

1. Agenda

Documents:

[CMPC_20190213AGENDA \(PDF\).PDF](#)

2. Meeting Materials

Documents:

[CMPC_20190213AGENDAPACKET \(PDF\).PDF](#)



DEVELOPMENT SERVICES

To: COLUMBIA MUNICIPAL PLANNING COMMISSION

RE: February 13, 2019 MEETING

The Columbia Municipal Planning Commission will meet on Wednesday, February 13, 2019 at 4:00 P.M., in the Council Chambers at City Hall to consider the following:

AGENDA

Call to Order.....Chairman
Roll Call.....Secretary
Approval of Minutes.....Commission Members
Welcome of Visitors.....Chairman

- 1. Review of Bonds and/or Letters of Credit.**
- 2. Acknowledgement of Official Communications of the Columbia City Council on annexation and zoning.**
- 3. Request from Scott Williams and Associates for a PUD Master Plan revision of 1683 Nashville Highway to allow an apartment complex to be constructed.**
- 4. Request from Mark Baker to rezone 2677 Pulaski Highway being Tax Map 113 Parcel 81.00 from RS-40 (residential) to R-10 (residential).**
- 5. Request from Martin Engineering and Surveying to rezone property off Precast Drive and Sidco Drive from IR (industrial) to RM-1 PUD (residential planned unit development) with a Master Development Plan for Tax Map 114 Parcel 19.00.**

- 6. Request from Joshua Green for preliminary and final plat approval of 600 Bullock Street being Tax Map 89M Parcel 20 and 20.01.**
- 7. Other Business**
 - a. Continuing Education with Staff and City Attorney**

*Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting.*



Development Services Department

Municipal Planning Commission

February 13, 2019

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City of Columbia
MUNICIPAL PLANNING COMMISSION
JANUARY 9, 2019

CALL TO ORDER:

Chairman Wesley Bryant called the January Planning Commission meeting for the City of Columbia to order at 4:00 p.m. The meeting was held in Council Chambers at City Hall.

ROLL CALL:

Quorum present and included the following:

Present were: Mr. Ray Pace
 Mr. Charlie Goatz
 Mr. Randy McBroom
 Mayor Chaz Molder (arrived late)
 Councilman King
 Mr. Wesley Bryant

Absent was: Dr. Rose McClain

Other attendees: Mr. Tony Massey, City Manager
 Mr. Paul Keltner, Development Services Director
 Mr. Tim Tisher, Esq.
 Mr. Glenn Harper, City Engineer
 Mr. Armond Harris, Asst. City Engineer
 Mr. Douglas Toney, Staff Engineer
 Mrs. Melissa Sanders, Secretary

APPROVAL OF MINUTES:

The December minutes were presented for approval. Mr. Goatz made the motion to approve the minutes with Mr. McBroom seconding the motion. Motion to approve the minutes passed five to zero.

REVIEW OF BONDS:

Mr. Harper stated all letters of credit are in order or in the process of being updated.

OFFICIAL COMMUNICATIONS:

Mayor Molder arrived to the meeting. Mr. Keltner stated the approval for Frye Road annexation, rezoning and master plan passed on second reading. The rezoning of the 0.8 acres on Old Bear Creek Pike along with the zoning ordinance amendments for height standards and garage parking all passed first reading and will be on second reading.

City of Columbia
MUNICIPAL PLANNING COMMISSION
JANUARY 9, 2019

AGENDA ITEM #3

Docket #DP-2019-02

Request from Habitat for Humanity for Preliminary and Final Plat approval of 401 West 13th Street.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and recommended approval with conditions for a few minor items on the plat from the Technical Committee comments.

Discussion:

No one was present to answer questions. Chairman Bryant asked about the comments from the Technical Committee. Mr. Goatz asked about school capacity numbers. Mr. Keltner stated there was a previous error in reporting from Maury County Schools. Mr. Pace made the motion to approve with Councilman King seconding the motion. Motion to approve passed with a vote of six to zero.

AGENDA ITEM #4

Docket # DP-2019-03

Request from Mark MacKenzie for access management exception on Ridgecrest Drive being Tax Map 66 Parcel 20.16.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated a recommendation of approval based on the Technical Committee comments.

Discussion:

No one was present to answer questions. Mr. Goatz made the motion to approve with Councilman King seconding the motion. Motion to approve passed with a vote of six to zero.

AGENDA ITEM #5

Docket #DP-2019-04

Request from McBroom Construction for Final Plat approval of Tall Trees Estates townhome development off Caldwell Drive.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated, subject to Technical comments, this request is recommended for approval.

Discussion:

Mr. Pace made the motion to approve. Mr. Goatz seconded the motion. Motion to approve passed with a vote of five to zero, with Mr. McBroom abstaining.

City of Columbia
MUNICIPAL PLANNING COMMISSION
JANUARY 9, 2019

AGENDA ITEM #6

Docket # AN-2019-01/CZ-2019-01

Request from Kiser + Vogrin Design for recommendation to annex with plan of services 20.69 acres being 1540 Bear Creek Pike, Tax Map 92 Parcel 12.01, with a zoning of Interstate Service District.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated that the point of access will need to be reviewed before redevelopment per the Access Management Ordinance.

Discussion:

Mr. Gary Vogrin, Kiser + Vogrin Design, was present to answer questions. Discussion included the number of units per the concept plan, other proposed developments in the area, the zoning district requested and allowed uses, the driveway connection, and distance to the interchange. Councilman King made the motion to approve with Mr. McBroom seconding the motion. Motion to approve passed with a unanimous vote of six to zero.

AGENDA ITEM #7

Docket #DP-2019-01

Request from Scott Williams and Associates for a PUD Master Plan revision of 1683 Nashville Highway to allow an apartment complex to be constructed.

Staff Recommendation:

Mr. Keltner gave the details of the staff report, stated the differences for this PUD Master Plan revision and the level of traffic service. Based on Article 7.2 of the Columbia Zoning Ordinance and the Technical Committee comments, staff recommends denial of the request.

Discussion:

Mr. Scott Williams, Scott Williams & Associates, was present to answer questions. Discussion and questions included the alignment of Baker and Columbia Rock Roads, adjoining developments and their impact, traffic for the entire area, traffic study results and grade, gas utility location, the Nashville Highway connection design, and public safety. Mr. Williams spoke about the traffic study that was amended for this project and the specific improvements requested. He also spoke about a sight distance issue on Columbia Rock Road if a connection was made for the development. Mr. Greg Judy, P.E., P.T.O.E., Neel-Schaffer, spoke to the Commission about the traffic study. Councilman King made the motion to defer due to Zoning Ordinance Article 7.2.1(A) and (B) along with the lack of access onto Columbia Rock Road. Mayor Molder seconded the motion. Motion to defer passed with a vote of three to two, with Mr. McBroom and Mr. Bryant voting nay.

City of Columbia
MUNICIPAL PLANNING COMMISSION
JANUARY 9, 2019

AGENDA ITEM #8

Docket # DP-2018-04

Request from Architectural Design Review Team to review and approve modifications to Zoning Ordinance 3638 Article 6.1.6.

Staff Recommendation:

Mr. Keltner gave the details of the staff report and stated the changes made since the last approval of this item.

Discussion:

Chairman Bryant restated the changes and asked for clarity of the standards addressed. Mr. Pace made the motion to deny based on the visibility requirement. With no second, the motion died. Mr. McBroom made the motion to approve. Mr. Goatz seconded the motion. Motion to approve passed with a vote of five to one, with Mr. Pace voting nay.

AGENDA ITEM #9

OTHER BUSINESS:

In other business, Mr. McBroom asked if there was any other guidance the Commission could offer concerning the request from Mr. Williams. Mr. Keltner stated staff looks at the whole area when considering recommendations. Mr. Keltner also shared an updated map of approved 2015-2018 residential developments along with 2017 versus 2016 traffic counts for areas in Columbia.

(a) Election of Officers

The Commission held election of officers. For the office of Secretary, Mr. Keltner explained the duties and stated staff currently holds that office. Mr. Bryant made the motion to approve with Mr. McBroom seconding the motion. Motion to approve staff as Secretary passed with a vote of six to zero. For the office of Vice-Chair, Mr. Bryant nominated Mr. McBroom. Mr. Goatz seconded the nomination. No other nominations were made. Motion to approve Mr. McBroom as Vice-Chair passed with a unanimous vote of six to zero. Mr. Bryant then moved the election of Chair to Vice-Chair Mr. McBroom. Mr. McBroom opened nominations for the office of Chair. Councilman King nominated Mr. Bryant. Mr. Goatz seconded the nomination. No other nominations were made. Motion to approve Mr. Bryant as Chair passed with a vote of five to zero, with Mr. Bryant abstaining.

Mayor Molder thanked the Commission for their service.

City of Columbia
MUNICIPAL PLANNING COMMISSION
JANUARY 9, 2019

ADJOURNMENT:

Councilman King made the motion to adjourn with Mr. McBroom seconding the motion. Meeting adjourned at 5:03 p.m. with a vote of six to zero.

Planning Commission Chairman

Date

CURRENT LETTERS OF CREDIT

FEBRUARY 5, 2019

NO.	EXP. DATE	DEVELOPER	DEVELOPMENT	AMOUNT	FINAL PLAT	ORIGINAL SURETY AMOUNT
1	09.09.2016	Sterling Martin	Colter Place Subdivision, Section 1 (rds/drainage)	\$ 44,502.69	9/15/2015	\$44,502.69
2	03.01.2017	CMH Parks, Inc.	Windstone Subdivision, Section 1	\$ 9,300.00	3/14/2006	\$93,000.00
3	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 3	\$ 55,000.00	1/25/2018	\$55,000.00
4	Duration	Charles Raines Construction, LLC	Honey Farm Subdivision - Phase 2, Section 4	\$ 61,000.00	1/25/2018	\$61,000.00
5	02.02.2018	General Homes of Columbia, LLC	Bradford Place Subdivision - Section 7 (rds/drainage)	\$ 6,600.00	2/8/2012	\$65,900.00
6	04.04.2018	Victor Beck, III (B&B Development)	Cherry Springs Subdivision - Roads & Drainage	\$ 106,000.00	12/6/2004	\$98,500.00
7	05.05.2018	General Homes of Columbia, LLC	Armstrong Meadows, Section 2 (roads/drainage)	\$ 28,000.00	6/2/2009	\$277,000.00
8	05.15.2018	General Homes of Columbia, LLC	Armstrong Meadows, Section 1 (rds/drainage)	\$ 21,000.00	6/13/2007	\$205,200.00
9	05.19.2018	LPT, LLC	Greystone Subdivision	\$ 166,500.00	5/18/2017	\$166,500.00
10	05.30.2018	FP,TCI, CCS, LLC	Homestead Carter's Creek Station Sec.1 / Phase1C	\$ 211,000.00	6/22/2017	\$211,000.00
11	06.29.2018	D.R. Horton, Inc.	Highland Bear Creek, Phase 2, Section 1	\$ 82,000.00	9/12/2017	\$82,000.00
12	08.08.2018	JD Eatherly & Charles Raines	Honey Farms Subdivision - Phase 2, Section 2	\$ 99,000.00	9/19/2017	\$99,000.00
13	08.18.2018	Fortuna Capital, LLC	Grove Park Subdivision - Phase 4	\$ 211,000.00	10/9/2017	\$211,000.00
14	08.25.2018	Shaw Enterprises - (cashier's check)	The Landings Subdivision, Phase 2, Section 2	\$ 108,000.00	10/10/2017	\$108,000.00
15	09.01.2018	Arden Village, LLC	Arden Village - Section 2, Phase 1	\$ 13,000.00	1/8/2016	\$132,600.00
16	10.26.2018	D.R. Horton, Inc.	The Highlands of Bear Creek - Phase 2, Section 2	\$ 259,000.00	11/17/2017	\$259,000.00
17	11.09.2018	McBroom Family Limited Partnership	Wellington Plac Subdivision, Section 2	\$ 25,000.00	7/6/2005	\$100,000.00
18	12.13.2018	Honey Farms Management, LLC	Honey Farm Townhomes- Phase 1A (completion of roads)	\$ 20,000.00	1/11/2017	\$20,000.00
19	12.19.2018	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.2, Phase 1	\$ 141,000.00	2/1/2018	\$141,000.00
20	12.19.2018	Estate of Cyril Evers	Fieldstone Farms - Section 4 (roads/drainage)	\$ 21,000.00	8/29/2008	\$210,000.00
21	01.12.2019	Honey Farms Management, LLC	Honey Farms Townhomes Phase 2, Section 2 (roads)	\$ 40,000.00		\$40,000.00
22	02.20.2019	Fortuna Capital, LLC	Grove Park Subdivision, Phase III (roads/drainage)	\$ 10,000.00	2/2/2017	\$99,000.00
23	03.14.2019	Fortuna Capital, LLC	Grove Park Subdivision, Phase 5 (roads/drainage)	\$ 102,000.00		\$102,000.00
24	04.16.2019	FP,TCI, CCS, LLC	Homestead @Carter's Creek Station, Section 2, Phase 1B	\$ 65,000.00		\$65,000.00
25	04.25.2019	Arlington Heights General Partnership	Arlington Heights, Phase 2, Section 2 (roads/drainage)	\$ 105,000.00		\$105,000.00
26	05.02.2019	Arden Village, LLC	Arden Village - Section 2, Phase 2	\$ 165,000.00	6/13/2017	\$165,000.00
27	05.05.2019	General Homes of Columbia, LLC	Armstrong Meadow, Phase 1, Section 3 (roadsd/drainage)	\$ 203,500.00	6/27/2017	\$203,500.00
28	05.09.2019	Arlington Heights General Partnership	Arlington Heights, Section 2, Phase 1	\$ 106,000.00	6/26/2017	\$106,000.00
29	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivision, Phase 2, Section 5	\$ 66,000.00	6/27/2018	\$66,000.00
30	05.15.2019	Charles Raines Construction, LLC	Honey Farm Subdivisionm Phase 2, Sectin 6	\$ 49,000.00	6/27/2018	\$49,000.00
31	05.21.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 4, Phase 1A	\$ 134,000.00	6/29/2018	\$134,000.00
32	05.21.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 4, Phase 1B	\$ 120,000.00	6/29/2018	\$120,000.00
33	05.30.2019	FP,TCI, CCS, LLC	Homestead @ Carter's Station, Section 1, Phase 1C	\$ 211,000.00	6/22/2017	\$211,000.00
34	06.05.2019	LPT, LLC	Timberland Estates, Section 6 (roads and drainage)	\$ 7,600.00	8/5/2018	\$76000 Perf Bond
35	08.14.2019	Fortuna Capital, LLC	Grove Park Subdivision, Phase 6 (roads and drainage)	\$ 120,000.00	10/2/2018	\$120,000.00
36	09.06.2019	Haury & Smith Contractors, Inc.	The Highlands of Bear Creek - Phase 1 (roads/drainage)	\$ 150,000.00	4/5/2012	\$250,184.00
37	09.07.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision, Phase 2, Section 1	\$ 7,500.00	5/19/2017	\$75,000.00
38	09.07.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 1, Section 3	\$ 11,300.00	9/28/2016	\$113,000.00
39	09.23.2019	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec.1/Phase 1A	\$ 45,000.00	10/4/2016	\$449,000.00
40	09.28.2019	Campbell and Lovell Rentals	Savannah Cove Subdivision - roads/drainage	\$ 69,575.00	12/17/2007	\$160,260.00
41	10.06.2019	Shaw Enterprises, LLC	The Landings Subdivision, Phase 2, Section 1	\$ 95,000.00	10/28/2015	\$95,000.00
42	10.10.2019	J.D. Eartherly and Charles Raines	Honey Farms Subdivision - Phase 2, Section 7	\$ 70,000.00	10/17/2018	\$70,000.00
43	10.11.2019	Parkside - Homestead, LLC	Townhomes of Homestead - (roads and drainage)	\$ 23,000.00	1/11/2017	\$76,000.00
44	01.05.2020	FP,TCI, CCS, LLC	Homestead Carter's Creek Station, Sec. 1, Phase 1B	\$ 7,000.00	12/2/2016	\$74,000.00

Docket Number:

DP – 2019 – 01

Request:

Request from Scott Williams and Associates for a PUD Master Plan revision of 1683 Nashville Highway to allow an apartment complex to be constructed.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
DP 2019-01

APPLICANT/PROPERTY OWNER
Scott Williams

PUBLIC HEARING DATE

April 11th 2019

PROPERTY ADDRESS/LOCATION

1683 Nashville Hwy Map 75 – 8.02

BRIEF SUMMARY OF REQUEST

This is a PUD Master Plan revision request for 19 acres on the corner of Columbia Rock Products Road and Nashville Highway. The new proposal is a request for an apartment complex of 96 units within four buildings to replace the previously approved religious facility. The site will retain the commercial outparcels on the front to be accessed within the interior of the site. *Modifications to the previously approved entrance driveway, site circulation, no outdoor amenity and removal of the secondary access is being requested.*



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
Commercial Planned Unit Development	Agriculture	Residential	Four apartment buildings	19 acres

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the COMPREHENSIVE PLAN

NA

PROPERTY HISTORY

This property has an approved master plan for a lessor intense use in trip generation with multiple access points. The current driveway access road without the proposed development will operate at the worse level of service (F) in regards to traffic.

COMPATIBILITY with the ZONING ORDINANCE

Based on the technical comments, staff would find this request to not be compatible with the goals, intent and purpose most notable CZO 7.2 and Access Management Section 2 of the city's policies.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

Plan Update:

At the request of Planning Commission, staff reviewed multiple scenarios for traffic movements with this proposed development. This section of Nashville Highway has a multitude of existing inadequate traffic management practices that were evaluated. As we studied the area the only true solution would be realignments, median closures, and controlled access via a traffic signal. It is not feasible for this development to assume all the obligations needed in improvements for this section of Nashville Highway. Staff presented the applicant with possible improvements, but as stated to the applicant these improvements in no way improve safety or flow in this area but only provide a step in the direction of realignment and signalization.

Improvements added to this project scope that the applicant has agreed to construct would be a secondary access road onto Columbia Rock Road and the grading to be completed for the proposed realignment of Columbia Rock Road and Baker Road.

TECHNICAL COMMITTEE MEETING

January 29, 2019

ITEM NO. 3

DP-2019-01



Request from Scott Williams and Associates for a PUD Master Plan revision of 1683 Nashville Highway to allow an apartment complex to be constructed.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING COMMENTS:

Atmos Energy: Gas on Columbia Rock Road and Nashville Highway. We have a regulator station that would remain after re-alignment.

CPWS:

Power – Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Water – Water is available for domestic and fire protection.

Development Services:

Code Administration – No comments.

Engineering – Subject to construction plan approval and TIS comments. Must construct improvements identified/assumed in Traffic Study if not in place.

Planning – No comments.

Fire & Rescue: No comments.

Maury County E911: 1683 Nashville Highway is not an address on the E911 map and cannot be used for the property.

Maury County Public Schools: Attendance zones for this development: Spring Hill Elementary School – capacity 604, projected enrollment 2018/19 - 600. Spring Hill Middle School – capacity 1029, projected enrollment 2018/19 – 979. Spring Hill High School – capacity 1200, projected enrollment 2018/19 – 1127.

Police: No comments provided.

Public Works: No comments provided.

Wastewater: No comments provided.

ATTACHMENTS: PUD Master Plan.

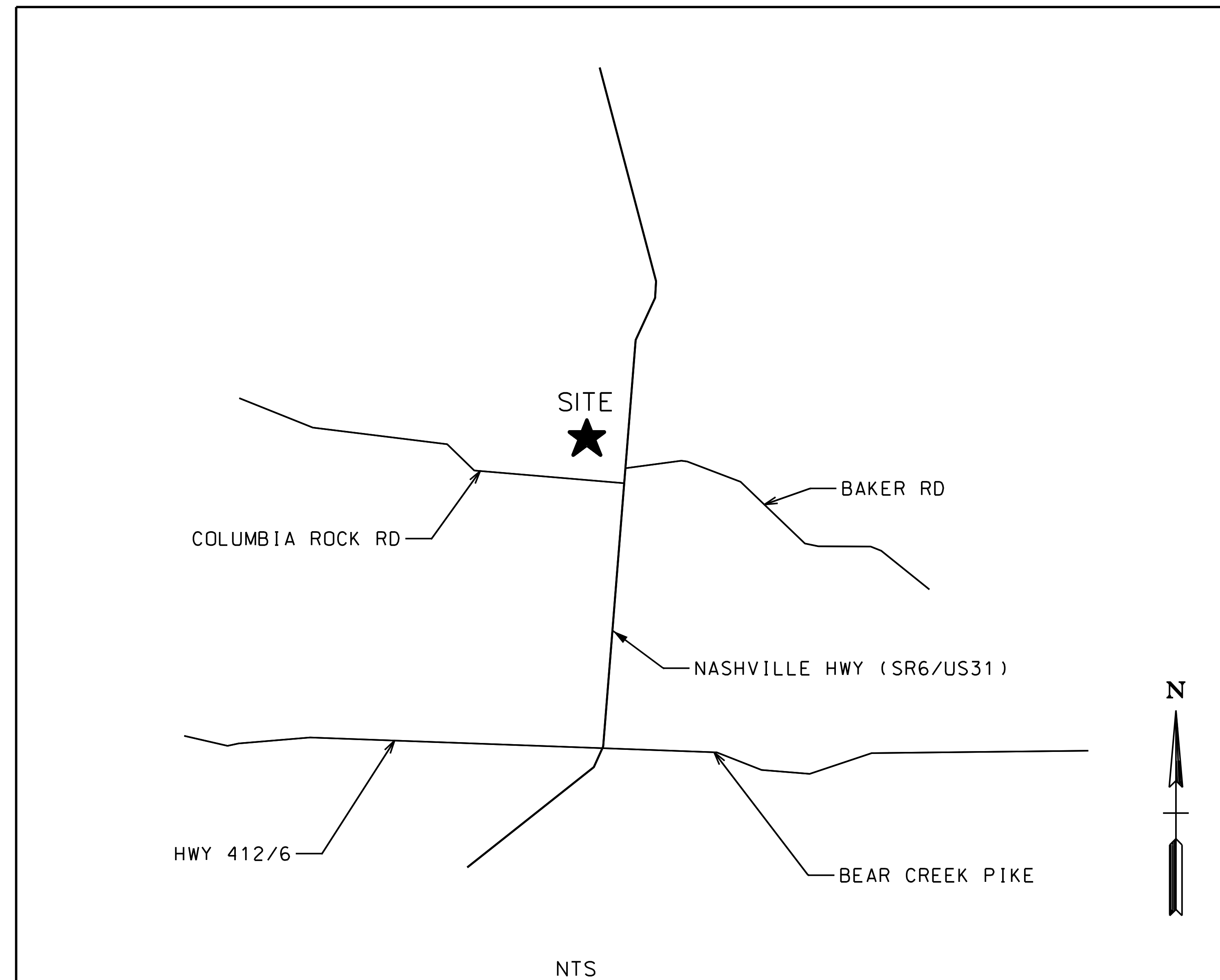
FOXHILL RIDGE APARTMENTS

P.U.D. AND SITE PLAN SUBMITTAL

COLUMBIA, TENNESSEE

SHEET INDEX

MP1	MASTER PLAN AMENDMENT FOR PARCEL 1 OF FOXHILL P.U.D.
C1a & C1b	SITE & UTILITY LAYOUT PLAN
C2a & C2b	GRADING AND DRAINAGE PLAN
L1	LANDSCAPE PLAN
	TYPICAL BUILDING PLAN
	TYPICAL BUILDING ELEVATIONS



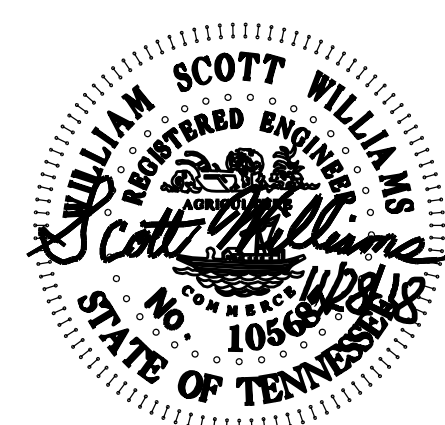
VICINITY MAP

SITE ADDRESS:
1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008.02

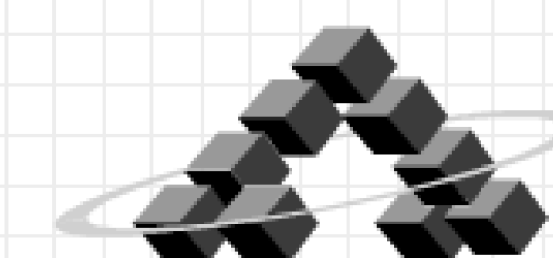
DEVELOPER:

FOXHILL RIDGE
APARTMENTS, L.P.

PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052



NOVEMBER 28, 2018

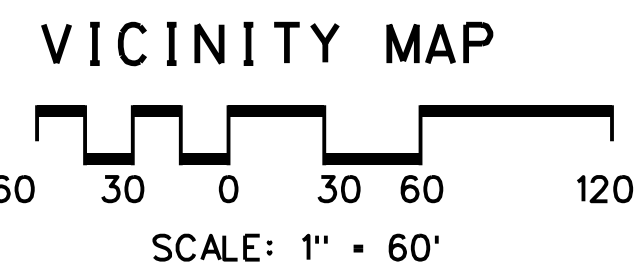
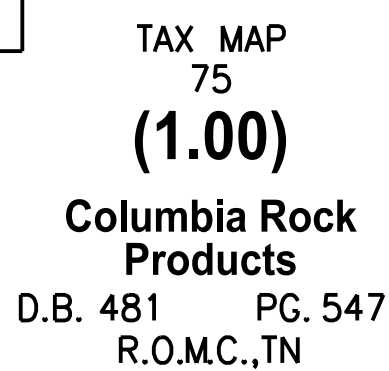


CONSULTING
CIVIL ENGINEERING
LAND SURVEYING

W. SCOTT WILLIAMS AND ASSOCIATES

4530 Annalee Way
Knoxville, TENNESSEE 37921
P & F: (865) 692-9809
E-MAIL: wscottwill@comcast.net

JOB # 1873



SITE DATA

ZONING: PUD-C

MIN. SETBACKS:
FRONT - 20' (MINOR RD)
SIDE - 15'
REAR - 25'

TOTAL P.U.D. AREA: 27.32 ACRES
P.U.D. AMENDMENT AREA: 18.84 ACRES

PROPOSED DENSITY: 96 APARTMENT UNITS & 1 CLUBHOUSE

PROPOSED IMPERVIOUS AREA: 163,000 SF

PARKING:

1-5 PARKING SPACES PER 2 BEDROOMS REQUIRED
190 PARKING SPACES PROPOSED ALLOW 253 BEDROOMS

LEGEND

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM  WATER METER PIT
-  PP POWER POLE
-  GUY WIRE
- EASEMENT
- ===== STORM SEWER
-  SANITARY SEWER MANHOLE
- CO  SANITARY SEWER CLEAN OUT
- SA — SANITARY SEWER
- ===== BUILDING SETBACK LINE

TAX MAP
75
(5.00)
James
Sanders
R1843 PG. 168
R.O.M.C..TN

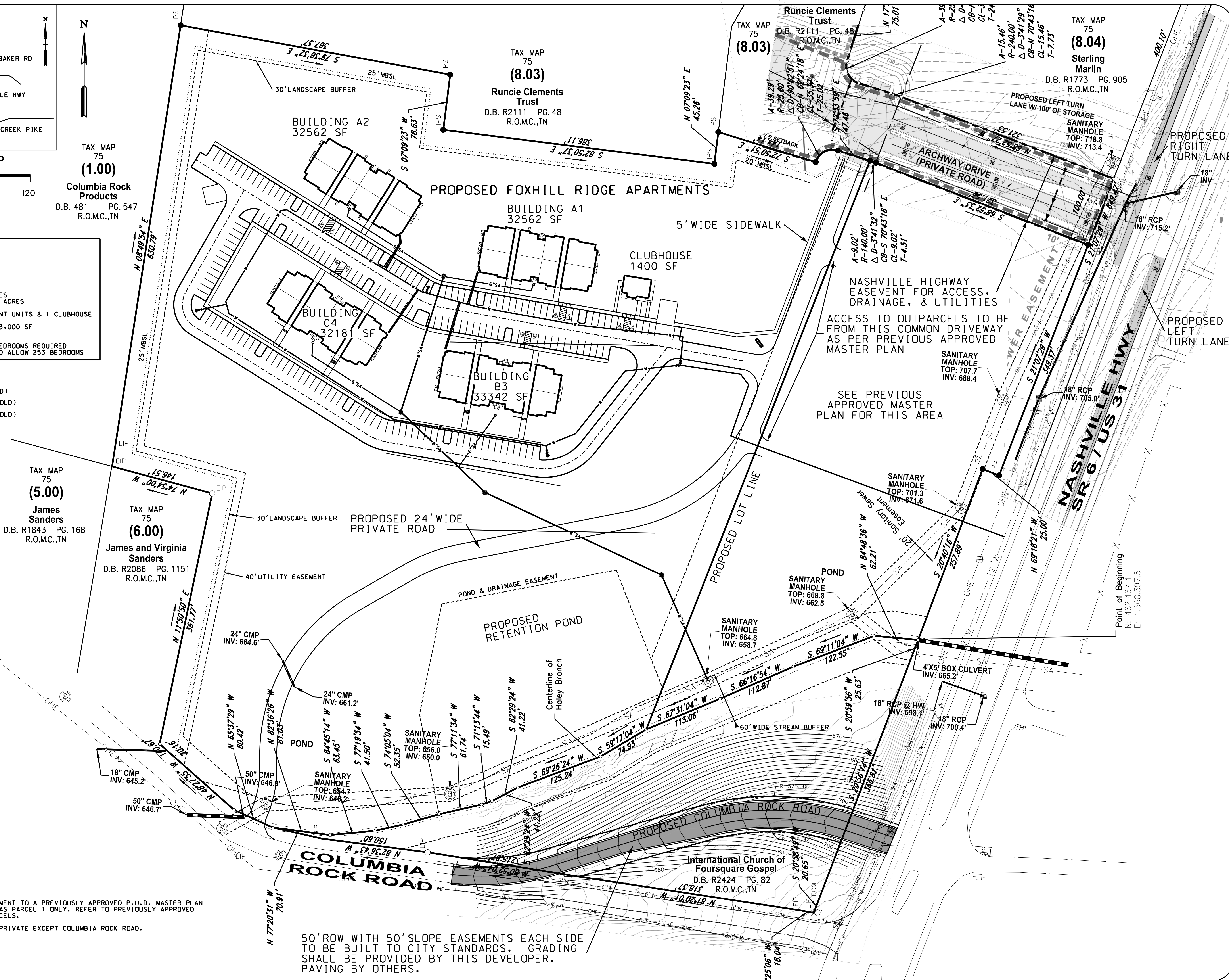
TAX MAP
75
(6.00)
**James and Virginia
Sanders**
D.B. R2086 PG. 115
R.O.M.C., TN

NOTES:

THIS PLAN IS TO SHOW AN AMENDMENT TO A PREVIOUSLY APPROVED P.U.D. MASTER PLAN BY OTHERS FOR THE AREA SHOWN AS PARCEL 1 ONLY. REFER TO PREVIOUSLY APPROVED MASTER PLAN FOR ALL OTHER PARCELS.

ALL PROPOSED ROADS ARE TO BE PRIVATE EXCEPT COLUMBIA ROCK ROAD.

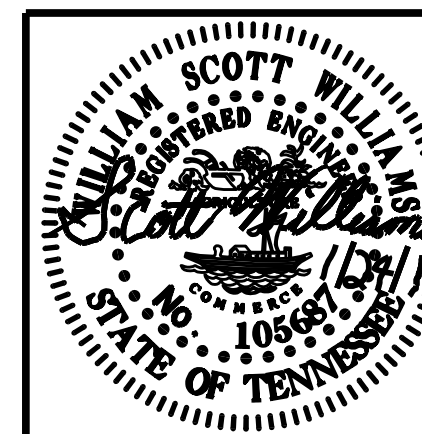
50' ROW WITH 50' SLOPE EASEMENTS EACH SIDE
TO BE BUILT TO CITY STANDARDS. GRADING
SHALL BE PROVIDED BY THIS DEVELOPER.
PAVING BY OTHERS.

[illegible]

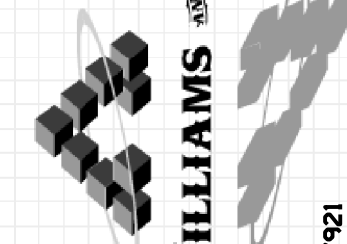
**MASTER PLAN AMENDMENT
FOR PARCEL 1 OF:**

FOXHILL P.U.D.

1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008.02



W. SCOTT WILLIAMS AND ASSOCIATES



4530 Annalee Way
Knoxville, TENNESSEE 37921
P & F: (865) 692-9809

CLIENT:

**HUFF AND ASSOCIATES
CONSTRUCTION COMPANY, INC.**

PO DRAWER 2767
OPELIKA, AL 36803
Office 334-749-0052

ORIGINAL ISSUE:

NOV 28, 2018

SHEET NO.

MP 1

JOB NO. 1873

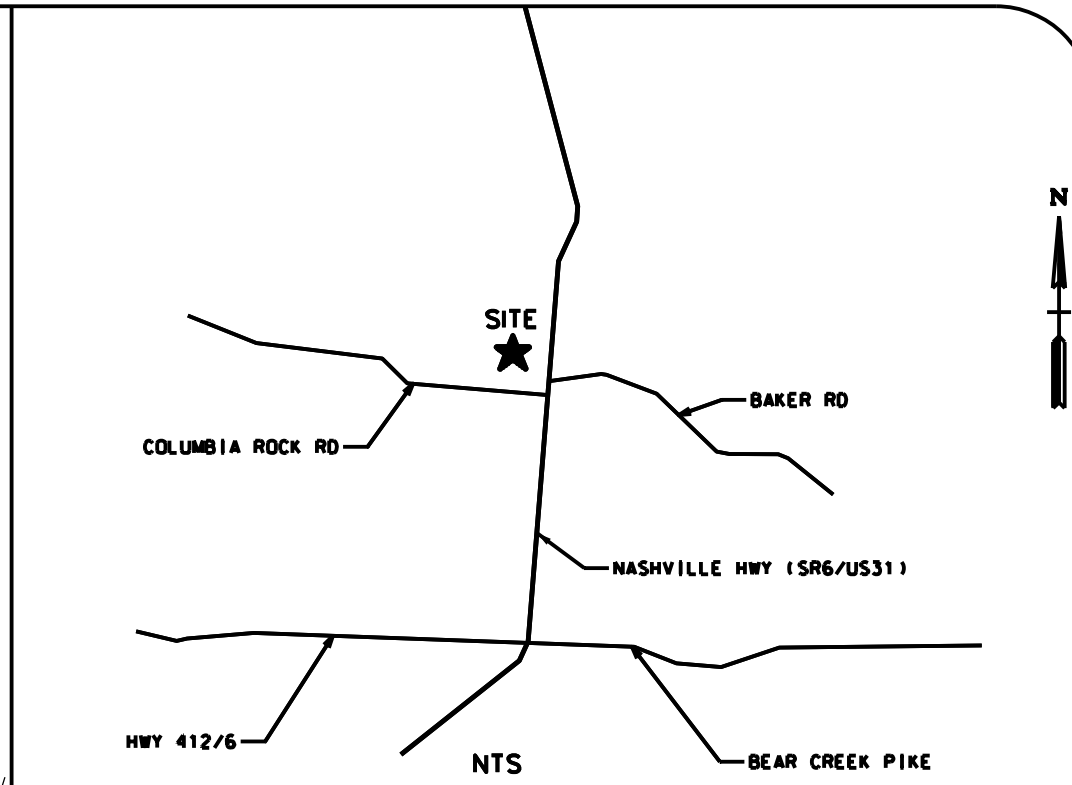
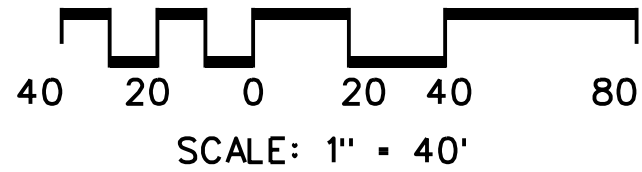
SITE DATA

ZONING: PUD-C
MIN. SETBACKS:
FRONT - 20' (MINOR RD)
SIDE - 15'
REAR - 25'
MAX. BUILDING HEIGHT: 35'
PROPOSED DENSITY: 96 APARTMENT UNITS & 1 CLUBHOUSE
(210 BEDROOMS)
PROPOSED IMPERVIOUS AREA: 163,000 SF
PARKING:
1.5 PARKING SPACES PER 2 BEDROOMS (158) REQUIRED
188 PARKING SPACES INCL. 10 ADA ACCESSIBLE

NOTES:
THIS PLAN IS TO SHOW THE SITE LAYOUT FOR PAVING, CURB, SIDEWALK, BUILDINGS, ETC., ONLY.
ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF COLUMBIA REGULATIONS AND O.S.H.A. STANDARDS.
CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE.
ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
ALL CURB RADIUS ARE 3' AT FACE OF CURB UNLESS OTHERWISE SHOWN. ROADWAY AND PARKING LOT DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. BUILDING LOCATION MEASUREMENTS ARE TO OUTSIDE FACE.
PAVEMENT MARKINGS SHALL BE 4" WIDE SOLID WHITE PAINTED STRIPES MEETING REQUIREMENTS AND INSTALLED IN ACCORDANCE WITH APPLICABLE DETAILS AND SPECIFICATIONS.
PORTLAND CEMENT CONCRETE USED IN SITE WORK CONSTRUCTION TO BE MIXED AND PLACED IN ACCORDANCE WITH A.C.I. STANDARD 318 - LATEST EDITION.
ALL SIGNS TO BE DESIGNED AND INSTALLED BY OTHERS UNDER SEPARATE SIGN PERMIT.
THE MOST UP TO DATE A.D.A. REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES.
ANY DISCREPANCIES IN THE LAYOUT SHALL BE REPORTED TO W. SCOTT WILLIAMS & ASSOC. IMMEDIATELY.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND PERFORMING ALL DEMOLITION AND UTILITY RELOCATION REQUIRED. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
ALL PROPOSED ROADS TO BE PRIVATE DRIVEWAYS.
PROPOSED PAVEMENT SHALL BE PER DETAILS ON D1 UNLESS OTHERWISE SPECIFIED BY LICENSED GEOTECHNICAL ENGINEER.
LIGHT DUTY PAVEMENT MAY BE USED IN PARKING SPACES ONLY PER DETAIL D1/10 WITH GEOTECHNICAL ENGINEER APPROVAL.
SEE D1.02, D3 FOR SITE DETAILS.
SITE SURVEY AND TOPOGRAPHY INFORMATION SHOWN HEREON IS BY OTHERS. REFER TO SURVEY FOR ALL EXISTING SURVEY INFORMATION.

LEGEND

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- STORM SEWER
- SS SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN OUT
- SA SANITARY SEWER
- BUILDING SETBACK LINE
- FENCE
- F/O FIBER OPTIC
- COMM COMMUNICATION
- CATCH BASIN
- (17) PARKING SPACE COUNT
- LIGHT DUTY CONCRETE
- SIGN
- (D1) SHEET NO. DETAIL NO.



NO.	DATE	DESCRIPTION
1	1/27/18	CITY COMM.
2	1/24/19	CITY COMM.

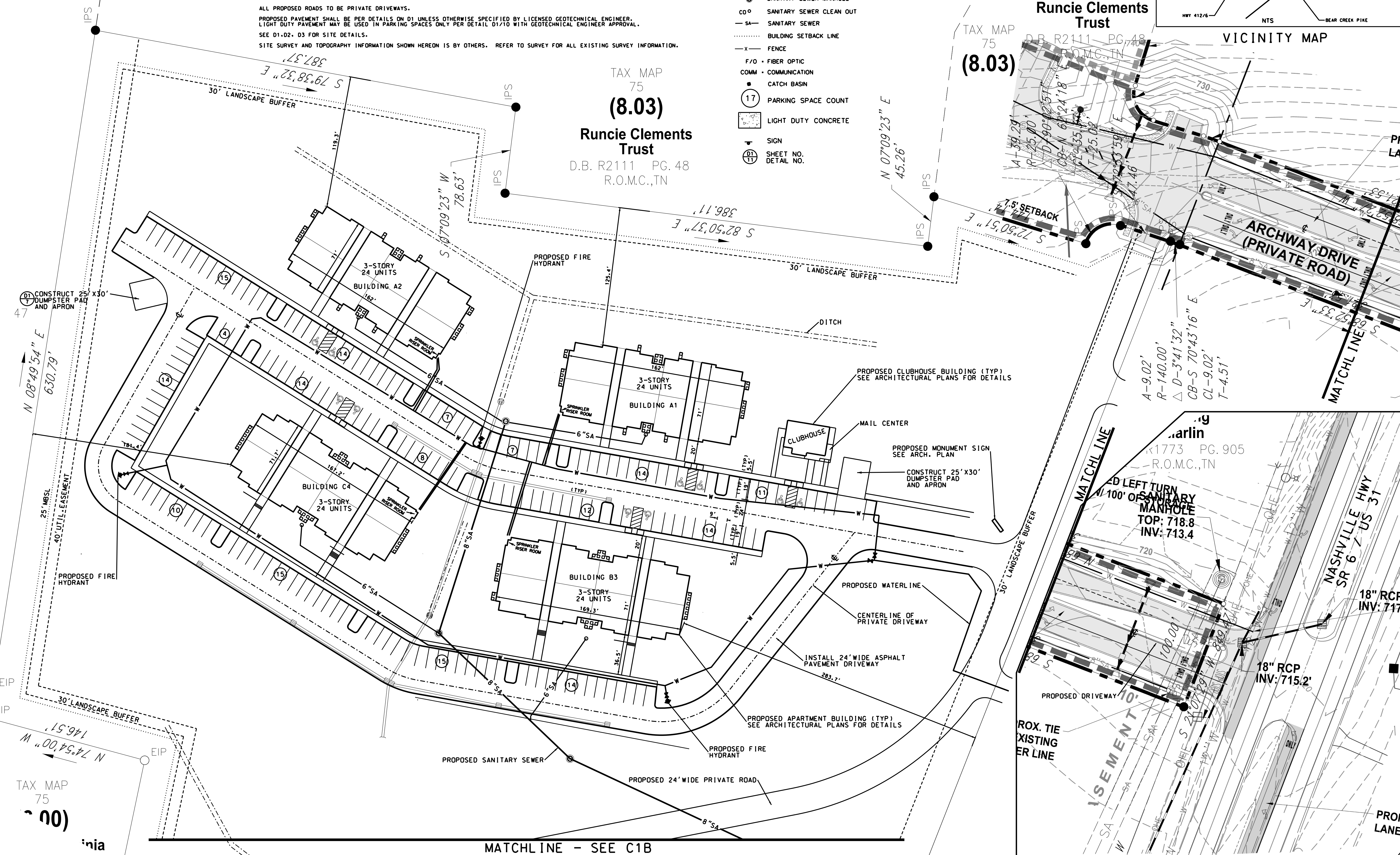
SITE & UTILITY LAYOUT PLAN
FOXHILL RIDGE APARTMENTS
1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008-02



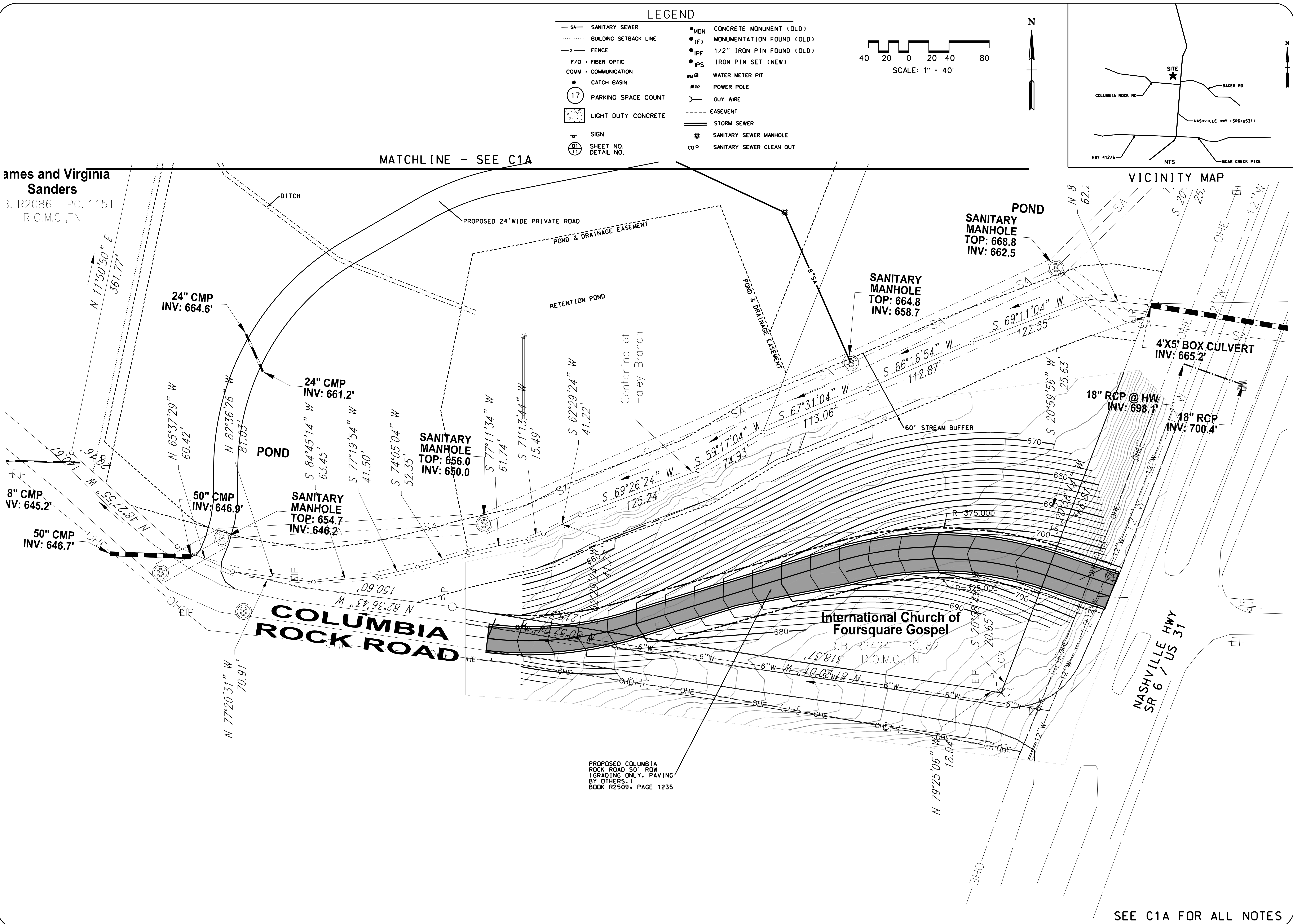
W. SCOTT WILLIAMS & ASSOCIATES
CONSULTING ENGINEER
CIVIL AND SURVEYING
4530 Annalee West
Nashville, TN 37221
P & F: (615) 692-1889
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PO DRAWER 2767
Opelika, AL 36803
Office 334-749-0052

ORIGINAL ISSUE:
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SHEET NO.
C1A
JOB NO. 1873



James and Virginia
Sanders
3. R2086 PG. 1151
R.O.M.C., TN

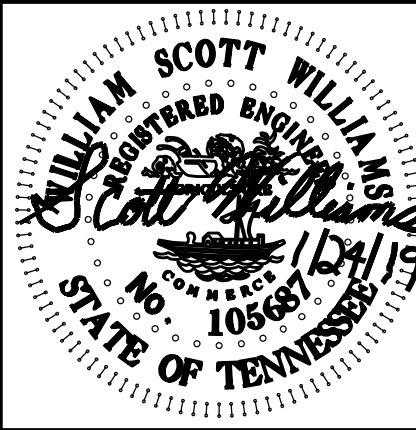


REVISIONS	
NO.	DATE DESCRIPTION
1	12/27/18 CITY COMM.
2	1/24/19 CITY COMM.

SITE & UTILITY
LAYOUT PLAN (CONT.)

FOXHILL RIDGE APARTMENTS

1683 NASHVILLE HWY.
COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008-02



W. SCOTT WILLIAMS ASSOCIATES

CONSULTING
CIVIL ENGINEERING
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CLIENT:

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APARTMENTS, L.P.

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OPELIKA, AL 36803
Office 334-749-0052

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SITE DATA

ZONING: PUD-C

MIN. SETBACKS:

FRONT - 20' (MINOR RD)

SIDE - 15'

REAR - 25'

MAX. BUILDING HEIGHT: 35'

PROPOSED DENSITY: 96 APARTMENT UNITS & 1 CLUBHOUSE

(210 BEDROOMS)

PROPOSED IMPERVIOUS AREA: 163,000 SF

GENERAL NOTES:

BORROW MATERIAL TO BE USED FOR FILL WILL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS WILL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. SIX (6) DENSITY TESTS SHOULD BE PERFORMED NO LESS THAN EVERY 10,000 SQUARE FEET OF AREA PER 8-INCH LIFT (APPROX. 1 TEST PER EVERY 50 FEET).

A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS. PRIOR TO DIGGING, CALL TENNESSEE ONE CALL TO LOCATE UTILITIES 3 OR MORE DAYS IN ADVANCE.

SEE D2/4 FOR TYPICAL PIPE BEDDING DETAIL.

SEE D2/3 FOR TYPICAL ENVIRONMENTAL STATEMENT TO BE PLACED ON ALL STORM SEWER INLETS / MANHOLES.

All stormwater pipes must be installed correctly with adequate pipe bedding, backfill and stormwater joint techniques. See the following for proper installation practices: Reinforced Concrete Pipe (RCP) - ASTM C 143-01 Double Wall High-Density Polyethylene (HDPE) - ASTM D 2321

DRAINAGE NOTES:

FOR ALL BUILDINGS: DOWNSPOUT SPLASH PADS MAY BE USED ON FRONT ROOF DRAINS AS LONG AS CONTRACTOR ENSURES POSITIVE DRAINAGE (MIN 2% AWAY FROM ALL BUILDINGS). EXTENSIONS MAY BE USED AS LONG AS THE PIPES ARE TERMINATED IN GRASS AREAS. ALL REAR GUTTERS SHALL BE EXTENDED TO TOE OF STEEP SLOPES.

ALL BUILDINGS SHALL HAVE 6" VERTICAL GRADE DROP TO ADJACENT GRASS AREAS. ALL GRASS AREAS SHALL SLOPE AWAY FROM THE BUILDING AT 2% SLOPE WHERE POSSIBLE AND 1% MINIMUM SLOPE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS THROUGHOUT AND AT THE END OF CONSTRUCTION.

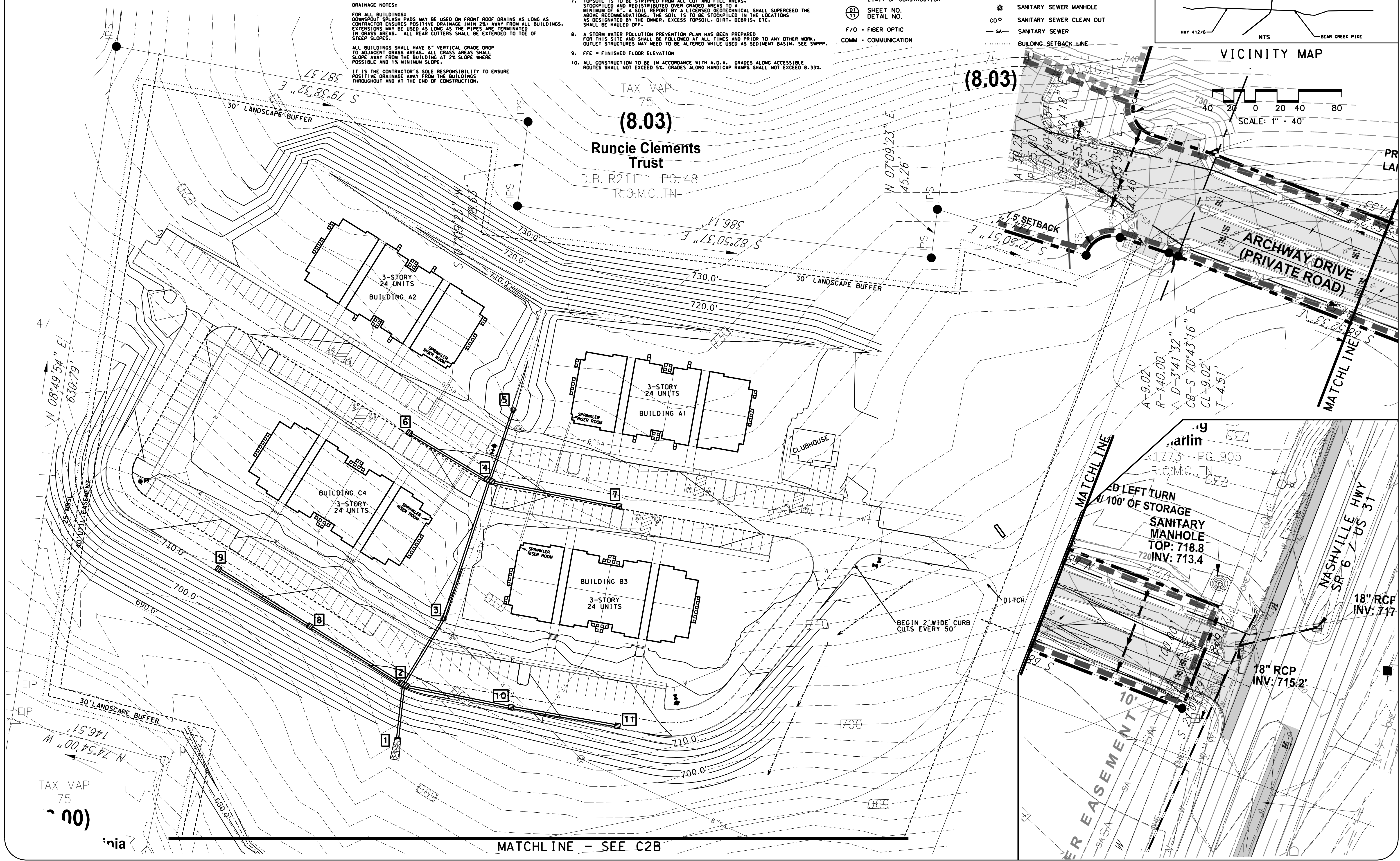
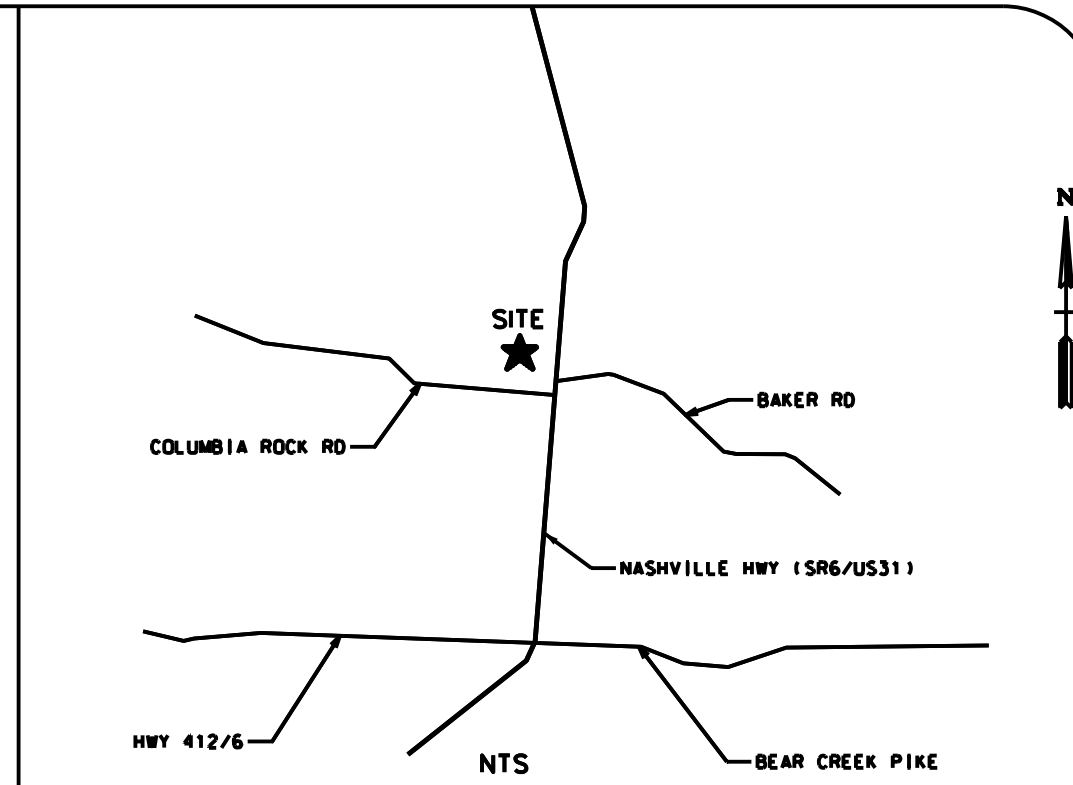
GRADING NOTES (SEE SPM-4 FOR EROSION CONTROL NOTES):

- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D698. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY, PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2' OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
- ALL SLOPES TO BE 3:H:1 V UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2:H:1 V. IF ROCK IS ENCOUNTERED IN SLOPES, CONTRACTOR TO NOTIFY ENGINEER SO NEW DESIGN CAN BE CONSIDERED BEFORE CONTINUING WORK.
- FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PLAN PRIOR TO DISTURBANCES.
- ALL GRADING AND DRAINAGE ORDINANCES OF COLUMBIA SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELECTERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 6". A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS. THE SOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DIRT, DEBRIS, ETC. SHALL BE HAULED OFF.
- A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK. OUTLET STRUCTURES MAY NEED TO BE ALTERED WHILE USED AS SEDIMENT BASIN. SEE SPMPP.
- FFE = FINISHED FLOOR ELEVATION
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH A.D.A. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.

LEGEND

- 4 STORM STRUCTURE NUMBER
- STORM SEWER
- CATCH BASIN
- CONCRETE HEADWALL
- PROPOSED FINISHED GRADE CONTOUR
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SURFACE DRAINAGE SWALE DIRECTION (MIN 1% ASPHALT, 2% GRASS)
- RIPRAP APRON
- LIMIT OF CONSTRUCTION
- SHEET NO. DETAIL NO.
- F/O - FIBER OPTIC
- COMM - COMMUNICATION

- MON CONCRETE MONUMENT (OLD)
- (F) MONUMENTATION FOUND (OLD)
- IPF 1/2" IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- WM WATER METER PIT
- PP POWER POLE
- GUY WIRE
- EASEMENT
- FENCE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER
- BUILDING SETBACK LINE



REVISIONS

NO.	DATE	DESCRIPTION
1	1/27/18	CITY COMM.
2	1/24/19	CITY COMM.

GRADING AND DRAINAGE PLAN

FOXHILL RIDGE APARTMENTS

1683 NASHVILLE HWY, COLUMBIA, TENNESSEE
TAX MAP 075 PARCEL 008-02

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ORIGINAL ISSUE:

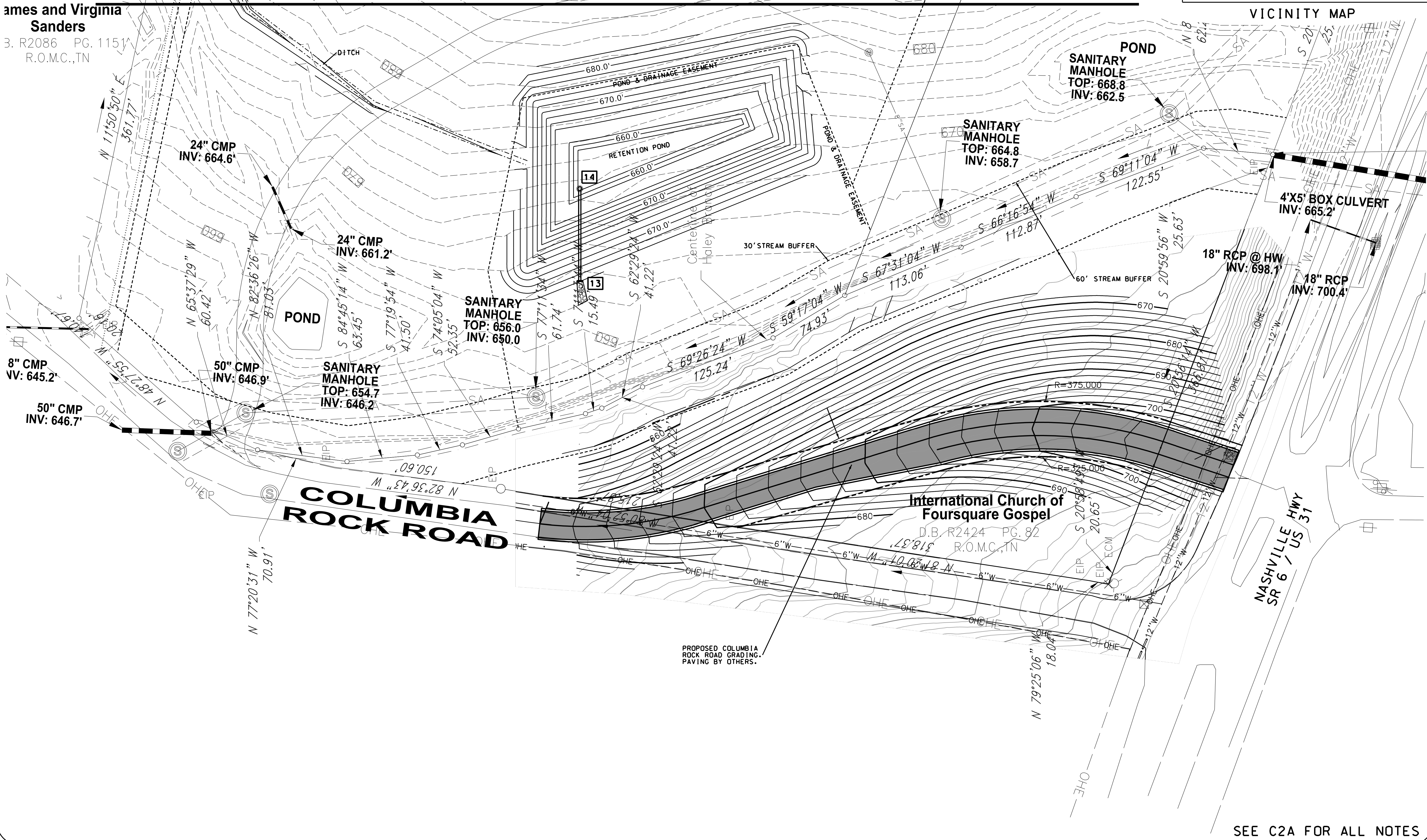
NOV 28, 2018

SHEET NO.

C2A

JOB NO. 1873

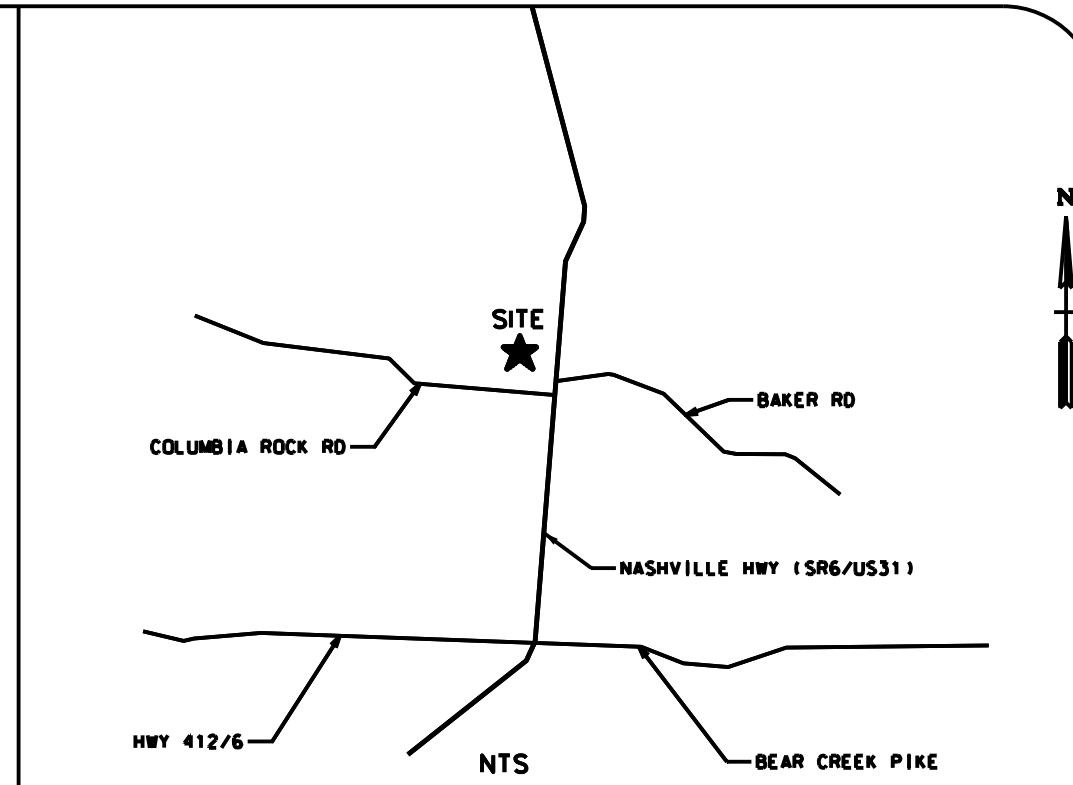
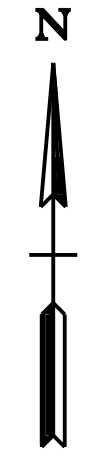
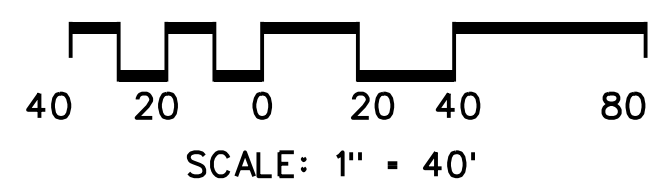
James and Virginia
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MATCHLINE - SEE C2A

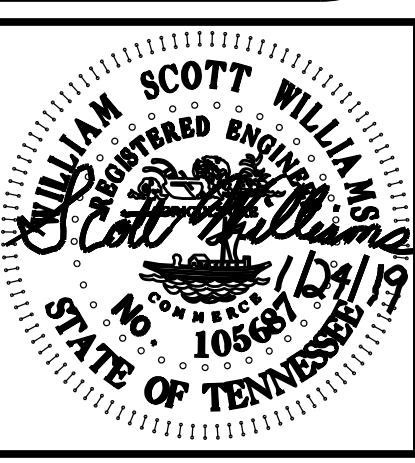
LEGEND

- FENCE
- F/O - FIBER OPTIC
- COMM - COMMUNICATION
- STORM STRUCTURE NUMBER
- STORM SEWER
- CATCH BASIN
- CONCRETE HEADWALL
- PROPOSED FINISHED GRADE CONTOUR
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SURFACE DRAINAGE SWALE DIRECTION (MIN. ASPHALT, 2% GRASS)
- RIPRAP APRON
- LIMIT OF CONSTRUCTION
- SHEET NO.
- DETAIL NO.
- MON
- (F)
- IPF
- IPS
- WM
- PP
- GUY WIRE
- EASEMENT
- BUILDING SETBACK LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER
- CONCRETE MONUMENT (OLD)
- MONUMENTATION FOUND (OLD)
- 1/2\"/>



FOR REVIEW - NOT FOR CONSTRUCTION

GRADING & DRAINAGE
PLAN (CONT.)



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ORIGINAL ISSUE:
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SHEET NO.
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SEE C2A FOR ALL NOTES



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REAR - 25'
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PROPOSED IMPERVIOUS AREA: 163.000 SF

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- ===== STORM SEWER
- ⊙ SANITARY SEWER MANHOLE
- CO° SANITARY SEWER CLEAN OUT
- SA— SANITARY SEWER
- BUILDING SETBACK LINE

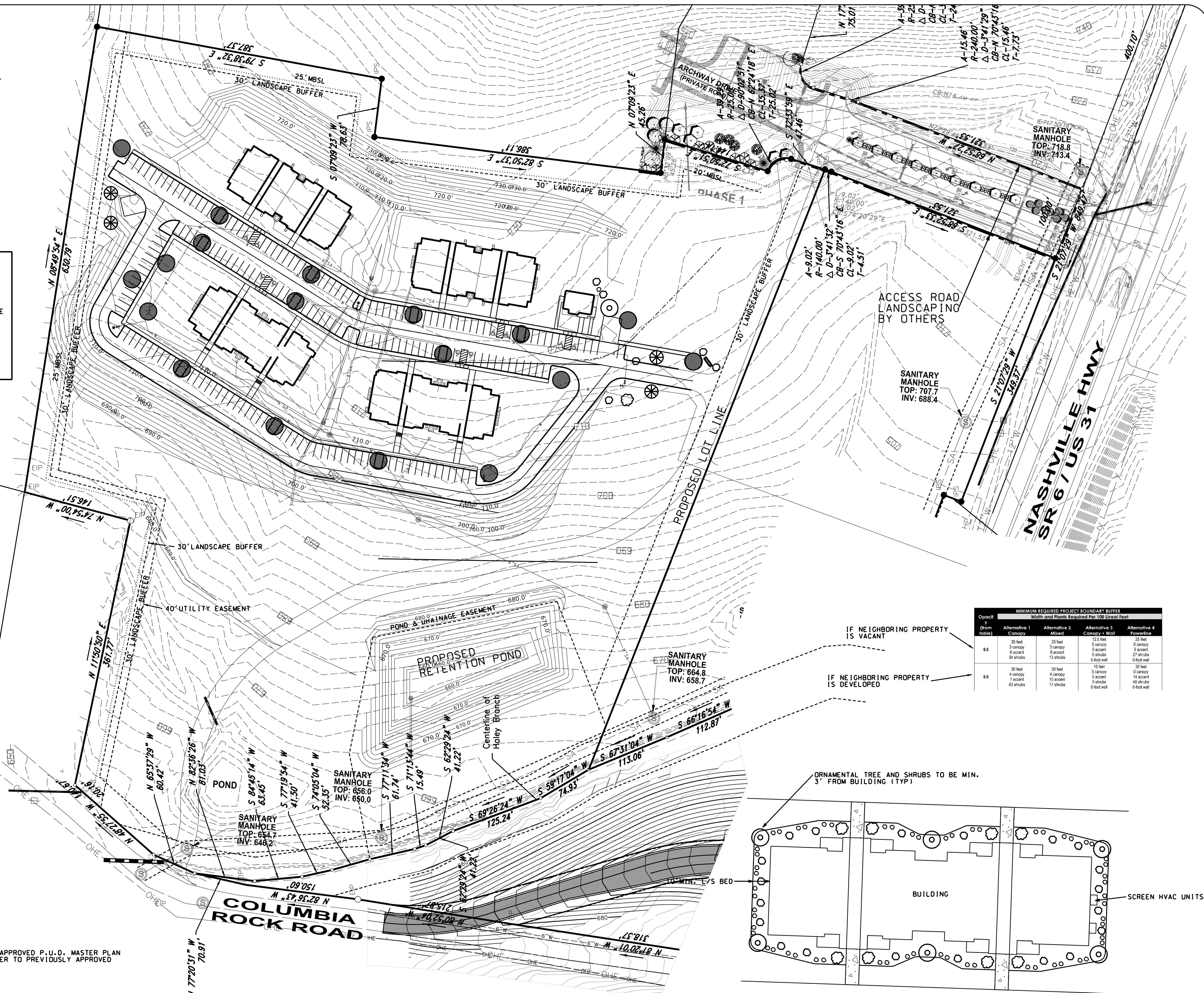
LANDSCAPE LEGEND

- | | |
|---|-------------------------------------|
|  | EVERGREEN TREE (MIN. 6' TALL) |
|  | SHADE TREE (MIN. 2.5" CALIPER) |
|  | ORNAMENTAL TREE (MIN. 1.5" CALIPER) |
|  | LARGE SHRUB (MIN. HEIGHT 3') |
|  | MEDIUM SHRUB (MIN. HEIGHT 2') |
|  | SMALL SHRUB (MIN. HEIGHT 18") |
|  | EVERGREEN SHRUB (MIN. HEIGHT 4') |

NOTES:

THIS PLAN IS TO SHOW AN AMENDMENT TO A PREVIOUSLY APPROVED P.U.D. MASTER PLAN BY OTHERS FOR THE AREA SHOWN AS PARCEL 1 ONLY. REFER TO PREVIOUSLY APPROVED MASTER PLAN FOR ALL OTHER PARCELS.

ALL PROPOSED ROADS ARE TO BE PRIVATE.



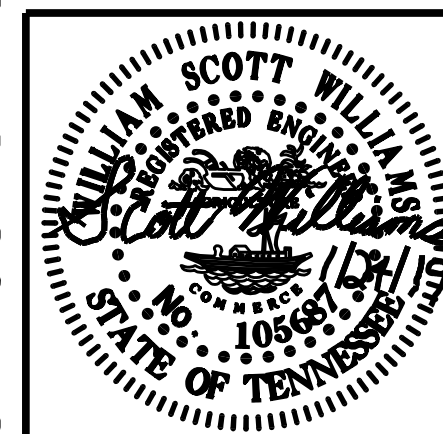
TYPICAL BUILDING LANDSCAPE DETAIL

REVISIONS

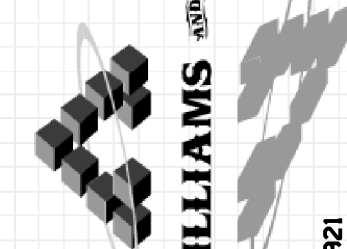
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LANDSCAPE PLAN

FOXHILL RIDGE APARTMENTS



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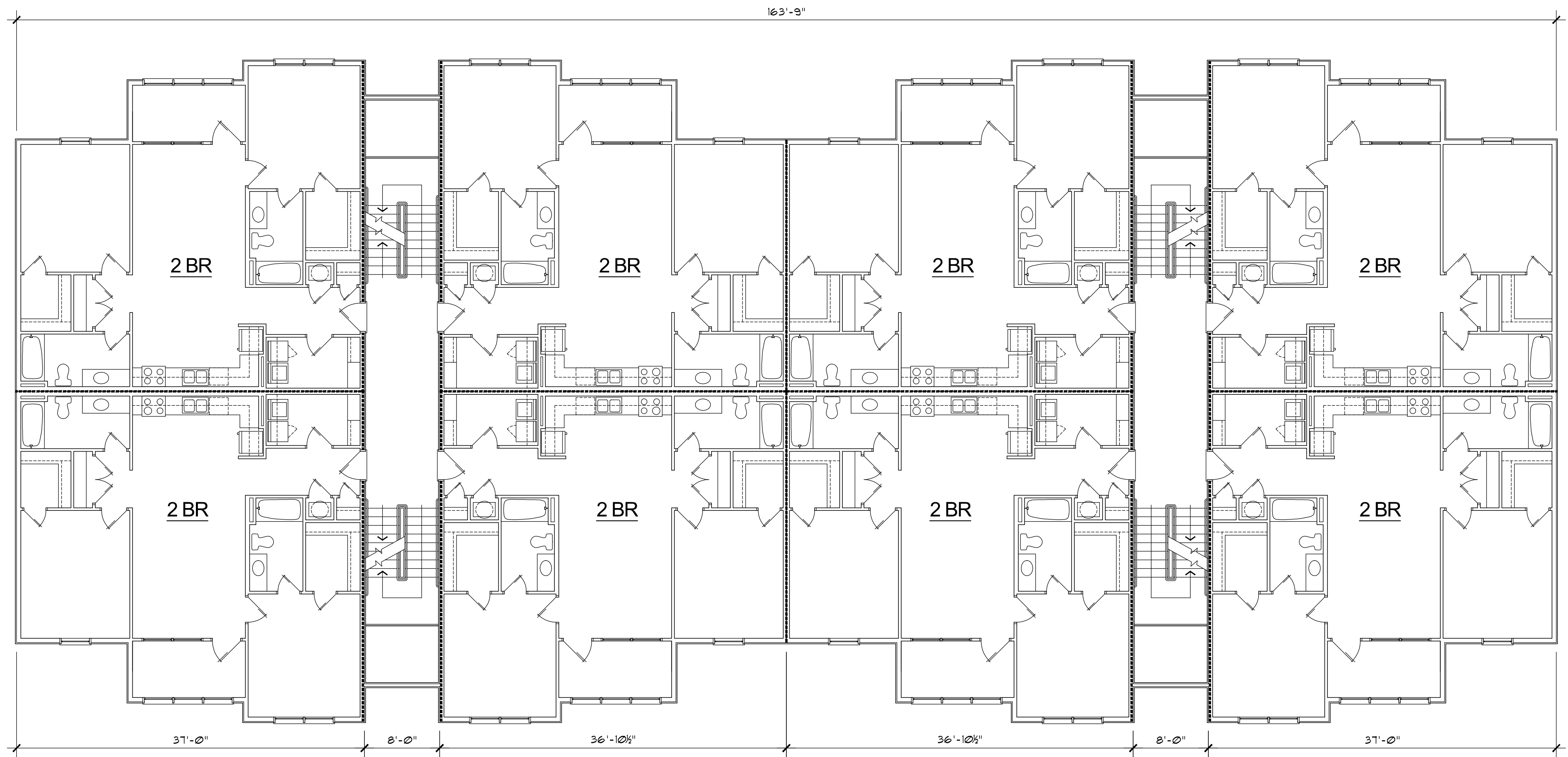
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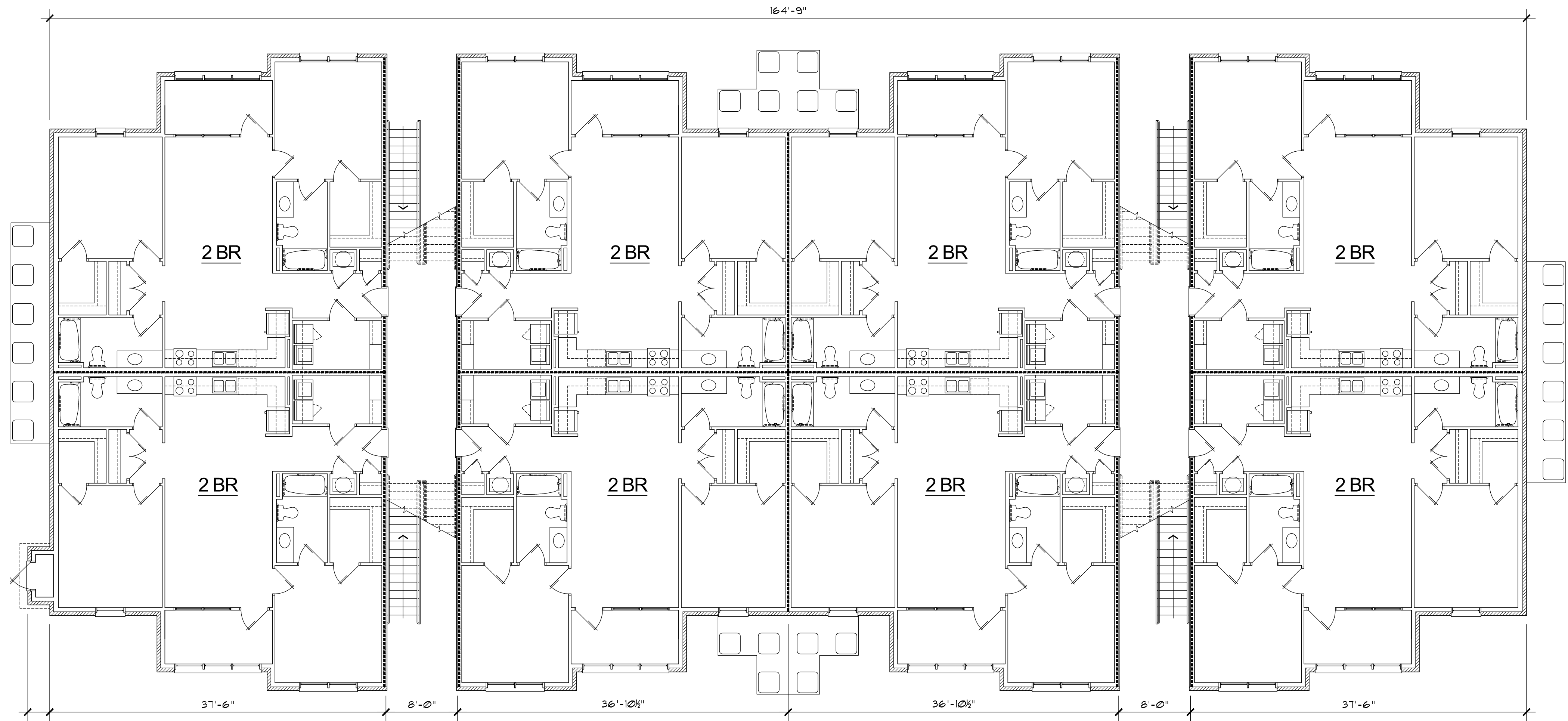
L1

JOB NO. 1873



BUILDING C SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



BUILDING C FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FIRE RATING LEGEND

1 HR FIRE RATED PARTITION-
TENANT SEPARATION (ALL FLRS)
OR EXIT PROTECTION # BRZLWYS.
EXTEND INTO SOFFIT ABOVE
BRZLWY WALLS IN ATTIC.

DRAFTSTOP IN ATTIC
SPACE IN LINE W/ TENANT
SEPARATION (PARTY)
WALLS FROM TOP PLATE
TO ROOF DECK.

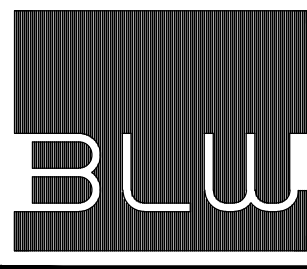
BERNARD L. WEINSTEIN
& ASSOCIATES · ARCHITECTS
NASHVILLE, TENNESSEE

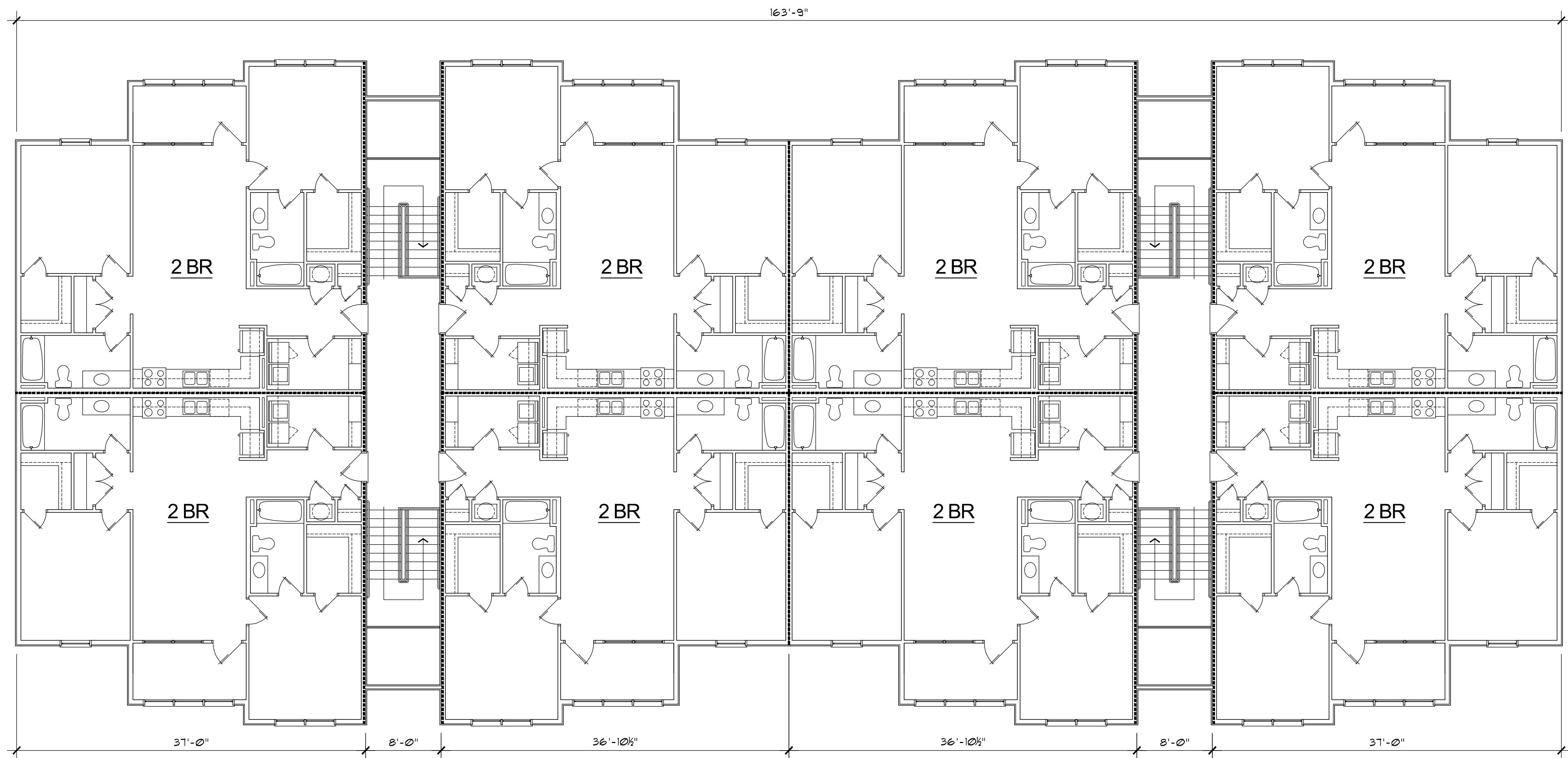
PROJ. NO.

DATE
11/14/2018
REVISED

FOXHILL RIDGE
COLUMBIA, TENNESSEE

BUILDING C
FIRST & SECOND FLOOR PLANS



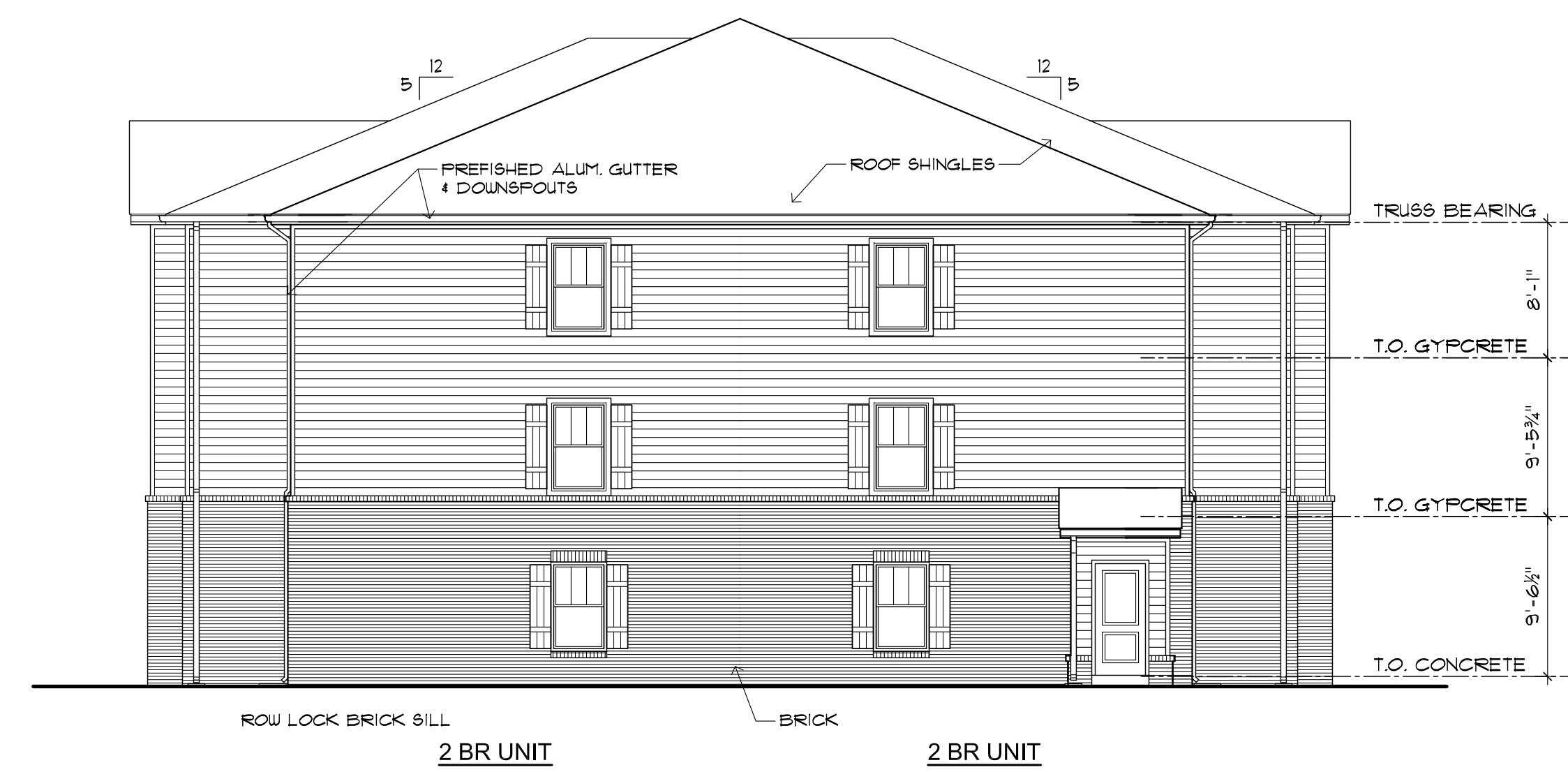


FIRE RATING LEGEND

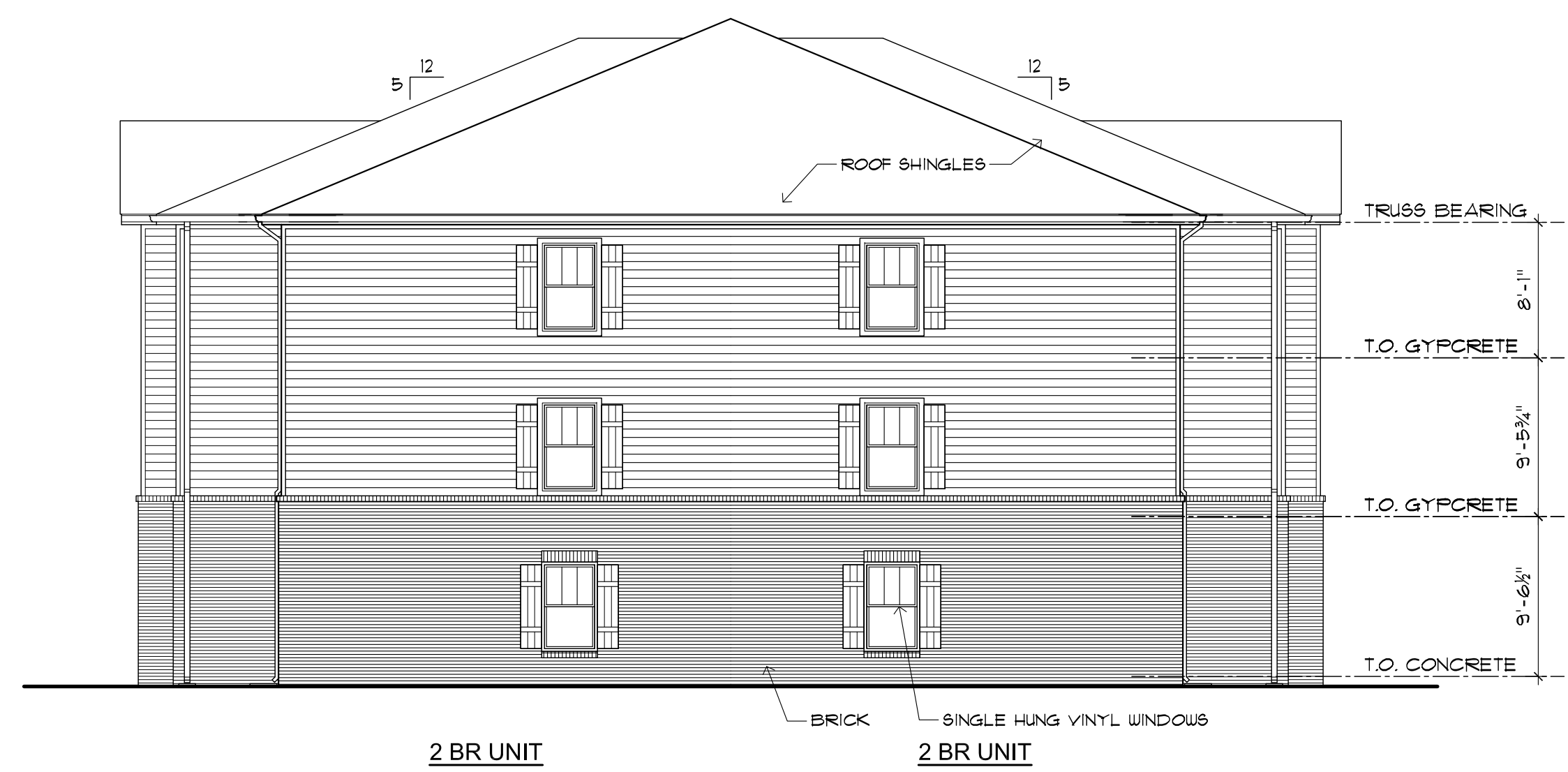
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BRZLWY WALLS IN ATTIC.

DRAFTSTOP IN ATTIC
SPACE IN LINE W/ TENANT
SEPARATION (PARTY)
WALLS FROM TOP PLATE
TO ROOF DECK.

BUILDING C THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 BUILDING C - LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING C - RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING C - FRONT & REAR ELEVATIONS
SCALE: 1/8" = 1'-0"

Docket Number:

CZ – 2019 – 03

Request:

Request from Mark Baker to rezone 2677 Pulaski Highway being Tax Map 113 Parcel 81.00 from RS-40 (residential) to R-10 (residential).

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

CZ 2019-03

APPLICANT/PROPERTY OWNER

Mark Baker

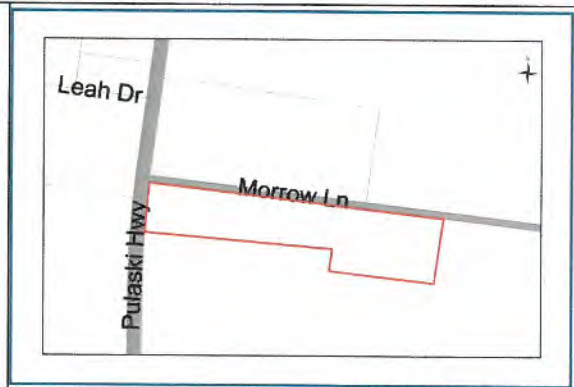
PUBLIC HEARING DATE

April 11th 2019

PROPERTY ADDRESS/LOCATION

2677 Pulaski Highway**BRIEF SUMMARY OF REQUEST**

This is a request to rezone 5.56 acres on the corner of Morrow Lane and Pulaski Highway to RS-10. The concept for this property is to divide the acreage into 11 lots all fronting Morrow Lane with the lots ranging in sizes from 16,000 sqft to 20,000 sqft.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RS-40 (Residential)	Vacant	Residential	NA	5.6 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

Current zoning is Suburban Neighborhood which does support RS-10 zoning.

PROPERTY HISTORY

This property has been vacant for numerous years but was once the livestock auction barn for Maury County.

COMPATIBILITY with the ZONING ORDINANCE

Subject to the Technical comments, staff would find this request to be compatible with the City's policies.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS**CITY MAPS**

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

**Zoning Ordinance
3.18.7 B**

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONINGS

...

B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

1. The rezoning is in agreement with the general plan for the area;
2. It has been determined that the legal purposes for which zoning exists are not contravened;
3. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare;
4. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public; and
5. It has been determined that conditions affecting the area have changed to a sufficient extent to warrant an amendment to the area's general plan or other applicable local plans, and consequently, the zoning map.
6. The availability of adequate school, road, parks, wastewater treatment, water supply, and stormwater drainage facilities.

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

The proposed Comprehensive Plan designates the subject property as Suburban Neighborhood. The RS-10 request would be in agreement with Suburban Neighborhood.

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The surrounding properties are undeveloped with mostly higher intense uses allowed. The property is requesting a zone that would be less dense with lower impacts than the majority of property in the area.

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

The proposal is similar in development and supported by the comprehensive plan.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

In the community, housing demands along the outskirts and within the city limits have increased to a sufficient extent to warrant an amendment to the City's Zoning Map.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

The rezone will have an insignificant impact on facilities because of the low number of units.

TECHNICAL COMMITTEE MEETING

January 29, 2019

ITEM NO. 4

CZ-2019-03



Request from Mark Baker to rezone 2677 Pulaski Highway being Tax Map 113 Parcel 81.00 from RS-40 (residential) to R-10 (residential).

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING COMMENTS:

Atmos Energy: Gas on Pulaski Highway.

CPWS:

Power – Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Water – Water service for domestic and fire protection is available. F/H location to be verified.

Development Services:

Code Administration – No comments.

Engineering – Subject to construction plan approval along adequate sight distance for all drives.

Planning – Zoning district originally requested as RS-10.

Fire & Rescue: If no existing fire hydrants are within 500 feet of the proposed homes, a fire hydrant will need to be added.

Maury County E911: No comments.

Maury County Public Schools: Attendance zones for this development: Joseph Brown Elementary School – capacity 462, projected enrollment 2018/19 - 329. Whitthorne Middle School – capacity 1412, projected enrollment 2018/19 – 1095. Central High School – capacity 1843, projected enrollment 2018/19 – 1361.

Police: No comments provided.

Public Works: No comments provided.

Wastewater: Sewer not located at that corner and would need extension. Any changes would need to go through TDEC.

ATTACHMENTS: Concept Plan.

TECHNICAL

CZ-2019-03

Page 1 of 1

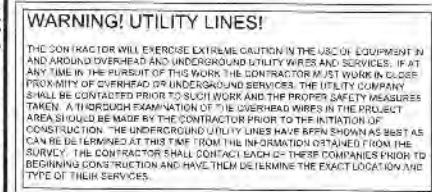


Connect Columbia Land Use Designations

 AreaofChange	 Employment District
 Special Areas	 Interstate
 ColumbiaTN_Future_Park_Facility_Areas	 Rural Countryside
 ColumbiaTN_Proposed_Greenway_Routes	 Suburban Corridor
Columbia_FLU_exported	 Suburban Neighborhood
Future_LU	 Urban Corridor
 Center	 Urban Neighborhood



RECEIVED JAN 15 2019



GEOTECHNICAL NOTE:

CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMPLETION OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN ARE BASED ON GENERAL INFORMATION FROM FIELD RECORDS OF THE INVESTIGATION. IT IS THE PURSUIT OF THE WORK OF THE CONTRACTOR, CONDITIONS OR REQUIREMENTS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SET FORTH IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOLOGICAL ENGINEER AND THE CHAIRMAN OF THE JOINTLY OWNED COMMITTEE OF THE BOARD OF DIRECTORS OF THE CITY OF LOS ANGELES. ALL PARTIES TO THE PROJECT OWNERS, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST TIME DELAYED FOR THE MEASURES SET FORTH HERE.

SITE BENCHMARK NOTE:

CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE APPROVED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

WES
ENGINEERING & SURVEYORS

FLOOD STUDY NOTE:

FLOOD HAZARD NOTE:
THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD BOUNDARY AND FLOODWAY MAP COMMUNITY PANEL NO. 47119C1285E DATED APRIL 15, 2007 (ZONE "X")



SUBMITTED FOR MUNICIPAL APPROVAL
NOT FOR CONSTRUCTION



WES ENGINEERS & SURVEYORS
CIVIL ENGINEERS & LAND SURVEYORS
 2486 COLUMBIA HIGHWAY
 COLUMBIA, TN 38401
 (PHONE: (931) 388-2329)
www.wesengineers.com

Client
ULM INVESTMENTS, LLC
P.O. BOX 1617
COLUMBIA, TN 38402

TOMORROW LANE
U.S. HIGHWAY 31
MAURY COUNTY, TENNESSEE
CONCEPT PLAN

MP-1	and to	16643	Down: 80
			Discount: 0%
	Scale:		Approved: 0%
	Verbal:		Date: Jan 22, 2019

Docket Number:

CZ-2019-02/DP-2019-05

Request:

Request from Martin Engineering and Surveying to rezone property off Precast Drive and Sidco Drive from IR (industrial) to RM1-PUD (residential planned unit development) with a Master Development Plan for Tax Map 114 Parcel 19.00.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER
DP 2019-05 / CZ-2019-02

APPLICANT/PROPERTY OWNER
Gary Martin

PUBLIC HEARING DATE

April 11th 2019

PROPERTY ADDRESS/LOCATION
Tom Hitch Parkway and Precast Drive

BRIEF SUMMARY OF REQUEST

This is an application to rezone with a master plan recommendation for 31.83 acres along Precast Drive. The change from IR (Industrial) to an RM-1 (Residential) zoning would allow for a mixture of single family and townhomes to be constructed on the same property. This request is for 60 townhome units and 92 single family lots of varying sizes.

Primary variances requested are as follows: lot standards, setbacks, townhome parking, and town home widths.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
IR Industrial Restrictive	Vacant	Residential and Industrial	New Subdivision	31.83 acres

COMPATIBILITY with the COMPREHENSIVE PLAN

Suburban Corridor is the current designation and allows for the RM-1 zoning.

PROPERTY HISTORY

This property has been mostly vacant.

COMPATIBILITY with the ZONING ORDINANCE

Staff would find this request to be compatible with the City's adopted comprehensive plan and meet the intent and purpose of a PUD.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONINGS

...

B. Review and Recommendation Criteria

The Planning Commission, in its review and recommendation, shall make specific findings with regard to the following grounds for an amendment and shall note the same in the official record as follows:

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning is in agreement with the general plan for the area;

The proposed Comprehensive Plan designates the subject property as Suburban Corridor. The request would be in agreement with the plan.

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The surrounding properties are mixture of vacant, residential and industrial uses. The proposed uses on the property at the time of development will be required to conform to the zoning ordinance standards in effect at that time to mitigate any potential adverse impacts upon adjoining property owners

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;

The proposal is following the comprehensive plan allowance as approved by the general public representatives.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

The area has limited residential zoning and demand for infill development has warranted sufficient change to the area use.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and stormwater drainage facilities to support this zoning change.

The rezoning will have a negligible impact on schools, roads, and parks

TECHNICAL COMMITTEE MEETING

January 29, 2019

ITEM NO. 5

CZ-2019-02/DP-2019-05



Request from Martin Engineering and Surveying to rezone property off Precast Drive and Sidco Drive from IR (Industrial) to RM1-PUD (Residential Planned Unit Development) with a Master Development Plan for Tax Map 114 Parcel 19.00.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING COMMENTS:

Atmos Energy: Gas main close on Sidco Drive and future gas along Tom J. Hitch Parkway.

CPWS:

Power – Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Water – Water is available. Lot layout may need to be revised to relate to existing water locations and f/h locations.

Development Services:

Code Administration – No comments.

Engineering – Subject to construction plan and TIS comments. Coordinate stub road to the south with Horizon Park approved preliminary plat. Existing Precast Dr. to be reconstructed or modified to meet City standards. Ensure lot and roadway layout can be achieved with existing topo. Transition Sidco Drive to new roadway width at Kennedy Drive. Show all natural features, i.e. sinkholes, streams, wetlands... E911 to approve road and subdivision names.

Planning Floor plan needed to count toward garage parking. 3' tall landscape berm along Tom J. Hitch Pkwy. Boundary lots next to R-10 should be larger. To match adjacent properties. Recommend 7' setbacks on side for two store dwellings. HOA? Push sidewalks to property line. Note – road names are approved by 911? Variances requested: townhome width, setbacks, lot size, lot width, spaces that can count toward 30% parking, and landscape buffers.

Fire & Rescue: Verify spacing between fire hydrants are spaced no more than 500 feet apart.

Maury County E911: No comments.

Maury County Public Schools: Attendance zones for this development: Joseph Brown Elementary School – capacity 462, projected enrollment 2018/19 - 329. Cox Middle School

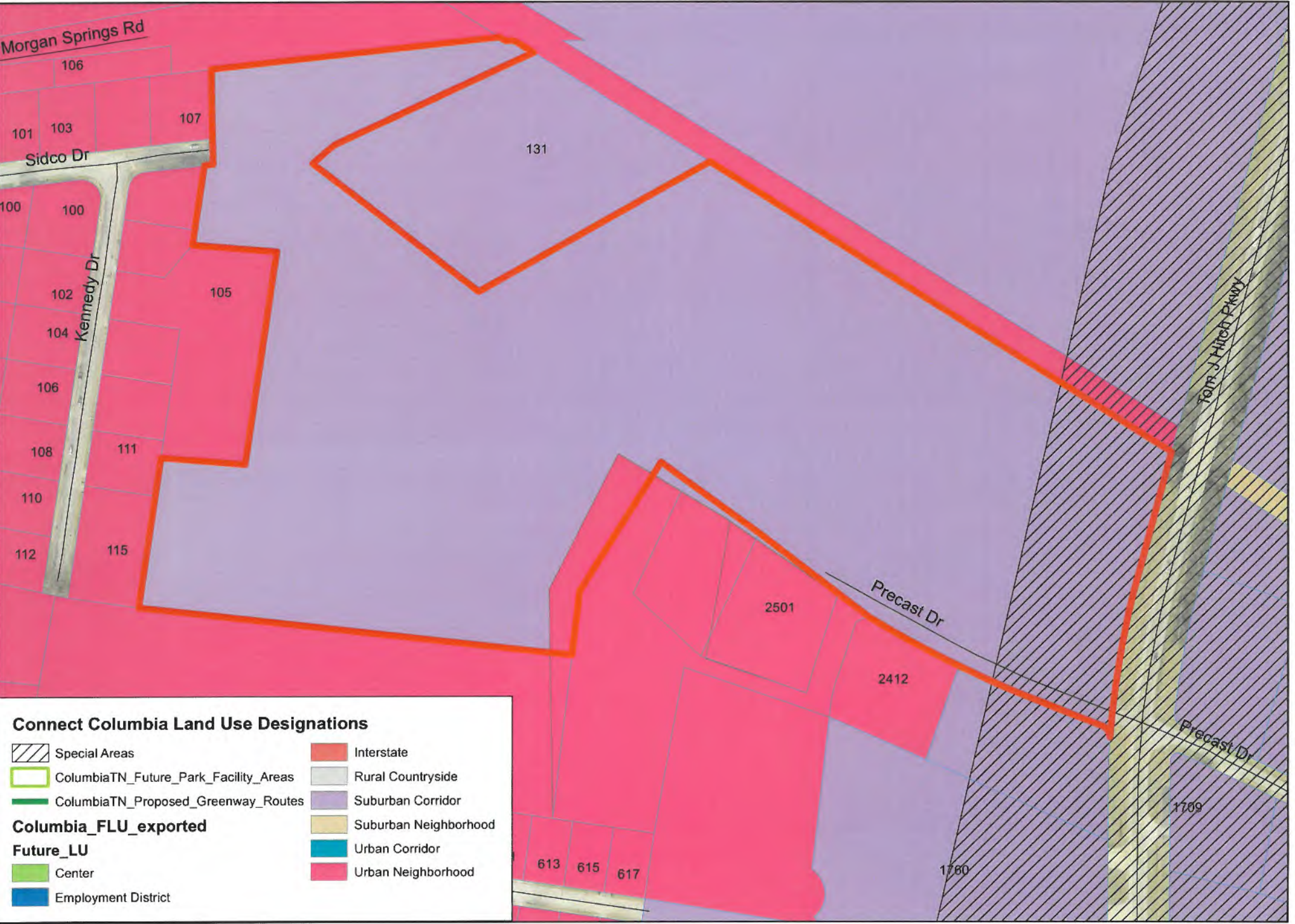
capacity 1189, projected enrollment 2018/19 – 760. Central High School – capacity 1843, projected enrollment 2018/19 – 1361.

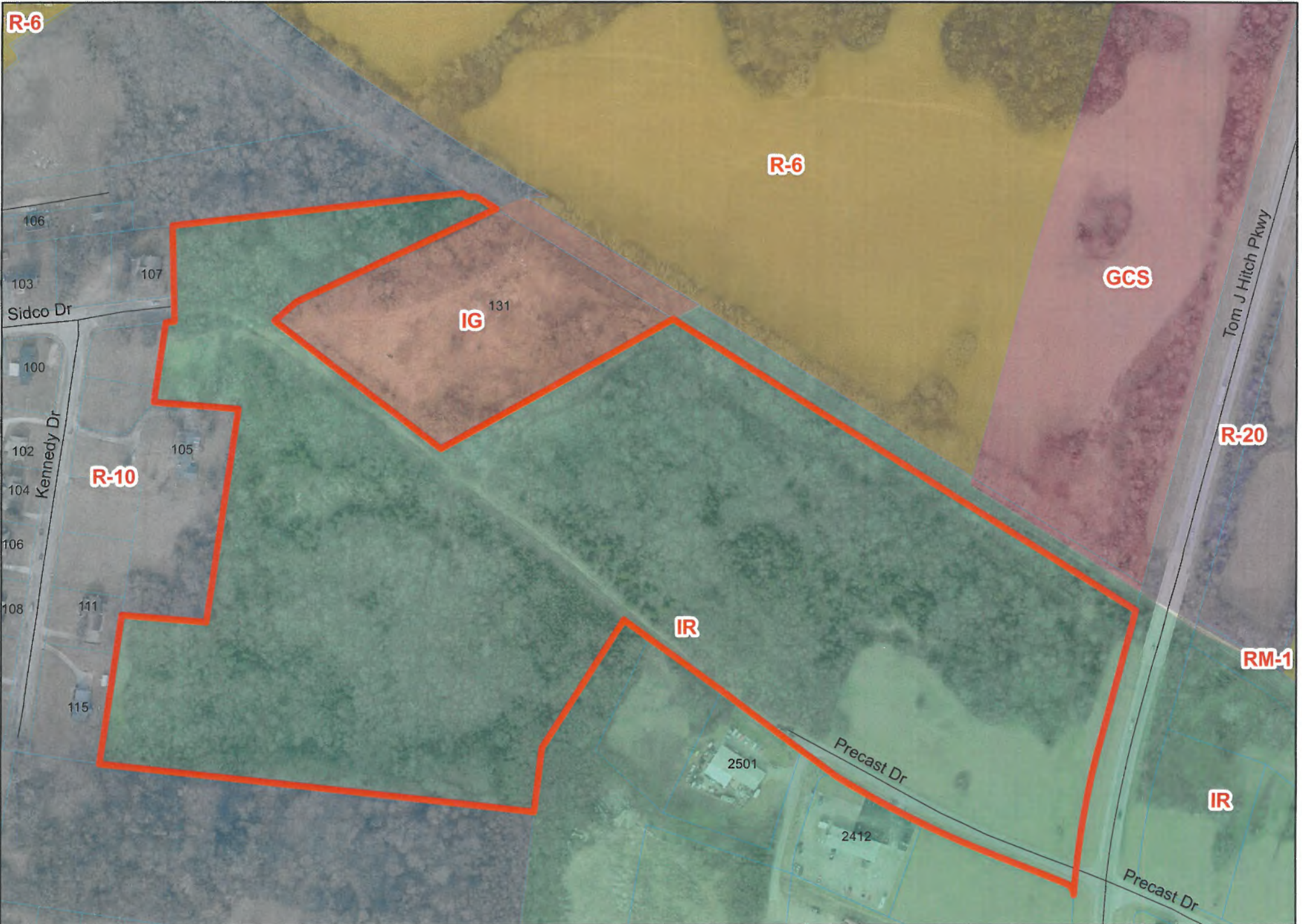
Police: No comments provided.

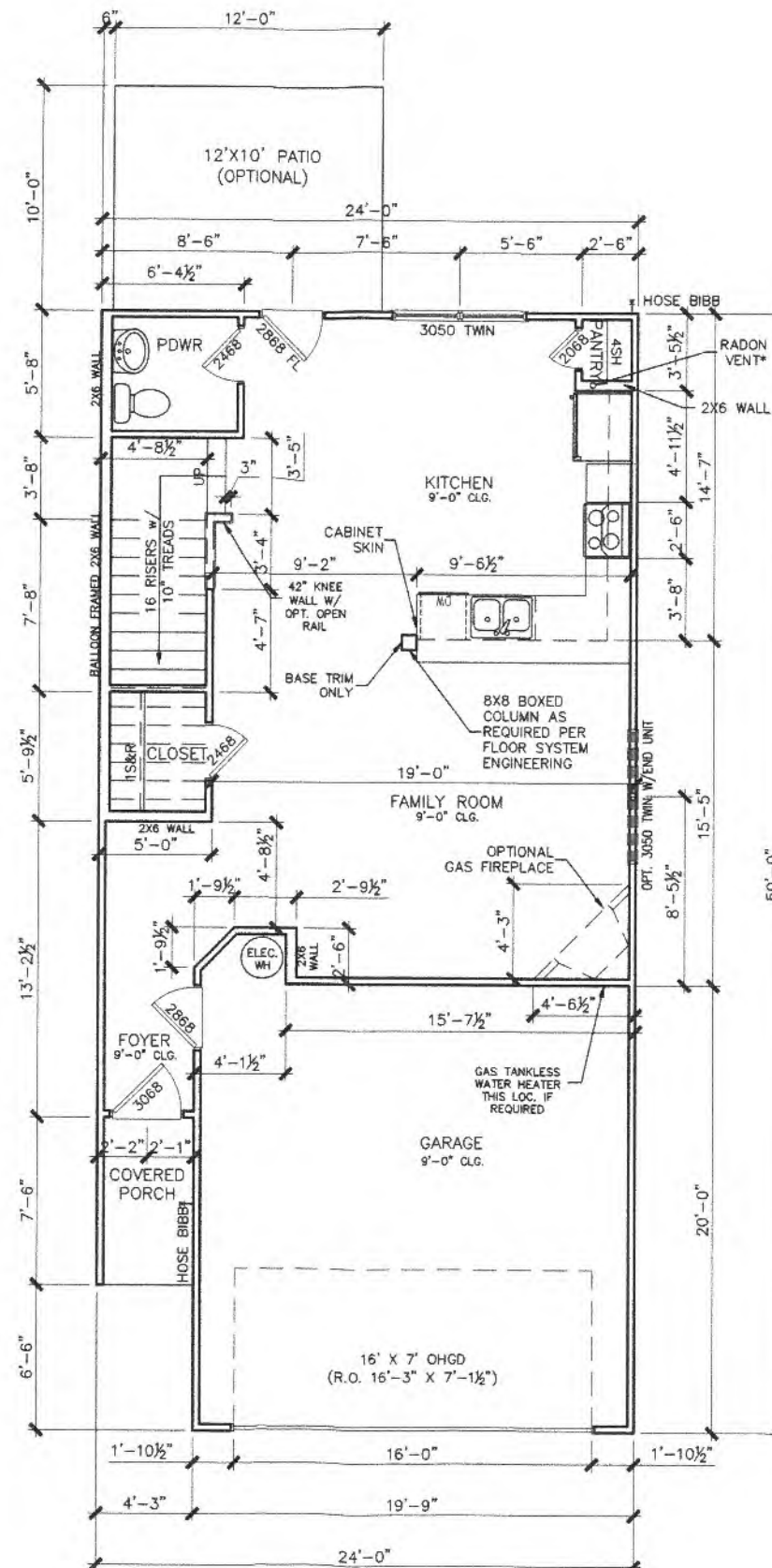
Public Works: No comments provided.

Wastewater: verify sewer for lot layout.

ATTACHMENTS: PUD Master Plan.







FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

DATE	BY	REVISION

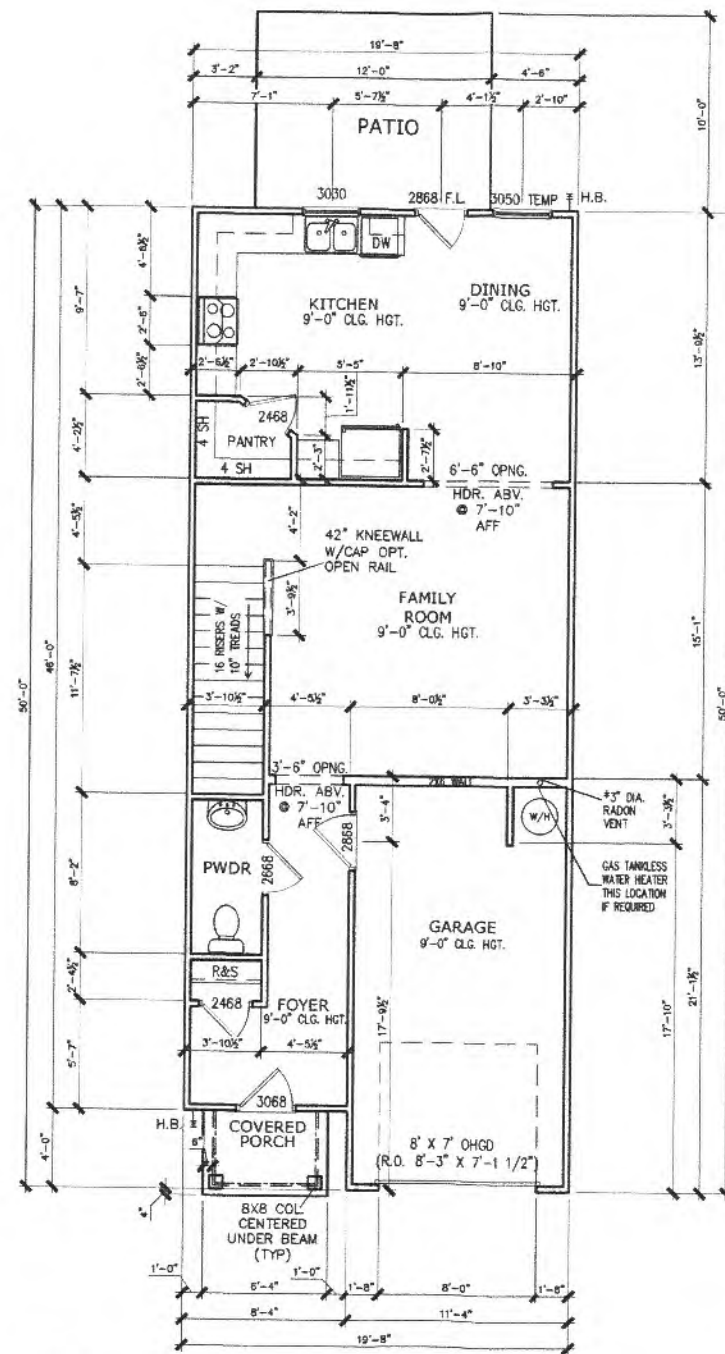


FLOOR PLAN
FIRST FLOOR
MARLOW

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BY: BB	CR: AW
DATE: 08/07/17	
PARADE DPT: ALL	
PLAN ID: 1748	
FND: ALL	ELEV: ALL
PAGE NO: A5.1	



* RADON VENT
PROVIDED PER
LOCAL CODE

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

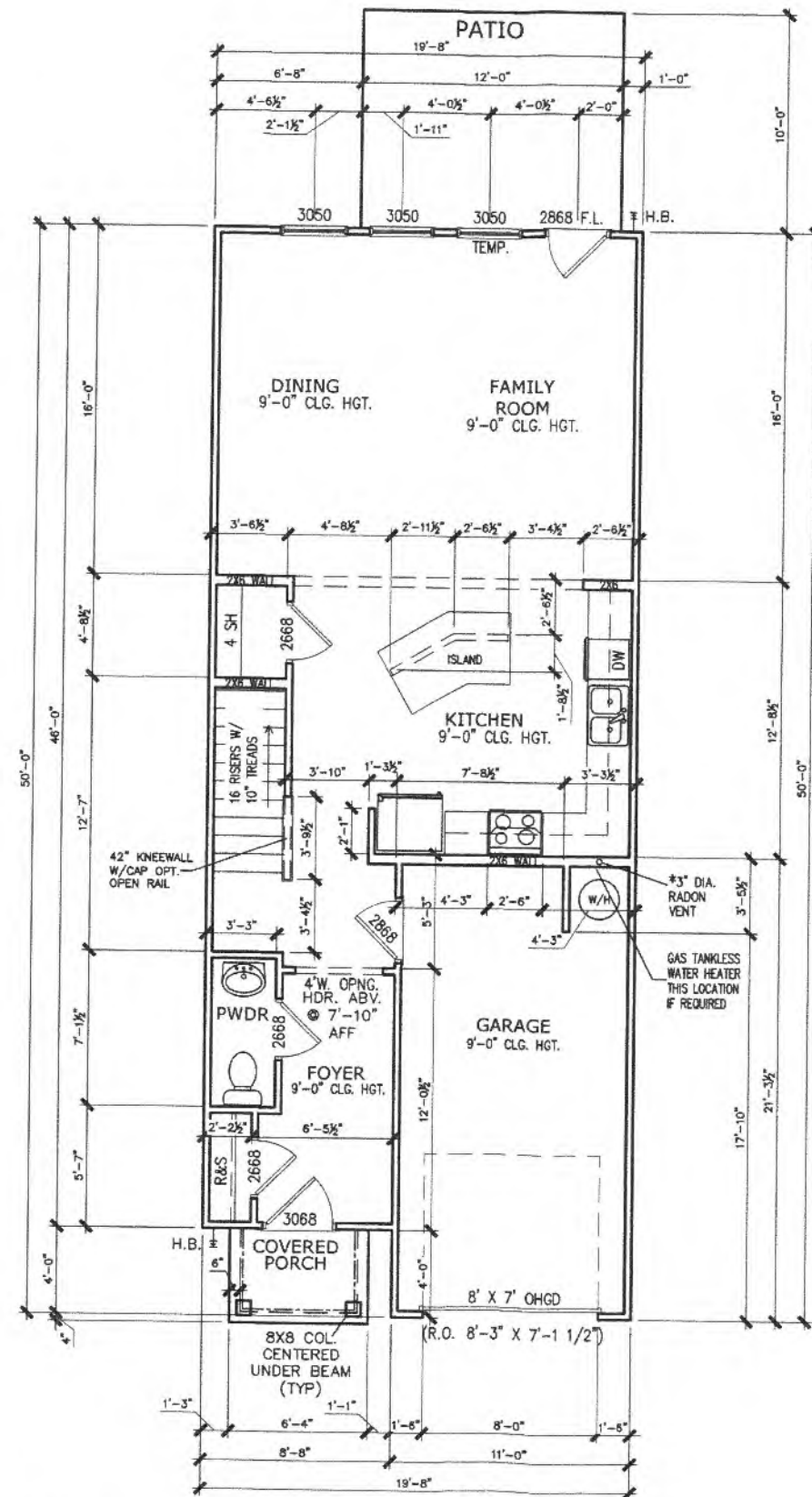
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FLOOR PLAN
FIRST FLOOR PLAN
PIERCE

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BY: 88	CR: AW
DATE: 7/27/18	
FACADE OPT: ALL	
PLAN NO: 1627	
FRG: S	ELEV: ALL
PAGE NO: A5.1	



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY
3/13/17	PCR #862 - removed "cased opening" at Study	AW



FLOOR PLAN
FIRST FLOOR PLAN
SUWANEE

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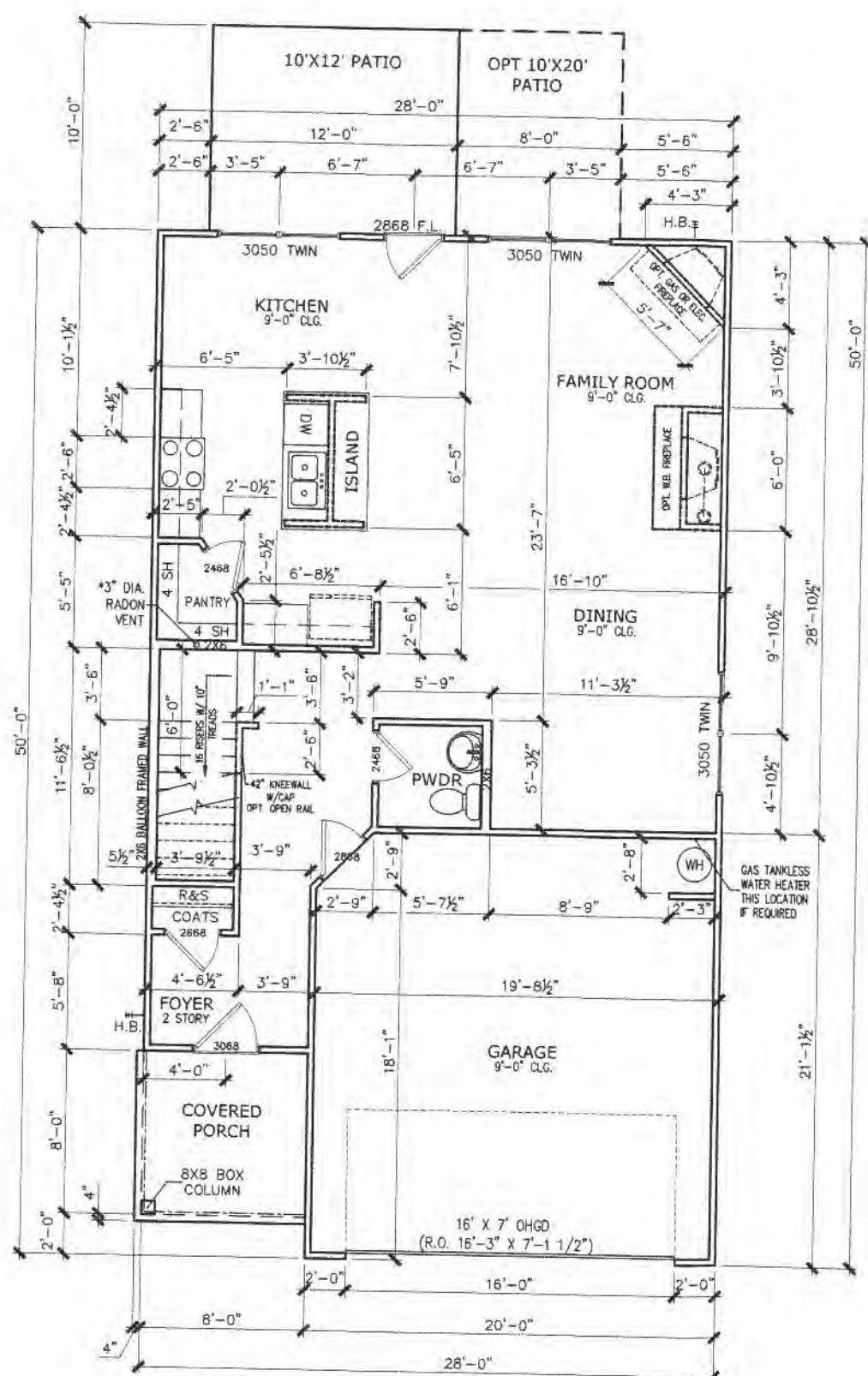
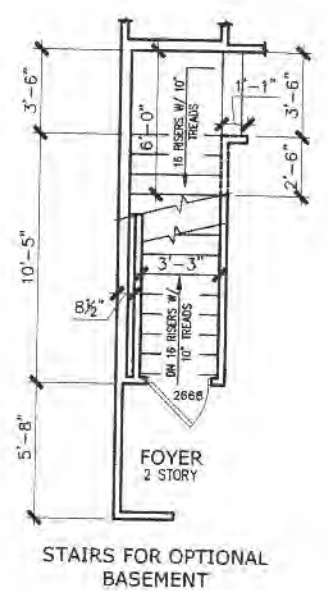
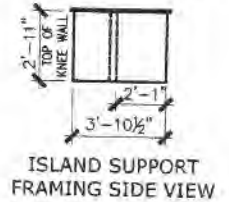
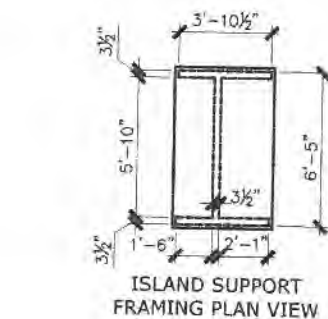
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BY:	BB	CR:	AW
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FND:	S	ELEV:	ALL
PAGE NO:	A5.1		



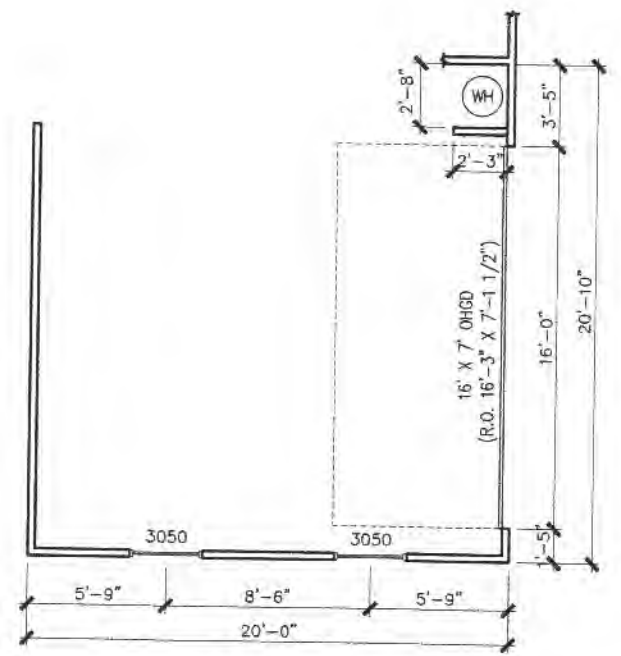






FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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LOCAL CODE



DATE	BY	REVISION

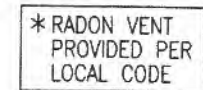
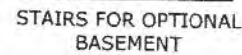
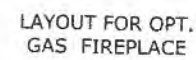
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FLOOR PLAN
FIRST FLOOR
GREENBRIER

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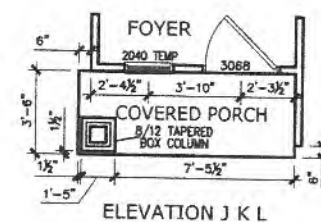
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BB	CLJ
DATE	12/19/16
PARADE OPT	ALL
PLAN NO	2165
PRD	ALL
REV	ALL
PRICE NO	A5.1



FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"



ELEVATION J K L



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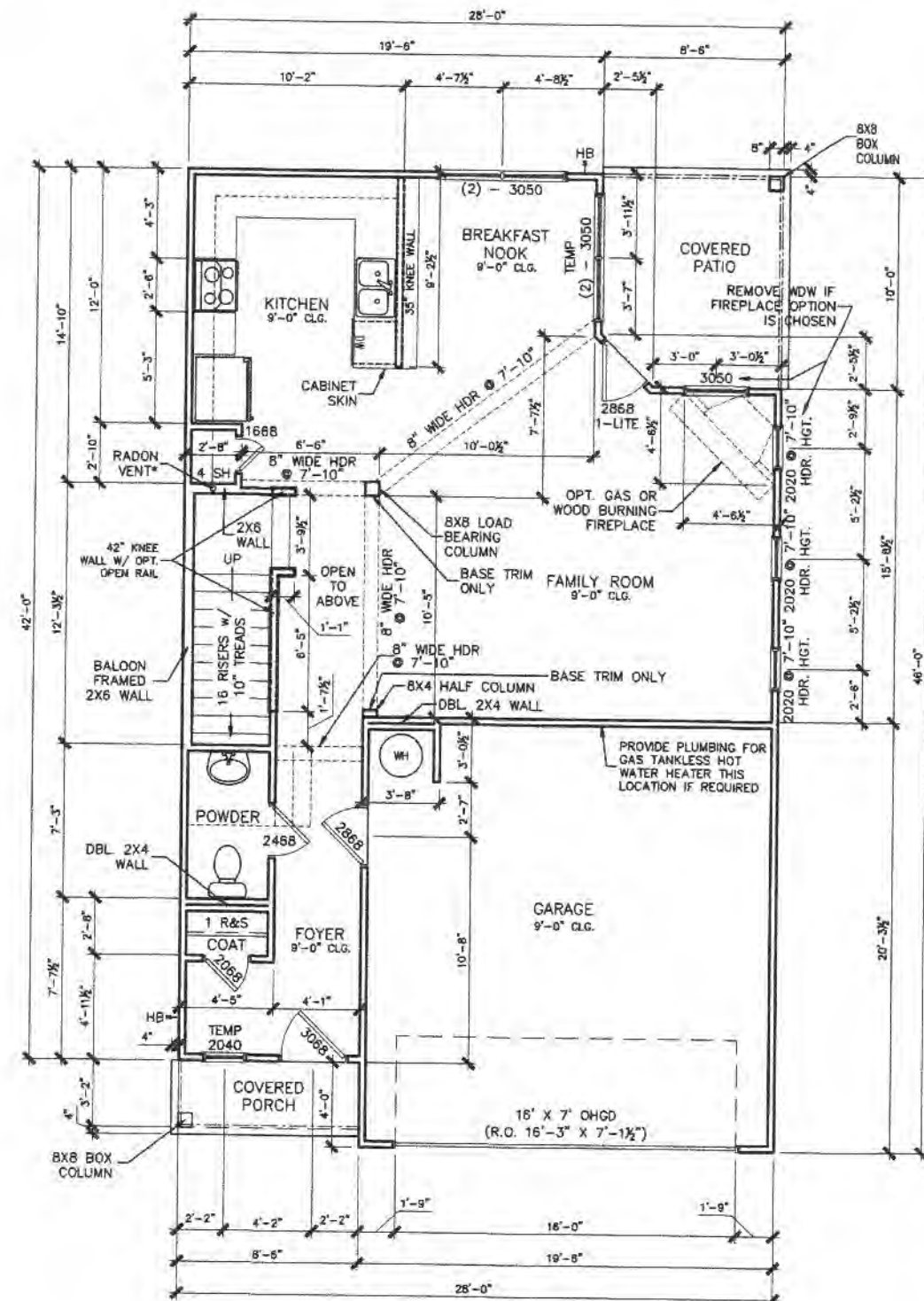
QUALITY | INTEGRITY | VALUE

FLOOR PLAN
FIRST FLOOR
BRASELTON

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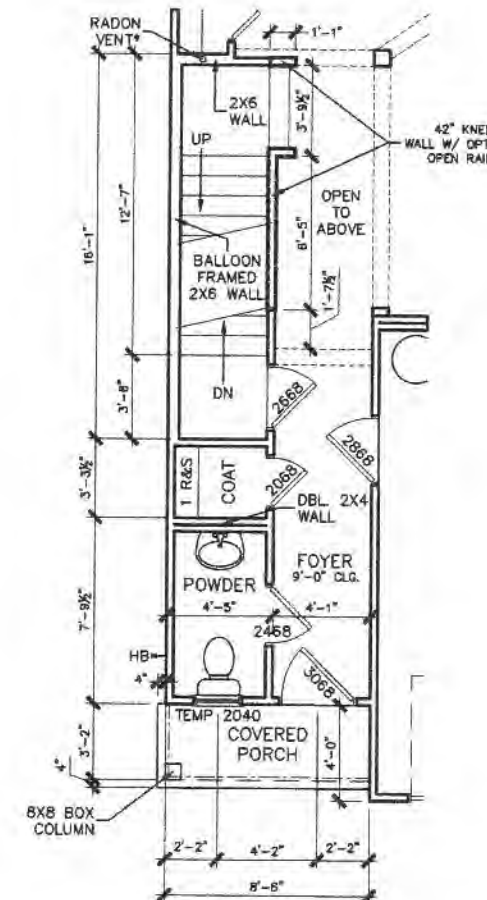
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PLAN ID: 1979	
IND: ALL	ELEV: ALL
PAGE NO: A5.1	



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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PER LOCAL CODE



STAIRS FOR OPTIONAL
BASEMENT

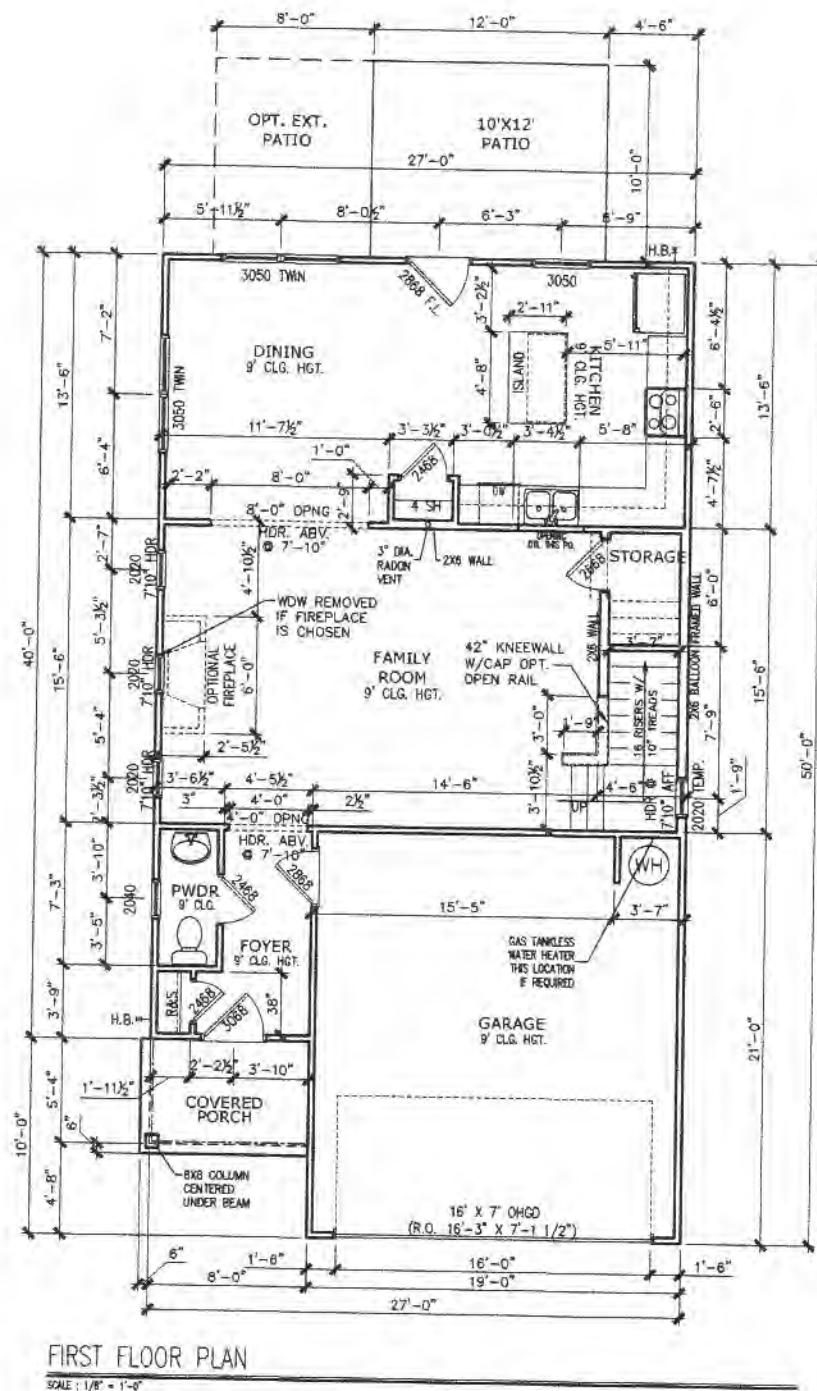
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FLOOR PLAN
FIRST FLOOR
BUFORD

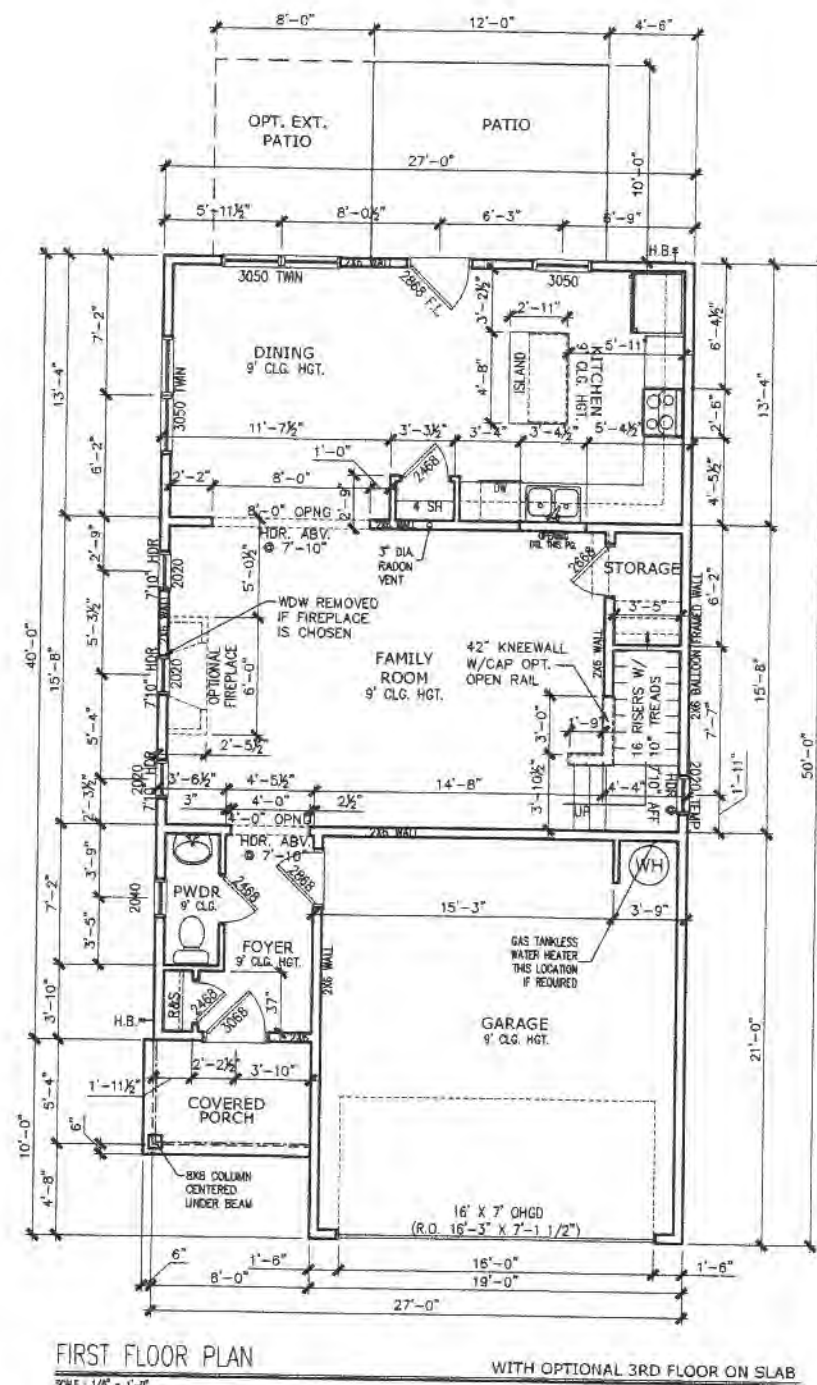
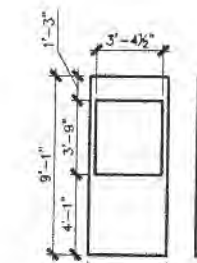
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WBP	AW
07/14/17	
ALL	
1847	
ALL	ALL
A5.1	



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DATE	BY	REVISION

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FLOOR PLAN
FIRST FLOOR
CARRINGTON

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MM	AW
DATE	08/21/17
PRICED BY	ALL
PLAN NO.	2058
PRICE	S ALL
PRICE NO.	A5.1



Manchester – Elevation A – 1,748 sf (24' wide)





Ellenwood – Elevation D – 1,965 sf (24' wide)





Kensington – Elevation C – 1,202 sf (26' wide)





Greenbrier – Elevation F – 2,171 sf





Carrington – Elevation A – 2,058 sf





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Buford – Elevation D – 1,844 sf





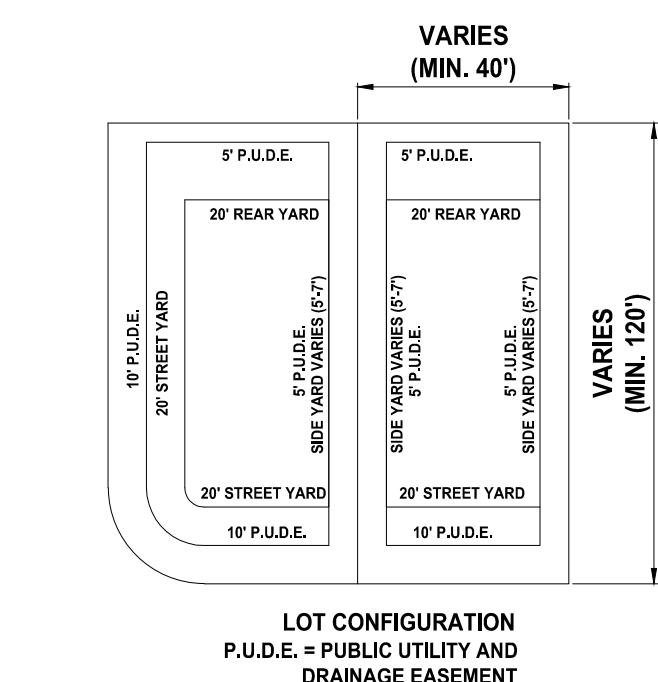
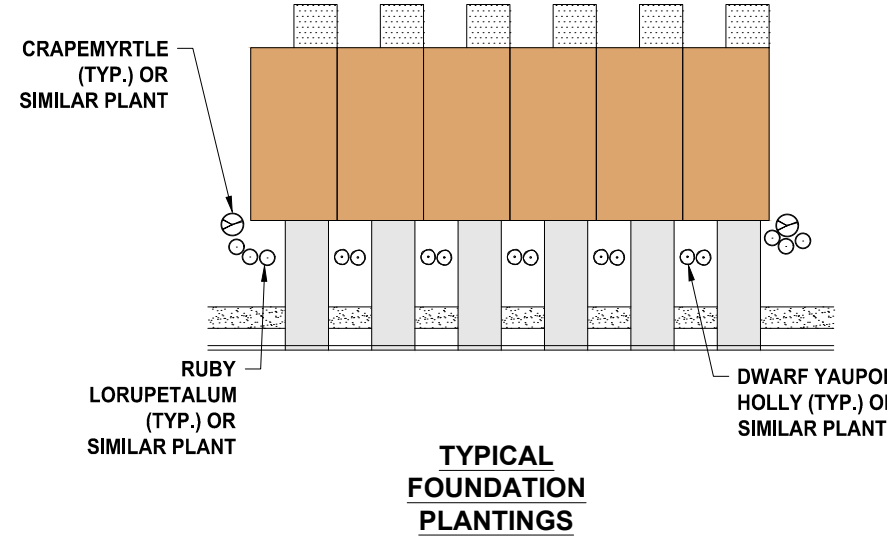
Braselton – Elevation B – 1,979 sf



LOT NUMBER	AREA (SF)	WIDTH (FT)
1	6,457	55.0
2	5,040	42.0
3	5,094	42.1
4	5,165	41.1
5	5,230	41.3
6	6,780	41.7
7	7,951	45.0
8	7,460	45.0
9	7,750	45.0
10	7,963	45.0
11	7,657	45.0
12	6,045	40.0
13	5,564	40.0
14	5,938	40.0
15	5,527	40.0
16	5,200	40.0
17	7,027	55.0
18	8,463	55.5
19	6,007	41.2
20	8,119	45.0
21	8,162	45.0
22	7,542	45.0
23	7,556	45.0
24	7,657	45.0
25	7,735	45.0
26	5,091	41.0
27	8,475	55.6
28	7,126	62.9
29	11,356	84.8
30	6,013	46.3
31	5,242	51.8
32	5,292	42.0
33	6,072	42.0
34	6,984	42.0
35	6,475	55.0
36	6,373	62.6
37	5,172	44.5
38	5,210	44.5
39	5,378	45.2
40	6,456	55.0
41	5,280	46.0
42	5,280	46.0
43	5,280	46.0
44	5,280	46.0
45	8,486	97.3
46	6,530	66.0
47	6,745	45.0
48	7,873	45.0
49	11,857	103.1
50	11,345	70.7
51	9,300	50.7
52	7,662	52.9
53	6,684	50.7
54	6,684	109.1
55	5,040	42.0
56	5,040	42.0
57	5,040	42.0
58	5,040	42.0
59	6,744	45.0
60	6,496	45.0
61	6,247	45.0
62	7,161	45.0
63	9,537	49.8
64	13,543	45.0
65	10,601	45.0
66	9,411	50.0
67	8,523	97.3
68	7,280	52.0
69	7,280	52.0
70	7,280	52.0
71	8,321	63.8
72	7,271	65.8
73	5,330	44.4
74	5,457	46.1
75	7,366	62.6
76	5,400	45.0
77	5,400	45.0
78	5,400	45.0
79	5,400	45.0
80	5,400	45.0
81	5,280	44.0
82	5,280	44.0
83	5,280	44.0
84	5,280	44.0
85	5,780	46.0
86	8,477	83.8
87	10,406	78.4
88	9,212	47.3
89	10,302	45.0
90	9,348	45.0
91	7,912	60.0
92	8,528	65.0

- < 6,000 SF (34 LOTS)
- > 6,000 SF (58 LOTS)
- 40' LOT WIDTH (5 LOTS)
- 40' - 44' LOT WIDTH (22 LOTS)
- > 44' LOT WIDTH (65 LOTS)

LEGEND	
EXISTING SANITARY SEWER	— SA —
SANITARY SEWER	— 8" SA —
WATER LINE	— W —
SANITARY SEWER MANHOLE	⊙
FIRE HYDRANT ASSEMBLY	⊙
WATER VALVE	⊙
STOP SIGN	⊙



PURPOSE OF SUBMITTAL - TO REZONE TO RM-1 PUD AND OBTAIN MASTER PLAN APPROVAL FOR 60-TOWNHOME UNITS AND 92 SINGLE-FAMILY RESIDENTIAL LOTS ON THE PROPERTY, PARCEL 19.00 IN TAX MAP 114.

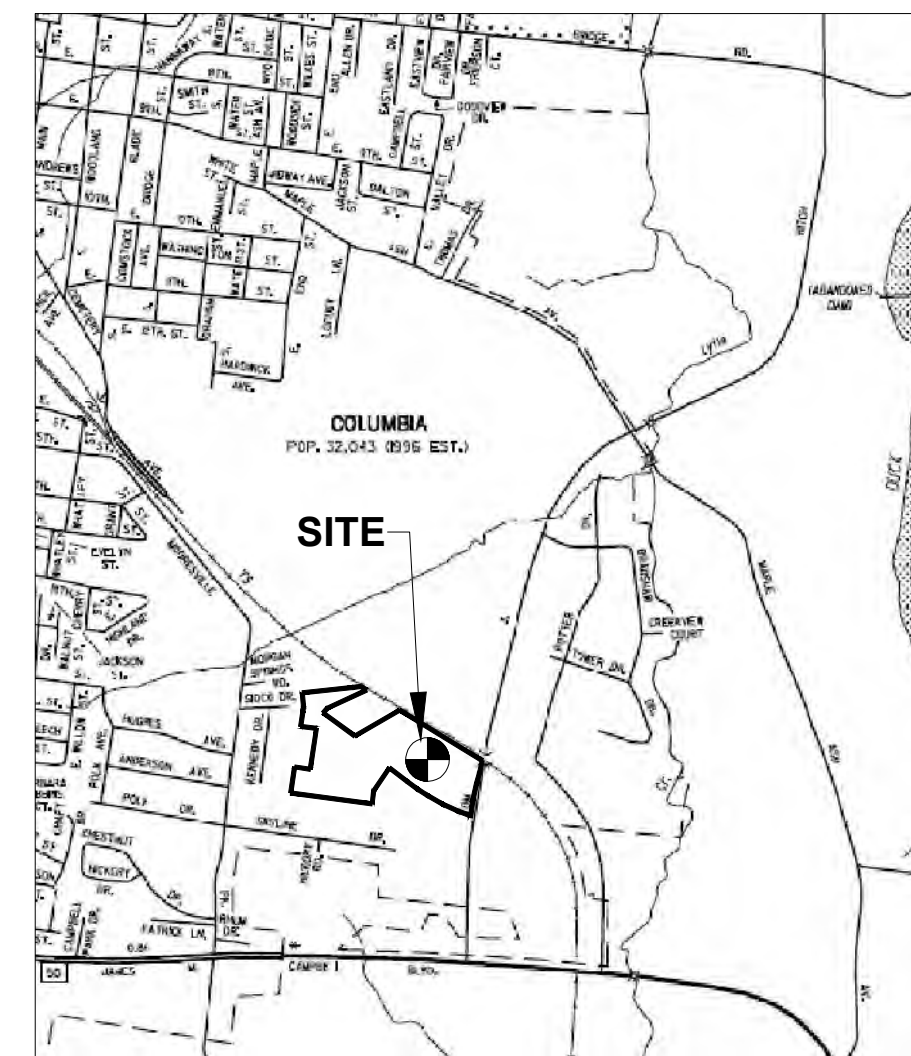
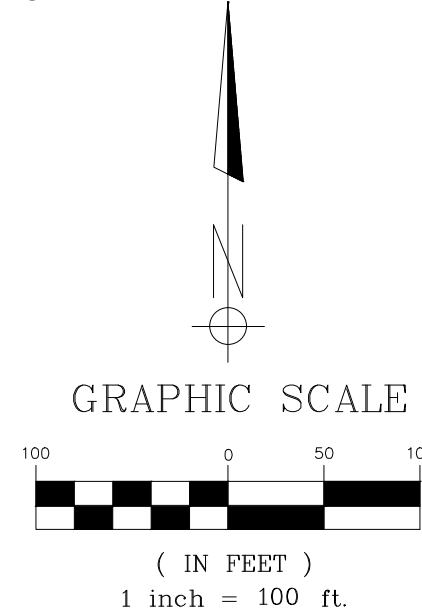
PROJECT DESCRIPTION: DEVELOP 60-TOWNHOME UNITS AND 92 SINGLE-FAMILY RESIDENTIAL LOTS ON APPROXIMATELY 31.83 ACRES OF LAND.

PROPERTY OWNER: COLUMBIA CONCRETE COMPANY INC. P.O. BOX 1469 COLUMBIA, TN 38402 TAX MAP 114, PARCEL 19.00 DEED BOOK 1138 PAGE 925

THIS PROPERTY IS LOCATED WITHIN OTHER FLOOD AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47119C0285E, DATED APRIL 16, 2007.

PUD MASTER PLAN COLUMBIA MEADOWS COLUMBIA, TENNESSEE MAURY COUNTY FEBRUARY 1, 2019

NOTE:
ALL ROAD NAMES TO BE APPROVED BY E-911.
ALL PATIO AREAS TO REMAIN UNCOVERED.
TOWNHOMES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 IRC.



VICINITY MAP
NOT TO SCALE

TOWNHOME DENSITY		
UNITS	ACRES	UNITS/AC.
60	7.25	8.27

TOWNHOME OPEN SPACE SUMMARY			
OPEN SPACE	AREA (AC)	PERCENT OF SITE	USABLE AREA (AC)
OPEN SPACE	4.30	59.3%	3.0
TOTAL	4.30	59.3%	3.0

PRIVATE OPEN SPACE REQUIREMENTS		
UNIT TYPE	AREA REQUIRED / UNIT (SF)	TOTAL PROVIDED (SF)
ATTACHED UNITS	500	60 X 500 = 30,000
		30,000

TOWNHOME PARKING SUMMARY					
TYPE UNIT	# UNITS	TOTAL BR'S	GARAGE PARKING PROVIDED	DRIVEWAY PARKING PROVIDED	OFFSTREET PARKING PROVIDED
20' - 3BR (1 CAR GAR.)	42	126	42(0)	42	
24' - 3BR (2 CAR GAR.)	18	54	36(5)	36	
TOTAL	60	180	78(5)	78(78)	54

TOTAL PARKING PROVIDED: 78 + 78 + 54 = 210
TOTAL PARKING REQUIRED: 180/2 X 1.5 = 135
TOTAL PARKING ALLOWED BY REGS.: 5 + 78 + 54 = 137

SITE USE SUMMARY		
USE	ACRES	SITE%
LOTS	14.80	60.2%
ROAD	5.23	21.3%
OPEN SPACE	4.55	18.5%
TOTAL	24.58	100%

LOT DEVELOPMENT SUMMARY					
LOT WIDTH	AVERAGE LOT WIDTH	NO. LOTS	AVERAGE LOT SF	PRODUCT	HOUSE SEPARATION (AVERAGE)
40 FT.	40'	5	5,650	24'	16'
40 FT. - 44 FT.	42.5'	22	5,410	24' / 26'	19.6' / 17.6'
> 44 FT.	54.2'	65	7,680	26' / 28'	36.8' / 34.8'

DEVELOPMENT SCHEDULE					
PHASE	NUMBER OF TOWNHOME UNITS	UNITS	NUMBER OF SINGLE-FAMILY LOTS	LOTS	COMPLETION DATE
PHASE 1	17	1-17	17	1-17	SEPT. 2019
PHASE 2	12	18-29	12	18-29	MARCH 2020
PHASE 3	15	30-44	13	30-42	JULY 2020
PHASE 4	16	45-60	11	43-53	NOV. 2020
PHASE 5	-		11	54-64	MARCH 2021
PHASE 6	-		11	65-75	JULY 2021
PHASE 7	-		17	76-92	NOV. 2021
TOTAL	60		92		



MARTIN ENGINEERING & SURVEYING, LLC
5226 Main Street, Suite C-3
Spring Hill, TN 37174
615.812.2147
gary@martinengr.com

Docket Number:

DP – 2019 – 06

Request:

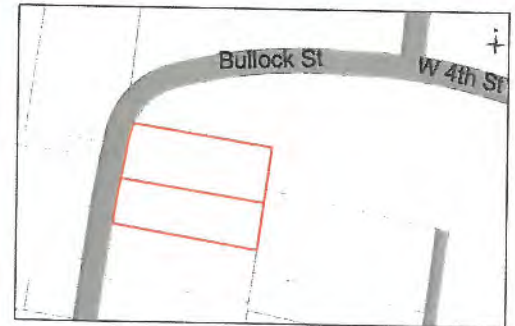
Request from Joshua Green for preliminary and final plat approval of 600 Bullock Street being Tax Map 89M Parcel 20 and 20.01.

STAFF REPORT CONTACT INFORMATION

Paul Keltner, Director of Development Services, paul@columbiatn.com, 931-560-1560

DOCKET/CASE/APPLICATION NUMBER**DP 2019-06****APPLICANT/PROPERTY OWNER****Joshua Green****PUBLIC HEARING DATE****PROPERTY ADDRESS/LOCATION****600 Bullock Street****NA****BRIEF SUMMARY OF REQUEST**

This is a Final /Preliminary Plat to split two existing parcels being 1.64 acres into four lots located where Bullock Street and 4th Street come together. The property is currently zoned R-6 and all four of the proposed lots meet or exceed the bulk standards for this zone.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
R-6 Medium High Residential	Residential	Residential	NA	1.64 acres

STAFF RECOMMENDATION**APPROVE****APPROVE WITH CONDITIONS****DENY**

COMPATIBILITY with the COMPREHENSIVE PLAN NA	PROPERTY HISTORY This property has been vacant for the most part with only one home constructed.
COMPATIBILITY with the ZONING ORDINANCE Subject to the Technical comments, staff would find this request to be compliant with city standards and policies.	

ATTACHMENTS (CIRCLE)**SUBMITTED PLANS**

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

OTHER (DESCRIBE)

TECHNICAL COMMITTEE MEETING

January 29, 2019

ITEM NO. 6

DP-2019-06



Request from Joshua Green for preliminary and final plat approval of 600 Bullock Street being Tax Map 89M Parcels 20 and 20.01.

RECOMMENDATION: For final recommendation please see staff report.

PRESCREENING COMMENTS:

Atmos Energy: Gas close to this area.

CPWS:

Power – Columbia Power System has an existing power line near your proposed development. We are willing to serve this new development subject to all Columbia Power System policies and procedures in effect at actual time service is rendered provided an approved final plat and complete electrical load information is furnished as soon as possible prior to start of actual construction.

Water – Water service is available but must be extended by developer. Contact CPWS on this.

Development Services:

Code Administration – No comments.

Engineering – Provide sq. ft. of new lots. Show any structures and note to be demolished. Add P.U.D.E. note: There is a public utility and drainage easement, 10 ft. in width on front and rear property lines, 10 ft. on all property lines parallel and abutting roads, and 5 ft on all interior lot lines.

Planning: No comments.

Fire & Rescue: No comments.

Maury County E911: No comments.

Maury County Public Schools: Attendance zones for this development: McDowell Elementary School – capacity 371, projected enrollment 2018/19 - 308. Whitthorne Middle School capacity 1412, projected enrollment 2018/19 – 1095. Central High School – capacity 1843, projected enrollment 2018/19 – 1361.

Police: No comments provided.

Public Works: No comments provided.

Wastewater: No comments.

ATTACHMENTS: Final Plat.



SURVEYOR'S NOTES:

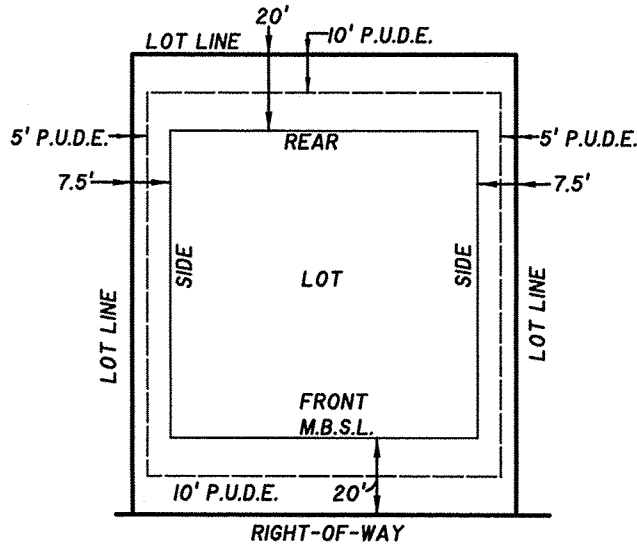
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES USING TDOT GPS NETWORK SYSTEM (NAD 83-96), VERTICAL DATUM: NAVD88.
- PROPERTY SHOWN IS ZONED R-6 (RURAL RESIDENTIAL). MINIMUM BUILDING SETBACKS FOR THIS ZONING ARE AS FOLLOWS:
FRONT = 20' SETBACK
SIDE = 7.5' SETBACK
REAR = 20' SETBACK
- SUBJECT PROPERTY IS IDENTIFIED AS PARCEL 20.00 & 20.01 SHOWN ON PROPERTY MAP 89M, GROUP A.
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FIRM MAPS FOR MAURY COUNTY, TENNESSEE, MAP NUMBER 4719C0285 E, EFFECTIVE DATE APRIL 16, 2007.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- THE PURPOSE OF THIS PLAT IS TO CREATE 4 RESIDENTIAL LOTS FROM 2 EXISTING LOTS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH OUR FIELD SURVEY NOTES. IT SHOWS IMPROVEMENTS AS THEY EXIST TO THE BEST OF OUR KNOWLEDGE, BUT IS NOT GUARANTEED TO BE CORRECT IN EACH AND EVERY DETAIL.
- THIS SURVEY WAS PREPARED FROM CURRENT DEEDS OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE SEARCH MAY REVEAL.
- THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY, IF ANY, NAMED ON THE CERTIFICATION HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.
- THE CERTIFICATION AS PROVIDED ON THIS SURVEY, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION, AND BELIEF BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE PROVIDED BY OTHERS.
- THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 10 FT. IN WIDTH ON FRONT AND REAR PROPERTY LINES, 10 FT. ON ALL PROPERTY LINES PARALLEL AND ABUTTING ROADS, AND 5 FT. ON ALL INTERIOR LOT LINES.

LINE DATA

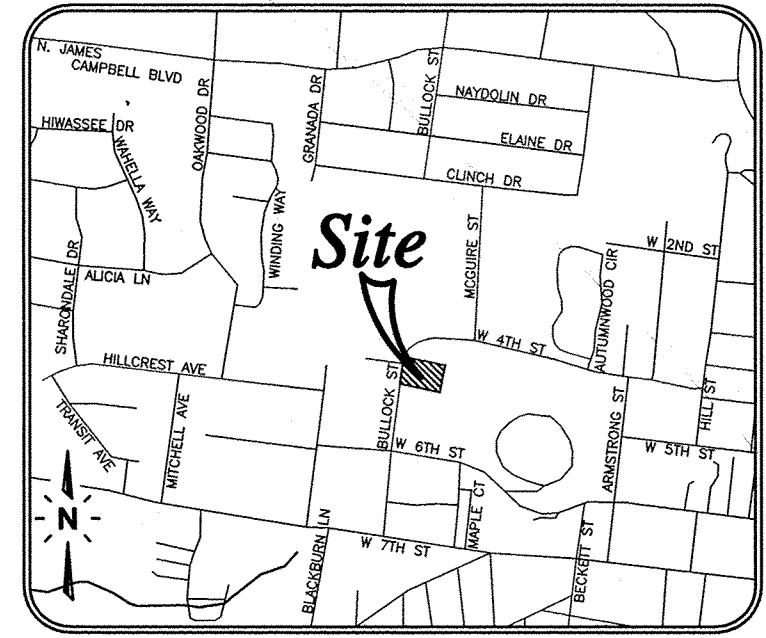
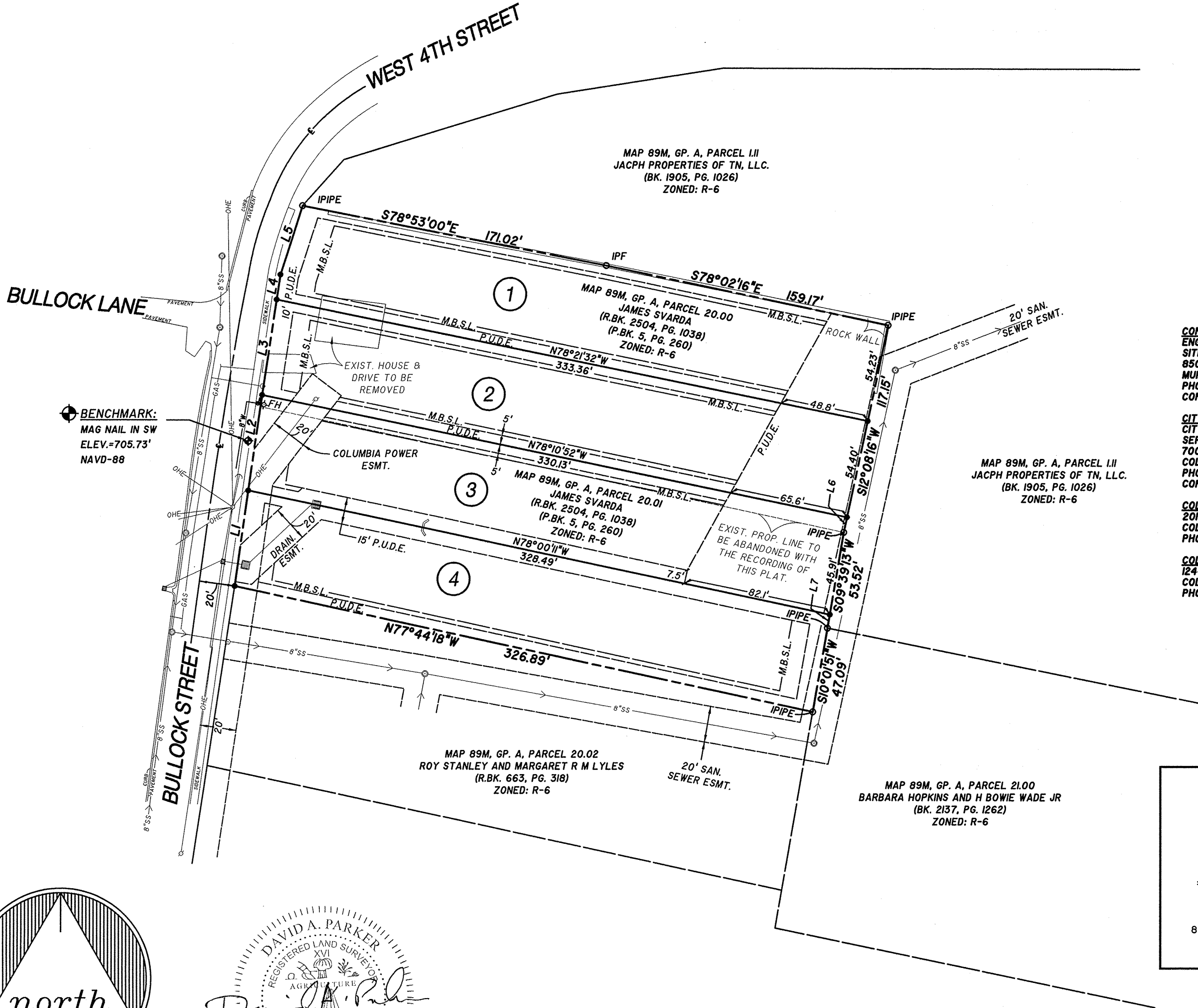
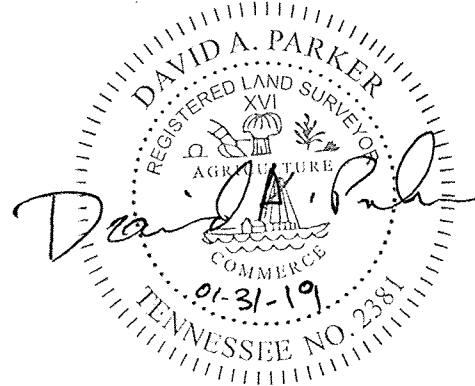
LINE	BEARING	DISTANCE
L1	N08°11'40"E	53.27'
L2	N08°15'17"E	53.49'
L3	N08°40'36"E	53.44'
L4	N08°40'36"E	13.90'
L5	N17°55'24"E	39.91'
L6	S12°08'16"W	8.52'
L7	S09°39'13"W	7.61'

LOT AREAS

AREA	SQ. FT.	ACRES
1	18,124	0.42
2	17,875	0.41
3	17,738	0.41
4	17,663	0.41
Total	71,401	1.64



*TYPICAL MINIMUM BUILDING SETBACKS WITH P.U.D.E. DETAIL
N.T.S.



LOCATION MAP
N.T.S.

CONTACTS:
ENGINEER/SURVEYOR:
SITE ENGINEERING CONSULTANTS, INC.
850 MIDDLE TENNESSEE BLVD.
MURFREESBORO, TN 37129
PHONE: (615) 890-7901
CONTACT: JAMIE REED

CITY PLANNING:
CITY OF COLUMBIA DEVELOPMENT
SERVICES
700 N GARDEN STREET
COLUMBIA, TN 38401
PHONE: (931) 560-1560
CONTACT: JOREN DUNNAVANT

COLUMBIA POWER AND WATER SYSTEMS:
201 PICKENS LN.
COLUMBIA, TN 38401
PHONE: (931) 388-4833

COLUMBIA WASTEWATER DEPT.:
1244 TREATMENT PLANT ROAD
COLUMBIA, TN 38401
PHONE: (931) 560-1001

PROPERTY OWNER/DEVELOPER:
JAMES SVARDA
600 BULLOCK STREET
COLUMBIA, TN 38401

FLOODPLAIN NOTE:
NO PORTION OF THIS SITE LIES WITHIN
THE 100 YEAR FLOOD PLAIN PER F.E.M.A.
COMMUNITY PANEL NO. 4719C0285 E
DATED APRIL 16, 2007.

LAND DATA:
ZONED: R-6 (RURAL RESIDENTIAL)
TOTAL AREA: 1.64 AC.±

DEED REFERENCE:
R. BK. R2504, PG. 1038
P. BK. 5, PG. 260

TAX MAPS:
MAP 89M, GROUP A, PARCELS 20.00 &
20.01

SEC, Inc.

WWW.SEC-CIVIL.COM

SITE ENGINEERING CONSULTANTS

ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

THE RECORDING OF THIS PLAT VOIDS, VACATES AND
SUPERSEDES THE PREVIOUS PLATS OF RECORD AS
RECORDED IN PLAT BOOK 5, PAGE 260, R.O.M.C. TN.

CERTIFICATE OF COMPLIANCE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE COLUMBIA SUBDIVISION REGULATIONS AND OTHER ADOPTED ORDINANCES AND POLICIES.

DATE _____ ENFORCING OFFICER FOR THE
SUBDIVISION REGULATIONS

LEGEND

BENCHMARK	FIRE HYDRANT	SANITARY SEWER MANHOLE	8"SS	SANITARY SEWER LINE	CENTERLINE
EXISTING IRON PIN	WATER METER	CATCH BASIN	EASEMENT LINE	WATER LINE	
EXISTING PIPE	WATER VALVE	UTILITY POLE W/GUY	8"W		
SET IRON PIN	SANITARY SEWER CLEANOUT	OHE	M.B.S.L.	MINIMUM BUILDING SETBACK LINE	

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NO.2504, PAGE 1038, R.O.M.C., AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED.

OWNER: JAMES SVARDA DATE _____

CERTIFICATE OF SURVEY ACCURACY

I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY (OUR) KNOWLEDGE AND BELIEF THIS IS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN HEREON; THAT THIS IS A CATEGORY "I" LAND SURVEY AS DEFINED IN TITLE 62, CHAPTER 18, TENNESSEE CODE ANNOTATED, AND THAT THE RATIO OF PRECISION IS EQUAL TO OR GREATER THAN 1 : 10,000.

DATE : 01-31-2019
David A. Parker 2381
REGISTERED LAND SURVEYOR NO.

CERTIFICATE OF APPROVAL OF
WATER SYSTEM

I HEREBY CERTIFY THAT THE WATER SYSTEM(S) OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED : CAMPBELL YOUNG HAS (HAVE) BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR THAT A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE : _____
NAME/TITLE/AGENCY OR AUTHORIZED APPROVING AGENT

CERTIFICATE OF APPROVAL OF
PUBLIC SEWER SYSTEM

I HEREBY CERTIFY THAT THE SEWER SYSTEM(S) OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED : CAMPBELL YOUNG HAS (HAVE) BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR THAT A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE : _____
DIRECTOR OF WASTEWATER DEPARTMENT
COLUMBIA, TENNESSEE

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE CITY OF COLUMBIA SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE : _____
SECRETARY,
CITY OF COLUMBIA PLANNING COMMISSION

CAMPBELL YOUNG

MINOR PLAT

CITY OF COLUMBIA PLANNING COMMISSION

TOTAL ACRES 1.64 TOTAL LOTS 4
ACRES ROADWAY N/A ACRES OPEN SPACE N/A
OWNER JAMES SVARDA ZONING RS-6 (RURAL RESIDENTIAL)
SURVEYOR S.E.C. INC. DATE 12-19-18

REV. 01-29-19 0 50 100 200
SCALE: 1" = 50' SCALE IN FEET 18266

Other Business:

Continuing education with Staff and City
Attorney