood.*

2. The legal purposes for which zoning exists are not contravened;

*All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.*

3. There will be no adverse effects upon adjoining property owners;

*The adjacent properties are residential of varying lot sizes, minimizing any adverse effects.*

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

*The proposal is currently not supported by the comprehensive plan but the residential use next to similar reduces any detriment.*

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

*In the community, housing demands within the city limits have increased to a sufficient extent to warrant an amendment to the City's Zoning Map.*

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

*The rezone will have an insignificant impact on facilities because of the low number of units.*

Section 3.19.6 of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items for the amendment:

---

### 3.19.6 CRITERIA FOR PLANNING COMMISSION RECOMMENDATIONS

...

The recommendations of the Planning Commission to the City Council shall show that the Planning Commission has studied and considered the proposed change in relation to the following, where applicable:

- Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;
  - Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;
  - Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general; and
  - Whether the subject parcel is of adequate shape and size to accommodate the proposed change.
- 

Staff's review of Section 3.19.6 in relation to this rezoning request finds the following:

- A. Whether the proposed change would be consistent with the intent, goals, objectives, policies, guiding principles and programs of any adopted plans;

*The proposed Comprehensive Plan designation for the subject property is Suburban Corridor which RM-1 is supported. The Suburban Corridor Character Area is characterized by a mix of residential, commercial, hospitality, office, and industrial development and neighborhoods, with intermixed and compatible civic uses. The general development pattern is largely site specific, since the Corridor, by definition, traverses through rural and urban settings. The specific character of the Corridor relies on the Area of Change determination, but can generally be defined by single- and multi-use activity on a variety of lot sizes, depending on the surrounding development pattern. Street networks and intersections are defined by site and transect context. Buildings have short to moderate setbacks and use the building structure or landscaping to frame the street.*

- A. The legal purposes for which zoning exists are not contravened;

*All future development of the property will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.*

- B. Whether the proposed change would be compatible with the existing land use pattern and designated future land uses;

*The surrounding properties are primarily developed with residential uses or vacant land. The proposed zoning will continue those established patterns within the area.*

- C. Whether the proposed change would create substantial adverse impacts in the adjacent area or the City in general;

*The proposed uses on the property at the time of development will be required to conform to the zoning ordinance standards in effect at that time to mitigate any potential adverse impacts upon adjoining property owners. In addition, a traffic impact study will be required to address any potential traffic*

*impacts.*

D. Whether the subject parcel is of adequate shape and size to accommodate the proposed change;

*The parcel exceeds the minimum lot area required as stated in Zoning Ordinance 3638.*



## TECHNICAL COMMITTEE MEETING

Tuesday, April 23, 2019

### ITEM NO.

19-0016

**DESCRIPTION:** Request from James Webb for approval of annexation with a plan of services, and rezoning of 15.57 acres at Tax Map 89 Parcel 39. Also being requested is a Comprehensive Plan amendment from Suburban Neighborhood to Suburban Corridor along with Preliminary PUD Master Plan for 1316 Hampshire Pike, being Tax Map 89 Parcel 15, and Tax Map 89 Parcel 39.

**RECOMMENDATION:** For final recommendation please see staff report.

### **TECHNICAL AND DIVISION COMMENTS:**

#### Engineering

1. Provide Rd names to E-911
2. Label Roadway as Public or Private
3. Remove offsets in R.O.W. near pad 72 and at both stub road tie-ins
4. Show detention pond outlet location
5. Provide right turn lane along Hampshire Pike
6. Parcel 13.00 and 12.00 to access off new roadway
7. Show drives/structures on parcels 13.00 and 12.00

#### Columbia Water

8. Water is available for domestic and fire protection.

#### Columbia Power

9. Columbia Power System has existing power facilities near your proposed development within our service territory. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

#### Atmos Energy

10. No gas.

## **Maury County E911**

11. Have not received any street name request for review.

## **Fire**

12. Homes must be constructed per the town-house requirements of the 2012 International Residential Code

## **Planning**

13. Building facade elevations needed.
14. Show landscaping opacity number for buffers.
15. Show structures on parcel 13.00 for street setback verification of the new road proposed.
16. Are the building pad squares shown new property lines or descriptors for an HPR legal description? Condos?
17. Show what amenities or recreational area will be constructed.
18. Display driveways with dimension.
19. Will any accessory items such as patios or decks be installed?
20. Street setback for the 2 acre commercial parcel is 20'.
21. Landscape buffer shown overtop of water line on the west side property line.

## **Maury County Schools**

22. School Attendance Zones for this development:  
Baker Elem. School: Capacity - 385; Projected Enrollment 2018/19 - 292  
Whitthorne Middle School: Capacity - 1420; Projected Enrollment 2018/19 - 1082  
Columbia Central High School: Capacity - 1852; Projected Enrollment 2018/19 - 1325  
  
Proposed 2019-2020 School Attendance Zones pending Board approval 10/29/19:  
Baker Elementary School: Capacity - 385; Projected Enrollment 2019/20 - 338  
Whitthorne Middle School: Capacity - 1420; Projected Enrollment 2019/20 - 1092  
Columbia Central High School: Capacity - 1852; Projected Enrollment 2019/20 - 1445

## **Wastewater**

23. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state, and federal rules, regulations and policies. The funding and construction of those sanitary sewer improvements

will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail design plans for an extension of the sewer has been proposed at this time.

**ATTACHMENTS: PUD Master Plan.**

**3.5.5 ACTION BY THE APPROVING AUTHORITY**

---

- A. The Approving Authority shall compile all staff comments on the development plan in light of any applicable requirements of this ordinance. A copy of these comments shall be provided to the applicant.
- B. The Zoning Administrator shall be responsible for approving all Sketch Development plans.
- C. The Zoning Administrator shall be responsible for approving Site Development plans.

**3.5.6 DEVELOPMENT PLAN REVIEW CRITERIA**

---

The following evaluations shall be made during the development plan review process.

- A. Compliance with all applicable ordinance requirements;
- B. Compliance with all previously approved plans, such as earlier development plans;
- C. Conformance with all applicable land use plans;
- D. The site plan displays a site design and development intensity appropriate for and tailored to the unique natural characteristics of the site, such as significant wooded areas, specimen trees, wetlands, steep slopes, and floodplains;
- E. Adequacy and location of parking areas and pedestrian and vehicular access points;
- F. Adequacy of design of traffic patterns, traffic control measures and street pavement areas, with provisions for maintaining traffic flows and reducing unfavorable effects of traffic on nearby properties;
- G. Compliance with site construction specifications;
- H. Adequacy of stormwater facilities, water supply, sanitary sewer service, fire protection, street signs, and street lighting as evidenced by conformance with department standards, specifications and guidelines; and
- I. Compliance with requirements for easements or dedications.

**3.5.7 CONCURRENT APPLICATIONS**

---

Development permit applications for projects requiring design review, a conditional use permit, certificate of appropriateness, floodplain development permit, or rezoning may proceed concurrently with the other application. However, final approval of the development plan may not be granted prior to receiving the additional permit.

**3.5.8 TIME LIMITS ON APPROVALS**

---

Any Sketch Development plan or Site Development plan approved under the provisions of this ordinance shall become null and void one year after the date of its approval unless a Zoning Permit for the project has been obtained in which case the provisions of Sec. 3.4, shall apply, provided, however, that in no instance shall an approved Sketch Development plan or Site Development plan become null and void in less than one year.

**3.5.9 INSPECTIONS OF REQUIRED IMPROVEMENTS**

---

Inspections during the installation of site improvements shall be made by the entity responsible for such improvements as required to certify compliance with approved development plans. No improvements shall be accepted for maintenance by the City unless and until the requirements regarding public improvements have been met.

**E. Multi-Family Dwellings**

Multi-family dwellings shall be permitted in accordance with the use table in Sec. 8.1, subject to the following:

1. Applications for a multi-family dwelling shall be subject to the Site Development Plan Review requirements of Sec. 3.5 and shall require Planning Commission approval.
2. The site plan shall include an approved floor plan showing the number of rooms and the proposed number of dwelling units. The floor plan shall be kept on file with the Inspections Department.
3. Multi-family dwellings shall not contain more than 12 dwelling units per floor on a single unbroken frontage and no more than 24 units within a single structure.
4. Design Criteria, General
  - a. Multi-family dwellings may be appropriately intermingled with other types of housing.
  - b. Each dwelling unit shall be provided with reasonable visual and acoustical privacy.
  - c. Sidewalks shall be provided for convenient and safe access to all living units from streets, driveways, parking courts, or garages and for convenient circulation and access to all facilities.
  - d. Adequate recreation facilities for the residents of the project shall be provided in locations easily accessible to the living units and where they do not impair the view and privacy of living units.
  - e. Attractive outdoor sitting areas shall be provided, appropriate in size, type and number to the needs of the residents.
  - f. All dwelling units shall be so positioned as to assure the availability of adequate fire protection. The fire department shall adjudge the adequacy of protection.
  - g. Access and circulation shall adequately provide for fire fighting and other emergency equipment, service deliveries, furniture moving vans, and refuse collection.
  - h. The usage of garage parking is allowed but shall be placed 3' feet from back of sidewalk or else they shall be 22' feet or more from back of sidewalk.
  - i. Garage parking spaces shall be counted as required parking if the space is at least 15' feet wide and 22' feet deep or more with no obstructions with a minimum door opening of 10' feet.
  - j. Spaces that meet 8.3.2.E4.h-i shall not count for more than 30% of the required parking.

**F. Manufactured Homes**

Manufactured homes shall be permitted in accordance with the use table in Sec. 8.1, subject to the following:

1. No person shall place a manufactured home on any zone lot within a Residential district, unless it is used actively for residential purposes. Non-residential use of a manufactured home may be permitted as a temporary use subject to 8.5.5, Temporary Construction Offices.

**G. Manufactured Home Parks**

**Commentary:** *Manufactured home parks should be designed and constructed to the same standards as a site-built subdivision to assure a safe, healthy residential environment.*

Manufactured home parks shall be permitted in accordance with the use table in Sec. 8.1, subject to the following:

# PLAN OF SERVICES

## FOR ANNEXATION

*Donald Norman* PROPERTY

+/-15.57 ACRES,

*BEING*

TAX MAP 89 PARCEL 39.00

### **A. Water**

As the property will be within the City of Columbia, water service will include fire protection to the property as required by the City of Columbia Fire Department standards.

### **B. Sewer**

1. Sewer is not currently adjacent to the parcel.
2. Any extension of sanitary sewer beyond the existing infrastructure would be initiated by the property owner, and must comply with existing regulations. If the Wastewater department determines proposed facilities are a logical extension of the City's wastewater system, then the extension of service may be advanced in accordance with local, state and federal rules, regulations, and policies. The funding and construction of those sanitary sewer improvements will remain the responsibility of the owner. New customers will be required to pay all fees and charges applicable at the time of connection to the sanitary sewer system. No detail designed plans for any extension of sewers have been proposed at this time.

### **C. Police**

The jurisdiction of the Columbia Police Department will be extended to the areas annexed immediately upon the effective date of annexation.

### **D. Fire and Rescue**

1. The City of Columbia Fire & Rescue Department will provide an array of services in a timely, courteous, and professional manner upon date of annexation.
2. The proposed annex is located on the property at Tax Map 89 Parcel 39 off Hampshire Pike in Columbia, Tennessee. This location is approximately 1.1 miles from Columbia Fire Station #2 located at 711 Lion Parkway, 2.7 miles from Fire Station #1 located at 1000 South Garden Street, and 4.1 miles from Fire Station #4 located at 5040 Trotwood Avenue.
3. The Columbia Fire & Rescue Department recommends a multi-faceted fire suppression approach. First, future homes should be constructed to meet or exceed all applicable fire and life safety codes. Secondly, even if not required by building, fire, or life safety codes, you should insist that fire sprinkler systems be installed for all future homes.

#### **E. Development Services**

1. The planning and zoning jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
2. The property shall be zoned RM1-PUD (High Density Residential Planned Unit Development) upon the effective date of the annexation.
3. The code administration jurisdiction of the City will extend to the annexed areas immediately upon the effective date of the annexation.
4. Upon the effective date of annexation, all development will be required to abide by the Columbia Zoning Ordinance.

#### **F. Streets**

1. Upon acceptance by City Council and all warranties have expired; all streets and drainage systems will be maintained by Public Works. Service will include street sweeping, catch basin cleaning, street repair and snow removal.
2. Upon acceptance by City Council, all approved street signs will be maintained by Public Works.

## **G. Parks and Recreation**

Residents of the annexed areas may use all existing recreational facilities, parks, etc., on the effective date of annexation. The same standards and policies now used in the present City will be followed in expanding the recreational program and facilities in the enlarged City.

## **H. Refuse Collection**

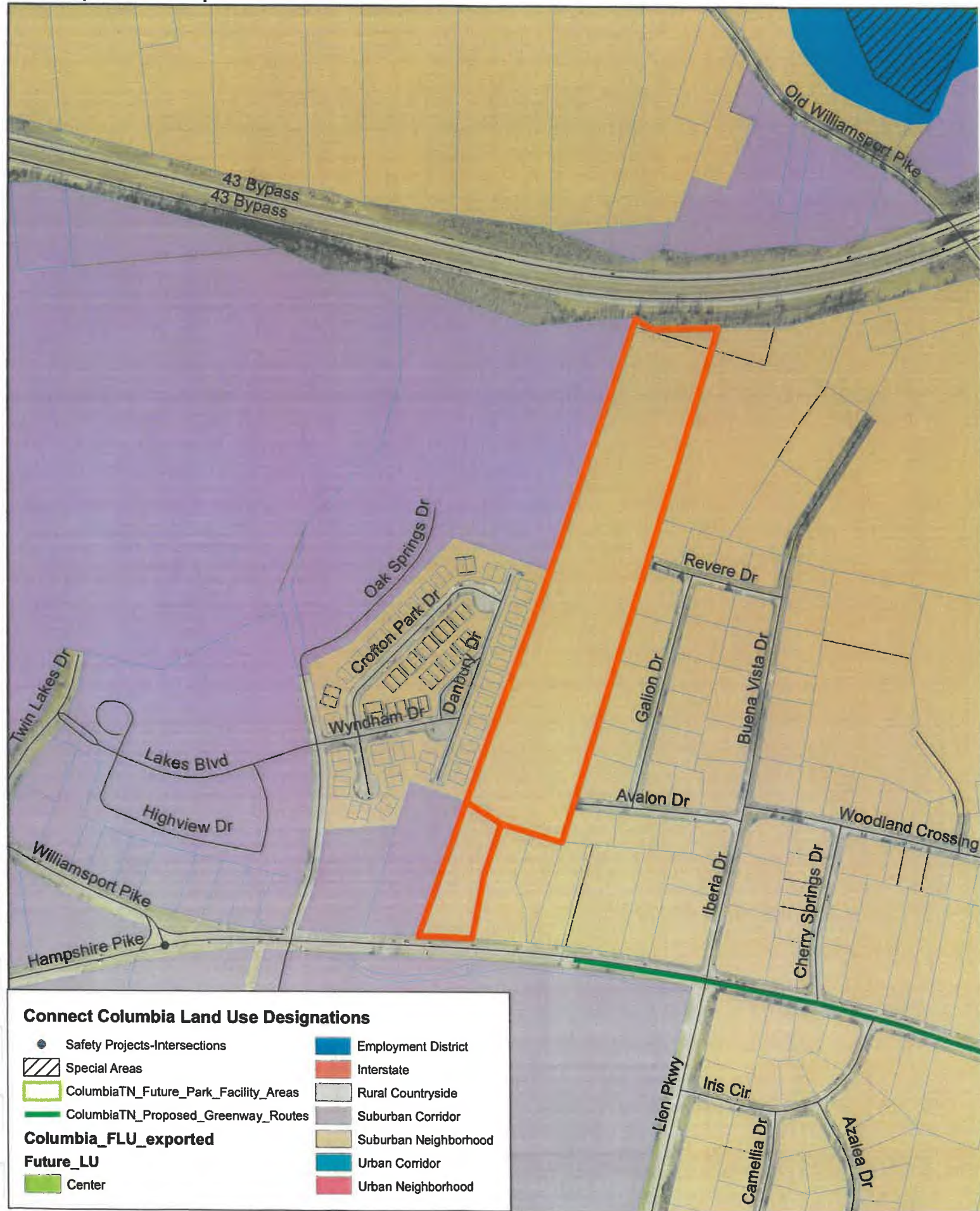
Sanitation will provide weekly refuse collection. Bi-weekly recycling will be offered on a subscription basis. Brush and bulky item collection will be provided.

## **I. Power**

Columbia Power System has an existing power line near the proposed development. CPWS is willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

## **J. Schools**

This property falls under the jurisdiction of Maury County Public School System.





# Baxter Downs



## Minimum Standards:

- 30 year shingle- Oak Ridge
- 70 / 30 Brick / Siding fronts
- 50 / 50 Brick / Siding sides & rears
- Rear concrete patio

**FRONT  
ELEVATION**

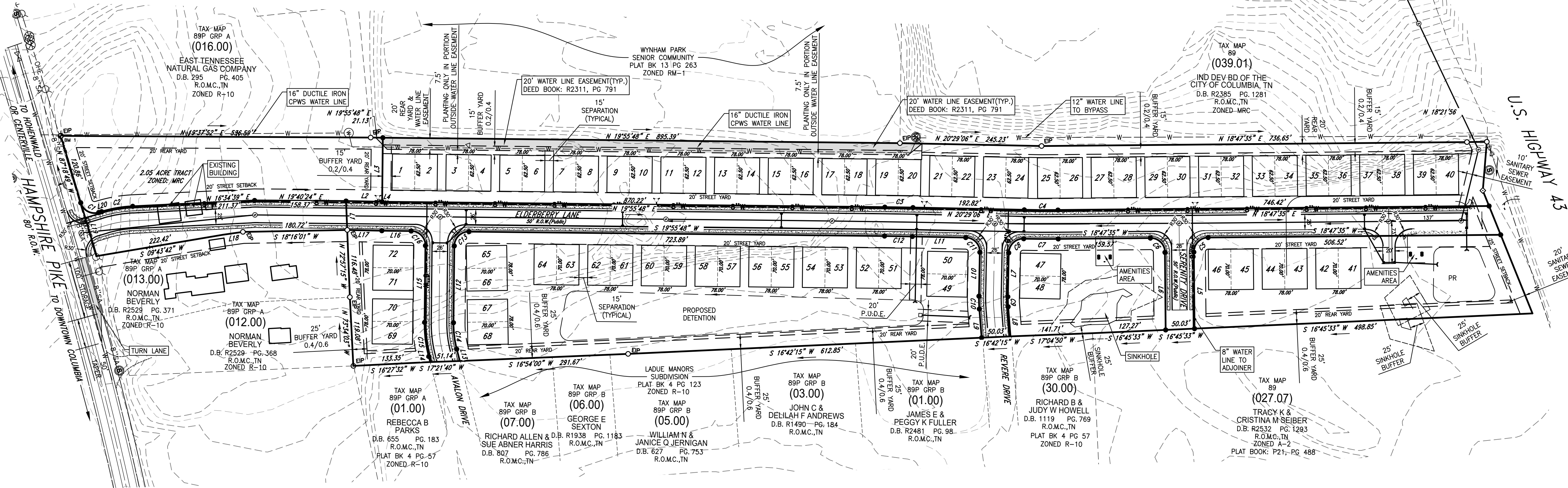


SIDE  
ELEVATION



REAR  
ELEVATION

PRELIMINARY MASTER PLAN  
FOR RM-1-PUD ZONING  
OF 15.56 ACRE TRACT



**SITE DATA:**

**OWNER:** DONALD NORMAN  
1316 HAMPSHIRE PIKE  
COLUMBIA, TN 38401

**PARCEL NUMBER:** TAX MAP 89P GRP A PARCEL 15.00  
DEED BOOK: R2535, PG 1349

**SUBJECT PARCEL ZONING:** A-2 (COUNTY)  
RM1-PUD (PROPOSED)

**ACREAGE OF SITE:** 15.56 Ac TAX MAP 89P PARCEL 39.00  
2.05 Ac TAX MAP 89P GRP A PARCEL 15.00  
17.61 Ac Total

**PERVIOUS:** 6.16 Ac  
**IMPERVIOUS:** 11.45 Ac

**MINIMUM REQUIRED BUILDING SETBACKS:**  
40' FRONT (ARTERIAL)  
30' FRONT (COLLECTOR)  
20' FRONT (MINOR)  
20' REAR  
7.50' SIDE (15' BETWEEN STRUCTURES)  
15' SIDE SETBACK FOR CORNER LOTS

**UTILITY SERVICES:**  
**WATER SERVICE:**  
COLUMBIA POWER & WATER SYSTEMS  
201 PICKENS LANE  
COLUMBIA, TENNESSEE 38401  
(931) 388-4833  
**ELECTRIC SERVICE:**  
COLUMBIA POWER & WATER SYSTEMS  
201 PICKENS LANE  
COLUMBIA, TENNESSEE 38401  
(931) 388-4833  
**NATURAL GAS:**  
ATMOS ENERGY  
810 NASHVILLE HIGHWAY  
COLUMBIA, TENNESSEE 38401  
(931) 388-9136

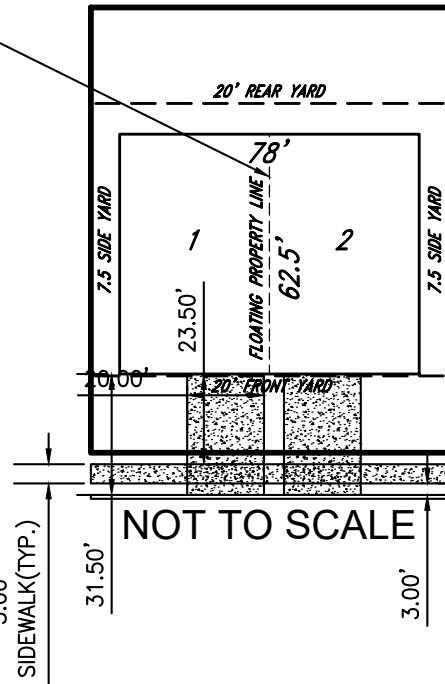
**PURPOSE NOTE:** ASKING FOR ANNEXATION OF 15.56 ACRE TRACT AND CHANGE ZONING FROM A-2 - RURAL RESIDENTIAL (COUNTY ZONING) TO RM-1 PUD (CITY ZONING) 72 UNITS - 3,060 LINEAR FEET OF ROADWAY - 36 PADS & COMPREHENSIVE PLAN CHANGE FROM SUBURBAN NEIGHBORHOOD TO SUBURBAN CORRIDOR.

**THIS 15.56 ACRE TRACT IS A PROPOSED 72 TOWNHOME PROJECT WITH RELATED APPURTENANCES.**

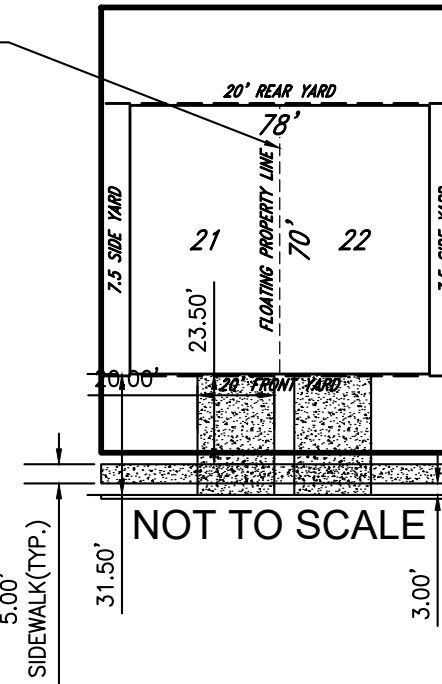
**NOTES:**

- PAD DIMENSIONS ARE TO BE 78' X 70' & 78' X 62.5'
- BAXTER ENTERPRISES HAS A CONTRACT TO PURCHASE THIS PROPERTY.

TYPICAL PAD LAYOUT UNITS 1-20



TYPICAL PAD LAYOUT UNITS 21-72



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	39.29'	225.00'	90°02'29"	N 47°59'56" E	35.37'
C2	54.71'	225.00'	13°55'57"	S 09°36'41" W	54.58'
C3	48.69'	5025.00'	0°33'19"	S 20°12'27" W	48.69'
C4	58.33'	1975.00'	1°41'31"	N 19°38'21" E	58.32'
C5	39.27'	25.00'	90°00'00"	N 26°12'25" W	35.36'
C6	39.27'	25.00'	90°00'00"	S 63°47'35" W	35.36'
C7	59.80'	2025.00'	1°41'31"	S 19°38'21" W	59.80'
C8	39.27'	25.00'	90°00'00"	N 24°30'54" W	35.36'
C9	117.30'	1175.00'	5°58'51"	S 72°20'49" E	117.29'
C10	22.24'	225.00'	5°39'51"	S 72°20'49" E	22.23'
C11	39.27'	25.00'	90°00'00"	S 65°29'06" W	35.36'
C12	48.21'	4975.00'	0°33'19"	N 20°12'27" E	48.21'
C13	39.27'	25.00'	90°00'00"	N 25°04'12" W	35.36'
C14	46.39'	175.00'	15°11'12"	N 77°39'48" W	46.25'
C15	61.94'	223.00'	15°54'49"	S 78°01'37" E	61.74'
C16	39.27'	25.00'	90°00'00"	S 64°55'48" W	35.36'

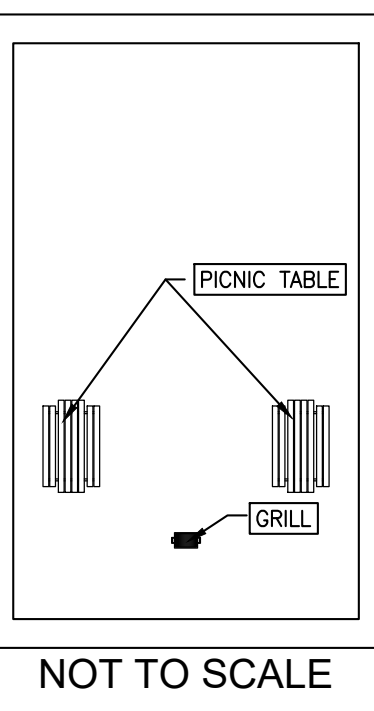
LINE TABLE

LINE BEARING	DISTANCE
L1 N 72°57'15" W	50.08'
L2 N 20°34'24" E	82.52'
L3 N 70°04'12" W	111.00'
L4 N 20°34'24" E	0.28'
L5 S 71°	

PROPOSED CONSTRUCTION SCHEDULE FOR THE YEAR 2019

ACTIVITY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY
TEMPORARY SEDIMENT STRUCTURES												
SEDIMENT BASINS												
DIVERSION DITCHES												
CLEARING & CHIPPING												
TOPSOIL STRIPPING AND STORAGE												
ROADWAY GRADING												
PERMANENT STORM SEWER												
UTILITIES												
TEMPORARY VEGETATION												
PAVING												
PERMANENT VEGETATION												
REMOVE TEMPORARY STRUCTURES												

AMENITIES AREA

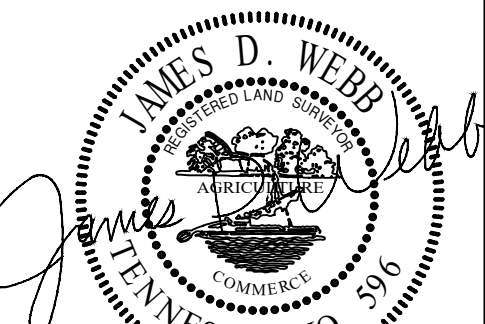
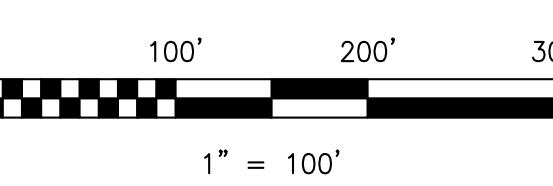


OPEN SPACE NOTE:

ALL OPEN SPACE AREA IS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, CREATED FOR THE PURPOSE OF MAINTAINING ALL COMMON OPEN SPACE, DRAINAGE EASEMENTS AND GROUNDS INCLUDING THE DETENTION AREAS SHOWN ON THIS PLAT.

FLOOD STUDY NOTE:

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C280E DATED APRIL 16, 2007 (ZONE "X")

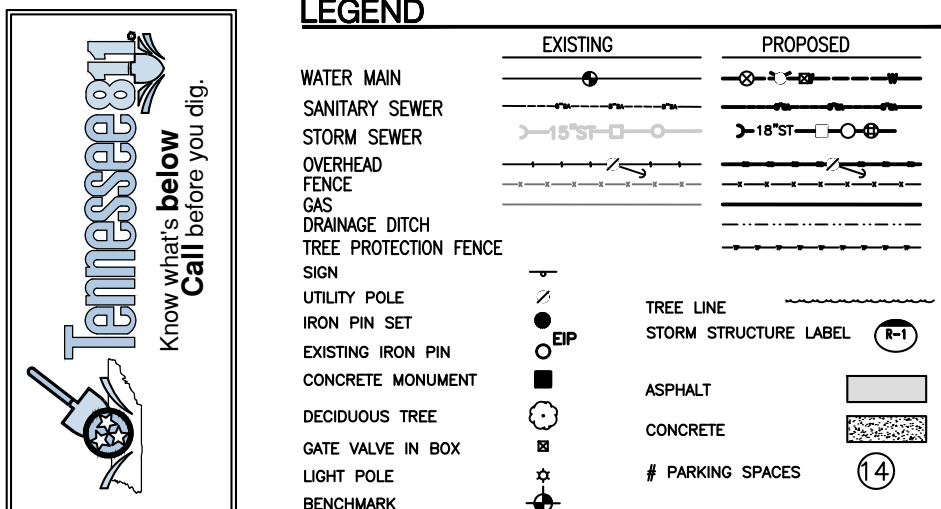


JAMES D. WEBB jdw@webbsurveyors.com  
SUBMITTED FOR MUNICIPAL APPROVAL  
NOT FOR CONSTRUCTION

**BENCHMARK**  
BENCHMARK #1  
IRON PIN  
ELEV. = 642.11'  
N = 470.063.1  
E = 1,647.180.1

**WARNING! UTILITY LINES!**

THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.



©2019

**WES ENGINEERS & SURVEYORS**  
CIVIL ENGINEERS & LAND SURVEYORS  
2486 NASHVILLE HIGHWAY  
COLUMBIA, TN 38401  
PHONE: (931) 388-2329  
www.wesengineers.com

**WES ENGINEERS & SURVEYORS**  
100 NATHANIEL'S CROSSING  
COLUMBIA, TENNESSEE 38401  
931-698-4309

REVISIONS	DATE	CLIENT	TECHNICAL COMMITTEE COMMENTS
	04-26-2019	BAXTER ENTERPRISES, LLC	

**B**  
1316 HAMPSHIRE PIKE  
COLUMBIA, MAURY COUNTY, TENNESSEE

Drawn: EB	Checked: JG	Approved: JGW	Date: Apr. 15, 2019
Job no. 19505	Scale	Vertical	Horizontal

**Case Number:**

19-0022

**Request:**

Request from Development Services Department for a Stormwater hearing concerning property at 919 Nashville Highway.

**Docket Number:** 2019-0022

**Property Owner:** PMS Holdings LLC

**Staff Report:** Douglas Toney, PE; Staff Engineer - Development Services; dtoney@columbiatn.com

**Address/Location:** Parcel 90G B 1.02

**Brief Summary of Incident:**

On March 28th, while following up on the outstanding violation related to Sudsy's carwash clearing beyond the scope of work, the City of Columbia Development Services Department observed a gravel parking lot constructed and occupied. This violates the requirements of the City Stormwater Ordinance, requirements to acquire a Land Disturbance Permit, and it exacerbates the outstanding violation requiring detention to be constructed.

The City shall assess fines of \$300 per day starting May 9th, if all requirements listed below are not met:

- Installation of detention per "Drainage Agreement 181226.pdf"
- Acquisition of approved land disturbance permit or; removal of all gravel surface and vehicles with permanent stabilization for disturbed areas.
- Acquisition of a TDEC CGP for land disturbing activities requiring coverage.

The city is requiring this enforcement action for the following reasons:

- A land disturbance permit has not been acquired.
- It exacerbates the downstream runoff conditions caused by land clearing and land disturbance beyond the original scope of work for Sudsy's Car Wash (property since transferred to PMS Holdings LLC).
- "Drainage Agreement 181226.pdf" has not been completed within the agreed upon time frame.

At the time of this staff report none of the above requirements were met by violator.

**Location Map**



**Attachments:**

1. Drainage Agreement 181226
2. Photos

**GKD Properties, LLC  
251 Second Avenue South  
Suite 103  
Franklin, TN 37064**

PMS Holdings, LLC  
919 Nashville, Highway  
Columbia, TN 38401

RE: Water Detention Behind Parks Motor Sales, Inc.  
5.980 acres on Nashville Highway, Columbia, TN 38401  
Maury County, Tennessee  
(MAP 090G, Group B, Parcel 001.02)

Gentleman:

This Agreement is made as of the 26th day of December 2018 ("**Effective Date**") between GKD Properties, LLC ("**GKD**"), and PMS Holdings, LLC ("**PMS**") according to the terms and conditions contained herein.

WHEREAS, GKD agreed to sell, and PMS agreed to buy, 5.980 acres on Nashville Highway, Columbia, TN 38401, Maury County, Tennessee (MAP 090G, Group B, Parcel 001.02) ("**Property**");

WHEREAS, GKD and PMS legally closed on the sale of Property on November 7th, 2018 ("**Closing Date**");

WHEREAS, PMS requested that GKD's appointed contractor (Culbertson Contractors ("**Contractor**")) remove select trees and foliage ("**Clearing**") on the Property prior to Closing Date, and Contractor complied;

WHEREAS the City of Columbia noted a water drainage violation as a direct result of the Clearing and is requiring a detention pond, and/or a water dam, be installed to restrict the flow of water off the Property to adjoining properties ("**Detention Mechanism**");

WHEREAS the City of Columbia is requiring this agreement between PMS and GKD in order to issue a Certificate of Occupancy to GKD and Sudsy's Columbia, LLC;

NOW THEREFORE, based upon the foregoing and the mutual covenants herein contained, GKD and PMS hereby agree as follows:

1. PMS assumes full and exclusive liability for the current and future drainage requirements on the Property as required by the City of Columbia as a direct result of the Clearing.

2. PMS shall install a Detention Mechanism acceptable to the City of Columbia within 60 days of this Agreement. This remedy may be temporary until the Property can be fully developed at the discretion and expense of PMS.

Agreed and accepted by,

By:   
PMS Holdings, LLC  
authorized signer

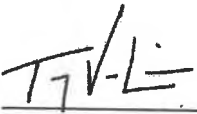
**Robert Rogers**

Print

**General Manager**

Title

Executed: 12/26, 2018

By:   
GKD Properties, LLC  
authorized signer

**Troy VanLiere**

Print

**President**

Title

Executed: 12/26, 2018

