



The Columbia Historic Zoning Commission will meet on Wednesday, August 20, 2025 at 4:00 PM in Council Chambers on the basement level of City Hall, 700 N. Garden Street, to consider the following:

I. Roll Call

II. Approval of Minutes

III. Old Business

1. Request from Sherron Scott for exterior alterations approval of a new roof material at [417 W. 6th Street](#), *West Sixth/Mayes Place Historic District*. **THIS ITEM WAS DEFERRED FROM A PREVIOUS AGENDA**

IV. New Business

1. Request from Gray Enterprises, Inc. for approval of new construction details including chimney, porch railing, and trim at [1110 S. High Street, being Tax Map 100E Group E Parcel 13](#), *Athenaeum Historic District*.

V. Other Business

1. Administrative CoAs

VI. Adjourn

Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

The 2025 meeting schedule and Historic District Design Guidelines can be found on the City of Columbia Historic Zoning Commission webpage.

An interactive map showing the boundaries of the historic districts can be found accessed from the City's website.

For other questions, please contact the Department of Development Services at 931-560-1560.



**CITY OF COLUMBIA TENNESSEE  
HISTORIC ZONING COMMISSION  
STAFF REPORT**

**CONTACT INFORMATION**

Robert Archibald, Principal Planner, [rarchibald@columbiatn.gov](mailto:rarchibald@columbiatn.gov), 931-560-1536

**DOCKET/CASE/APPLICATION NUMBER**

**CA 25-0241**

**APPLICANT/PROPERTY OWNER**

**Sherron Scott**

**HEARING DATE**

**July 16th, 2025**

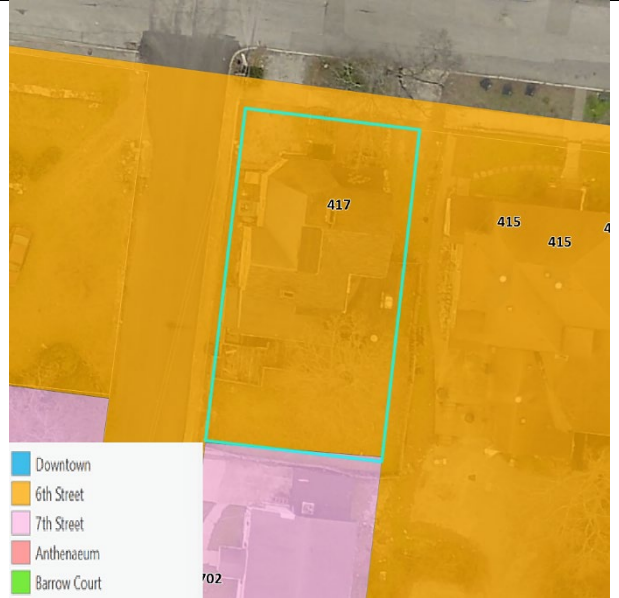
**PROPERTY ADDRESS/LOCATION**

**417 W 6<sup>th</sup> Street**

**PROJECT DESCRIPTION: Partial roof replacement**

The applicant requests a Certificate of Appropriateness, after-the-fact, to retain a partial metal roof replacement.

Specifically, the applicant is requesting the Historic Commission approve an already installed bronze-colored standing seam metal roof installed on the following portions of the residence: front and side porch roofs, the dome area over the triple windows, and a small area over the stained-glass window. The remainder of the roof covering is dark-colored asphalt shingles.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	Historic District
CD-3	RESIDENTIAL	RESIDENTIAL	PARTIAL ROOF REPLACEMENT	W 6 <sup>th</sup> STREET & MAYES PL

**STAFF RECOMMENDATION: N/A**

APPROVE	APPROVE WITH CONDITIONS	DENY
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<b>Review Status and History:</b>	
<i>Submission Status:</i>	First request for Certificate of Appropriateness
<i>Previous Approvals:</i>	N/A
<i>2024 Historic Inventory:</i>	<i>Baird Burns House, Queen Anne, circa 1885, contributing resource</i>

## Proposed Alterations

Partial roof replacement

### Historic District Design Guidelines Referenced:

Staff reviewed the request for consistency with the *City of Columbia Historic Design Guidelines* for the partial replacement of roof covering materials. The Historic Guidelines referenced for review are listed below:

Roof, Chimneys, and Related Features, pg. 4-2

***Objective – Preserve original roof shapes, configurations, and associated features while maintaining compatibility in roof materials.***

#### 4.2 Maintain Compatibility when Replacing Roofing Materials

- b. In-kind materials shall be used when repairing localized areas of deteriorated roofing. Patching roofing or flashing with tar or asphalt is prohibited.
- d. Replacement roofing materials that are compatible with the age and style of the building and visual qualities of the original material shall be used. Replacing specialty roofing such as slate, tile, and standing seam metal with in-kind materials is strongly encouraged where practical and feasible.
- e. Substitute materials that are compatible with the visual character of the original material as perceived from the right-of-way shall be used. Select colors, textures, patterns, and finishes in consideration of the original materials. Dark asphalt, fiberglass, or composite shingles are most appropriate in the absence of historic roofing materials.
- a. Replacement doors should provide a degree of transparency consistent with historic precedents in the district. tinted glass is not appropriate.

### Staff Analysis:

The applicant replaced portions of the existing roof covering (asphalt shingles) with a standing seam metal on the following locations of the property located at 417 W 6<sup>th</sup> Street situated in the W 6<sup>th</sup> Street & Mayes Pl Historic District.

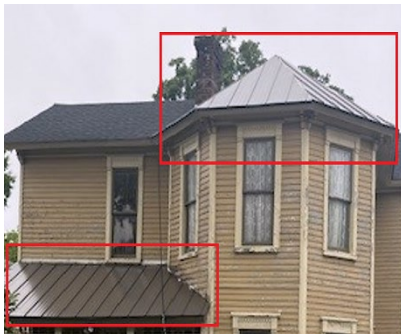


Figure 1 Turret and front porch roof



Figure 2 Side porch Armstrong St side



Figure 3 Over stained-glass window east elevation

According to the most recent Historic Survey, this structure was built in 1885 and is a contributing resource to the district and the time in which it was constructed. Formerly known as the Baird-Burns house, architecturally the structure has retained several architectural elements of the Queen Anne styling. <sup>1</sup> *The West Sixth and Mayes Place Historic District has a concentration of forty-nine buildings, located in the earliest residential section of the town. Built during various periods, these houses tend to neglect the changing times and changing vogue for styles in the evolution of housing during the first one-hundred-year time span. The majority of these buildings are architecturally significant, from an historical point of view, for they represent well preserved examples of vernacular residential architecture consistent with the styles built from 1820 to 1930.*

The structure exhibits several distinctive elements characteristic of Queen Anne architecture. The front porch features ornate turned spindle supports that connect to a suspended frieze with brackets located beneath the porch roof. Additionally, you'll notice the gingerbread detailing around the window casements at the tops of the windows, which is typical of Queen Anne styling. Finally, the polygonal tower is another common feature associated with this architectural style.



The applicant's request to keep the standing seam metal roof on certain sections of the building is unusual for structures of such historical significance. Although metal standing seam roofs were used in the 19th century, there is no evidence to suggest that different roofing materials were combined. Typically, roofs were covered with slate or wood shingles, often made from cypress or cedar. While asphalt shingles are not historically accurate, they can imitate the appearance of wood or slate, providing a more affordable alternative.

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<sup>1</sup> Hammerquist, Gail E., *West Sixth Street and Mayes Place Historic District*. National Register of Historic Places Nomination Form. Prepared by Tennessee Historical Commission for the National Park Service. 1978



**In-kind materials must be used when repairing localized areas of deteriorated roofing.** The use of tar or asphalt for patching roofing or flashing is prohibited. This indicates that the roof was replaced without using in-kind materials, such as asphalt. Because this replacement did not utilize in-kind materials, staff cannot support this request.

**Recommendation:**

**MOTIONS**

**Motion [Approve].**

Move to find that the proposed restoration/addition conforms to the Historic District Design Guidelines and approve issuance of a Certificate of Appropriateness.

**Motion [Deny].**

Move to find that the proposed restoration/addition is not compatible with the Historic Guidelines, and deny issuance of a Certificate of Appropriateness [list reasons for denial].

**Alternative Motion [Approve Subject to Conditions]:**

Move to approve issuance of a Certificate of Appropriateness and find that the proposed renovation/addition conforms to the Historic District Design Guidelines subject to the following conditions: [list conditions of approval].

**Alternative Motion [Defer for Future Consideration].**

Move to find that there is insufficient information to make a decision, defer action on the application, and request that the applicant provide: [list additional information] for review at a future meeting.













**CITY OF COLUMBIA TENNESSEE  
HISTORIC ZONING COMMISSION  
STAFF REPORT**

**CONTACT INFORMATION**

Robert Archibald, Principal Planner, [rarchibald@columbiatn.gov](mailto:rarchibald@columbiatn.gov), 931-560-1536

**DOCKET/CASE/APPLICATION NUMBER**

**CA 25-0271**

**APPLICANT/PROPERTY OWNER**

**Gray Enterprises/9<sup>th</sup> & Main LLC**

**HEARING DATE**

**August 20th, 2025**

**PROPERTY ADDRESS/LOCATION**

**1110 S High Street**

**PROJECT DESCRIPTION: Revised CoA**

The applicant requests a Certificate of Appropriateness for minor deviations from previously approved CoA (24-0884).

Specifically, the applicant is requesting the Historic Commission approve a Certificate of Appropriateness request for as-built modifications to the chimney, removal of a 6" band from all exterior elevations, and to add a metal handrail on the right side of the front only if required for fall protection.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	Historic District
CD-4	SINGLE-FAMILY	CD-4	NEW S/F CONSTRUCTION	ATHENAEUM

**STAFF RECOMMENDATION: N/A**

**APPROVE**

**APPROVE WITH CONDITIONS**

**DENY**

**Review Status and History:**

<i>Submission Status:</i>	Third request for Certificate of Appropriateness
<i>Previous Approvals:</i>	22-0323 – S/F Demolition, approved 24-0084 – S/F New Construction, approved
<i>2024 Historic Inventory:</i>	<i>Razed; Recommended not eligible, previously recognized as Frierson Farm; retains original 19th-century iron fleur-de-lis fence</i>



## Proposed Alterations

Architectural deviations from previously approved CoA

### Historic District Design Guidelines Referenced:

Staff reviewed the request for consistency with the *City of Columbia Historic Design Guidelines* for new frame and door installation. The Historic Guidelines referenced for review are listed below:

Note on New Construction, page 6-5

***The guidelines for new construction are not intended to define a specific style or set of features required for new buildings within historic districts. Rather, the guidelines are intended to promote an understanding of the general characteristics that are important to consider in designing a new building that is broadly compatible with established precedents. The goal is to promote construction of high-quality buildings that enhance the architectural character of the area. The following may be considered by the HZC when reviewing new construction:***

- ***Does the building maintain the street plan? • Does the building fall within the established rhythm along the street?***
- ***Is the building orientation and setback consistent with existing buildings?***
- ***Is the entrance oriented to the street? • Does the building's massing fall within the established range in the district?***
- ***Does the façade incorporate human-scaled features?***
- ***Is the ratio of solid wall to openings consistent with that of surrounding buildings?***
- ***Is the complexity of the building appropriate within its context?***
- ***Is the roof shape and pitch consistent with those existing in the district?***
- ***Are features of an appropriate scale and comprised of traditional materials or modern counterparts with proven durability?***
- ***Does the design appropriately incorporate architectural details that promote visual interest but refrain from duplicating historic features?***

### 6.8 Design and Architectural Features

- e. Roof features such as chimneys shall be appropriately scaled to the building.



**Staff Analysis:**

The applicant received approval for the construction of a single-family residential structure located at 1110 S. High Street on March 20, 2024. A Certificate of Appropriateness was issued, and a building permit was secured. However, during the final inspection, staff observed modifications to the architectural design elements that had been made during construction. This resulted in a failed inspection, and the applicant was notified of the noted deviations. Staff then met with the applicant to verify these modifications, which are outlined below:

1. The approved design by the Historic Commission specified the construction of a tapered chimney on the north elevation, built with stone. The actual construction resulted in a non-tapered brick chimney.
2. The approved design required 6-inch trim boards to be placed on the exterior walls of the north and south elevations at approximately the mid-point of the wall system. However, the as-built result featured horizontal lap siding with no mid-point delineation.
3. The approved design indicated that there would be no railing on the front and south porches of the structure. As it was built, a porch railing will need to be added—if required for fall protection—that mirrors the aluminum picket railing constructed for the upper story.



RIGHT ELEVATION



The approved as-built single-family residence has been fully constructed. The plans presented to the Historic Commission in 2024 included specific design elements that were modified during construction, as previously mentioned. The parameters set by the Historic Guidelines for new construction emphasize spatial relationships, maintaining an established rhythm along the street, and ensuring consistency in orientation and setbacks with existing structures in the district. Additionally, these guidelines focus on the building's complexity in context, consistency in roof shapes with existing buildings, and the thoughtful incorporation of architectural details that enhance visual interest without replicating historic features.

The construction modifications had a significant impact on one major architectural feature: the chimney. In the opinion of the staff, both brick and stone cladding were commonly used for chimneys in 19th and 20th-century residential buildings. However, stone was often preferred due to its greater availability. Moreover, both tapered and standard massed chimneys play an important role in the historic context and construction practices of the period.

The structure adheres to the standards outlined in the Historic District Guidelines regarding spatial location. The removal of the 6-inch trim board and the potential construction of the handrail system on the porches are minor modifications that do not detract from the historic character of the district. However, the chimney should be regarded as an architectural element that enhances visual interest without replicating historical features. It is worth noting that the previously demolished structure was of Victorian architecture; it had a similar massing and featured a single, standard brick chimney that was much smaller than the one in the current construction.

In conclusion, the applicant submitted plans to the Historic Commission, which approved them as part of the Certificate of Appropriateness for new construction. However, the resulting construction deviated from the approved design. The staff does not provide a recommendation and instead defers to the decision of the Historic Commission regarding this matter.





**Recommendation:**

**MOTIONS**

**Motion [Approve].**

Move to find that the proposed restoration/addition conforms to the Historic District Design Guidelines and approve issuance of a Certificate of Appropriateness.

**Motion [Deny].**

Move to find that the proposed restoration/addition is not compatible with the Historic Guidelines and deny issuance of a Certificate of Appropriateness [list reasons for denial].

**Alternative Motion [Approve Subject to Conditions]:**

Move to approve issuance of a Certificate of Appropriateness and find that the proposed renovation/addition conforms to the Historic District Design Guidelines subject to the following conditions: [list conditions of approval].

**Alternative Motion [Defer for Future Consideration].**

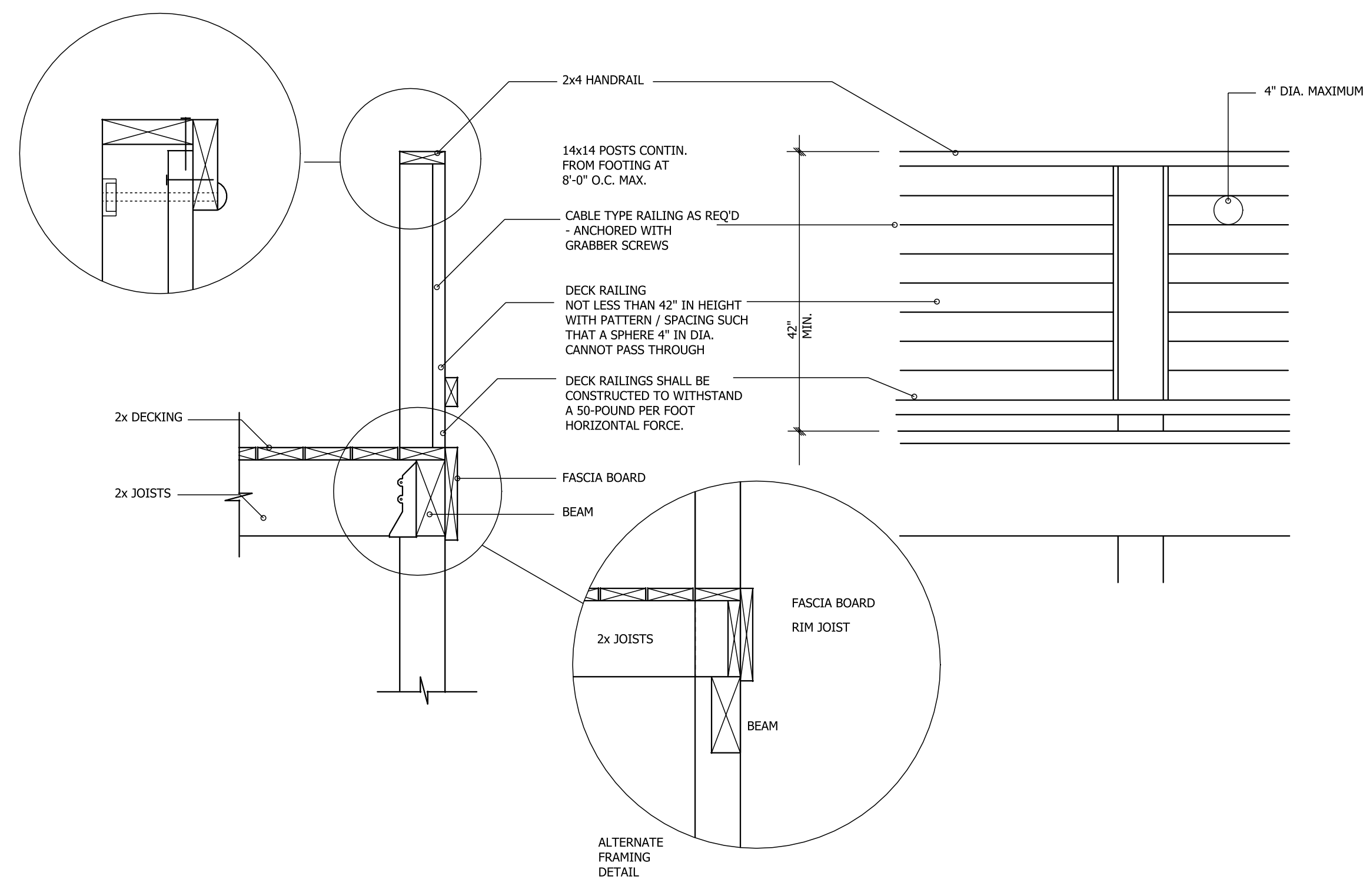
Move to find that there is insufficient information to make a decision, defer action on the application, and request that the applicant provide: [list additional information] for review at a future meeting.











DECK AND RAILING A



FRONT ELEVATION  
SCALE: 1/4" = 1'



LEFT ELEVATION  
SCALE: 1/4" = 1'

	WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THE DRAFTSMAN CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME. THE DRAFTSMAN WILL NOT BE LIABLE FOR ERROR AFTER CONSTRUCTION BEGINS. © SOUTHERN HOME DESIGNS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS		<b>SOUTHERN HOME DESIGNS</b> 106 WALNUT LANE COLUMBIA, TN 38401 PHONE 931-580-9375 EMAIL dwilliamshd64@gmail.com HOME DESIGNS SINCE 1997	SCALE 1/4" = 1'	DATE 5/21/24	DRAWN BY Daniel Williams
	PLAN NO. 2S-3044-24	PAGE NO. 1 of 5	<b>S. GRAY 5</b>			

FOOTING SCHEDULE (3000 psf soil capacity)

MK	PLAN DIMENSIONS	THICKNESS	REINFORCING
F 3'-0"	3'-0" x 3'-0"	12"	4- #4's bottom
F 3'-6"	3'-6" x 3'-6"	12"	5- #4's bottom
F 4'-0"	4'-0" x 4'-0"	12"	7- #4's bottom
F 4'-6"	4'-6" x 4'-6"	12"	6- #5's bottom
F 5'-0"	5'-0" x 5'-0"	12"	6- #6's bottom

GENERAL NOTES - STEEL

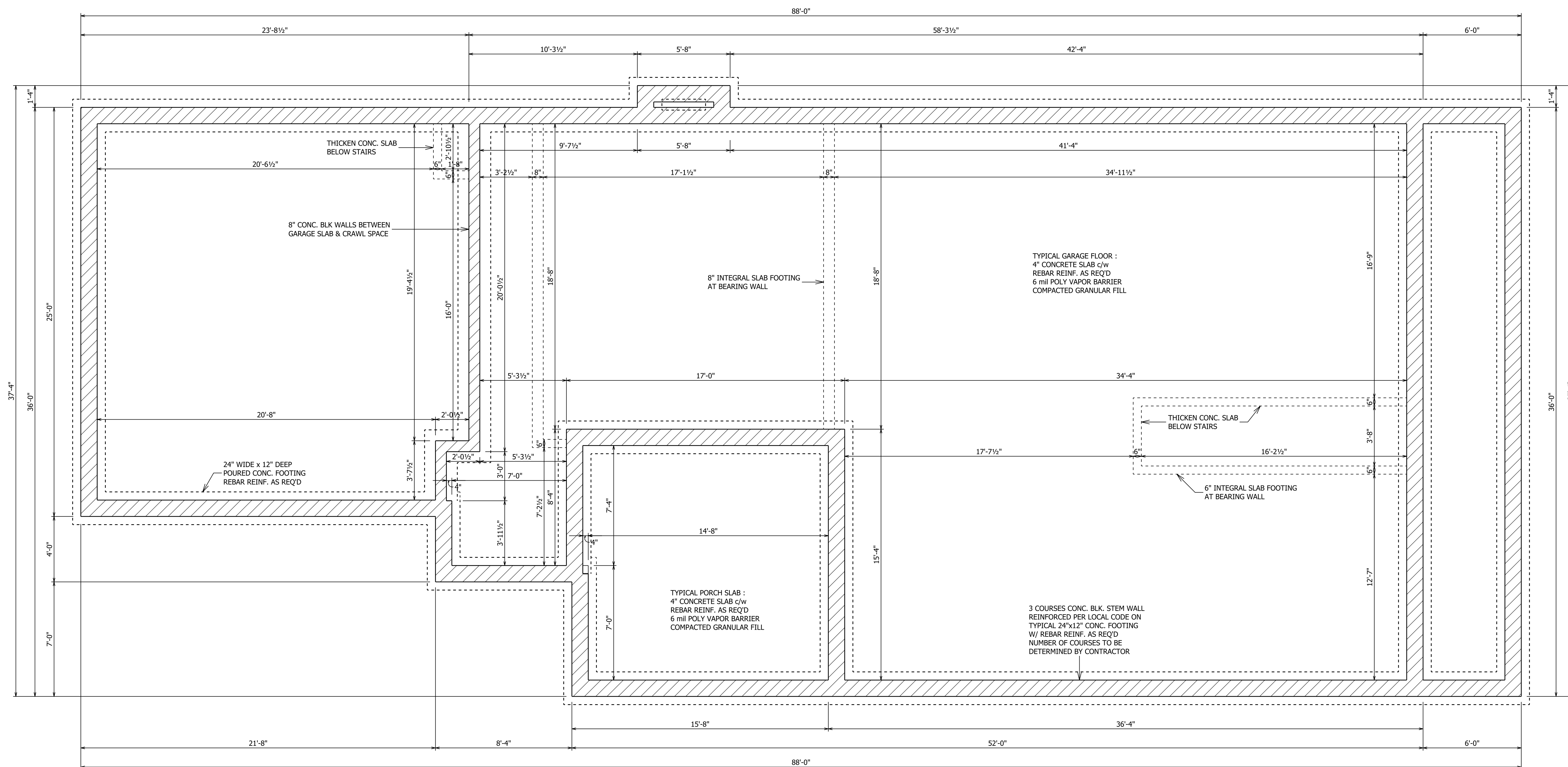
- STRUCTURAL STEEL SHALL BE A-36 GRADE UNLESS OTHERWISE NOTED.
- STRUCTURAL STEEL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATIONS AND STANDARDS.

REBAR SIZE, DIAMETER, AND CROSS - SECTIONAL AREAS

SIZE	DIAMETER (INCHES)	AREA (SQ. INCHES)
No. 3	3/8	0.11
No. 4	1/2	0.20
No. 5	5/8	0.31
No. 6	3/4	0.44
No. 7	7/8	0.60
No. 8	1	0.79

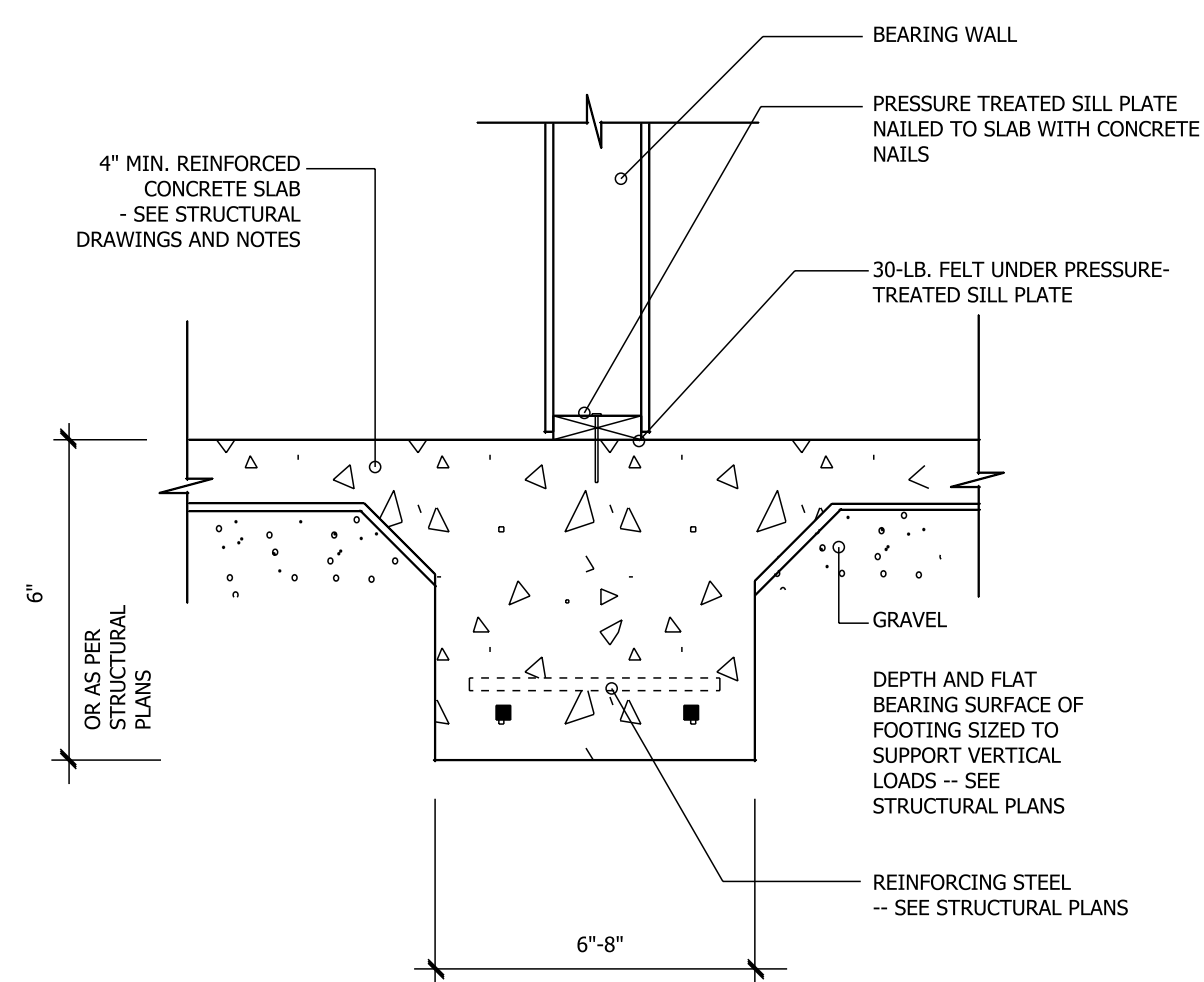
GENERAL NOTES - STEEL

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SLAB FOUNDATION PLAN

SCALE: 1/4" = 1'



INTEGRAL SLAB FOOTING DETAIL AT BEARING WALL

GENERAL NOTES:

- SEE DETAILS WHERE NEEDED.
- PROVIDE SOLID SUPPORT UNDER ALL BEAMS AND HEADERS.
- PROVIDE DOUBLE JOISTS UNDER PARALLEL WALLS ABOVE.
- RAFTERS AND JOIST SPANS ARE BASED ON #2 YELLOW PINE.
- 2"x10" EXTERIOR HEADERS, 2"x8" INTERIOR HEADERS.
- STATED BEAM SIZES TO BE VERIFIED BY SUPPLIER.
- INSTALL A SILL SEALER, EQUAL TO "POLY-CEL ONE" UNDER EXTERIOR SILLS OF HEATED AREA.
- INSTALL METAL BACK-UP CLIPS ON EXTERIOR STUDS OF HEATED AREA AS PER WALL CONSTRUCTION DETAILS.
- INSTALL INSULATION IN EXT. STUDS OF HEATED AREA AS REQ'D.
- INSTALL INSULATION IN FLOOR JOISTS OF HEATED AREA AS REQ'D.
- INSTALL INSULATION IN CEILINGS OF HEATED AREA AS REQ'D.
- CAULK AROUND DOORS, WINDOWS, AND ALL OTHER OPENINGS OF EXTERIOR WALLS OF HEATED AREA.
- OF EXTERIOR WALLS OF HEATED AREA.
- ALL INTERIOR 2x4 WALLS ARE 3 1/2" WIDE.
- ALL INTERIOR 2x6 WALLS ARE 5 1/2" WIDE.
- ALL EXTERIOR 2x4 BRICK WALLS ARE 8 1/2" WIDE.
- ALL EXTERIOR 2x4 SIDING WALLS ARE 5" WIDE.
- ALL EXTERIOR 2x6 SIDING WALLS ARE 7" WIDE.

NOTES:

- CLOSEST SHELF HEIGHT OFF FLOOR: 66" SINGLE 42" & 84" DOUBLE
- ATTIC ACCESS PULL DOWN STEPS- 22 1/2"x48"
- GRADE LINE SHOWN ON PLAN DOES NOT NECESSARILY REFLECT FINAL GRADE LINE
- LOCATE ACCESS OPENING TO CRAWL SPACE AT HIGHEST PART OF FOUNDATION
- LAY 1 COURSE OF CAP BLOCK IN BOTTOM OF OPENING
- ALL INTERIOR PIERS TO BE 16"x16"
- WHEN OVER 4 BLOCK PLUS CAP
- ALL GIRDER BREAKS MUST BE ON PIERS OR POST (TYP.)



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SCALE

DATE

DRAWN BY

1/4" = 1'

5/21/24

Daniel Williams

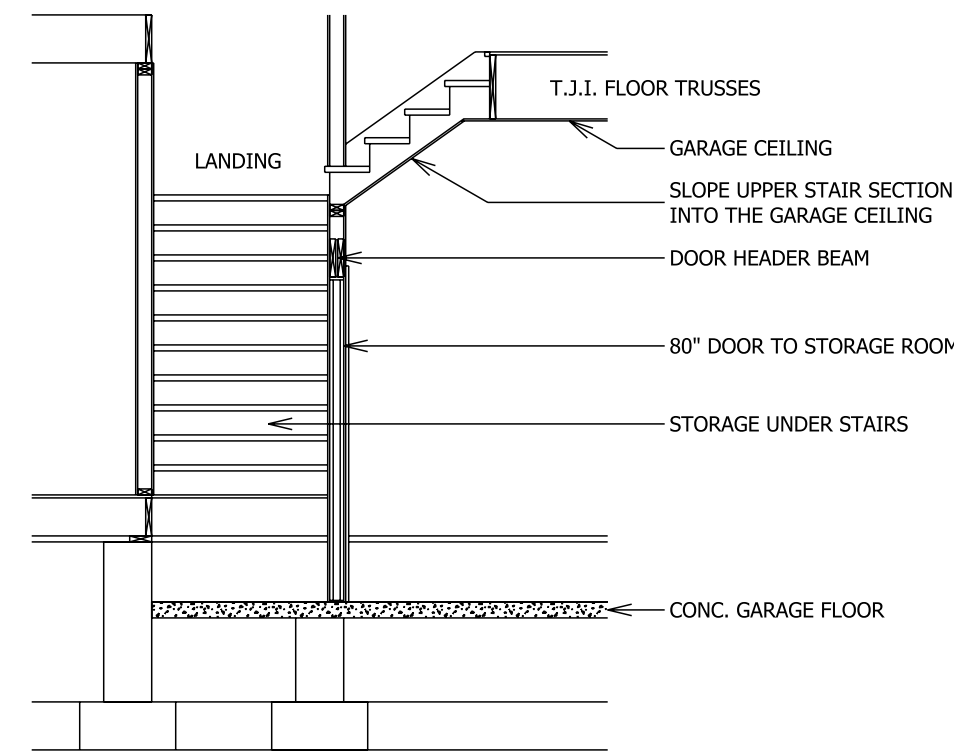
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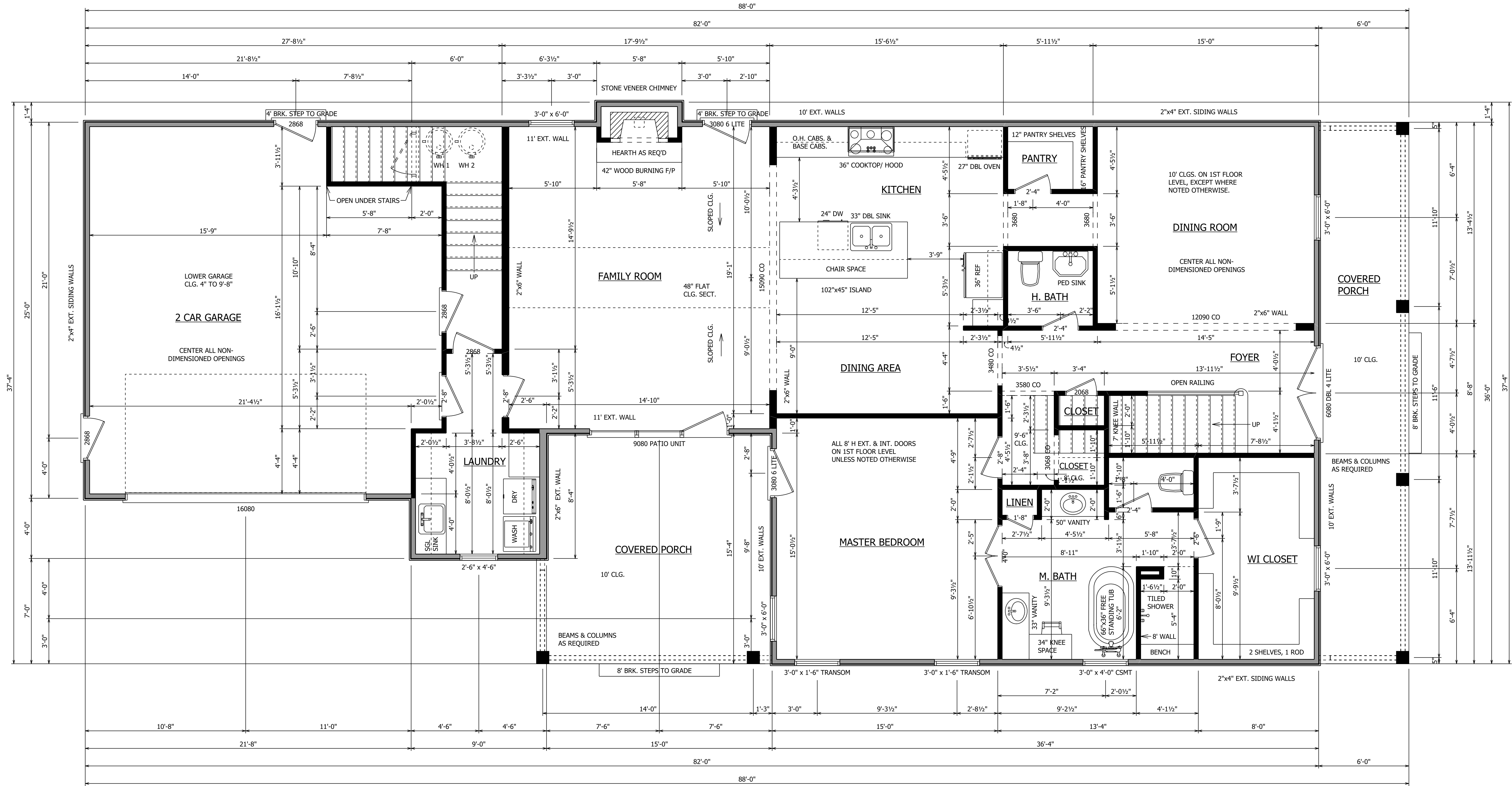
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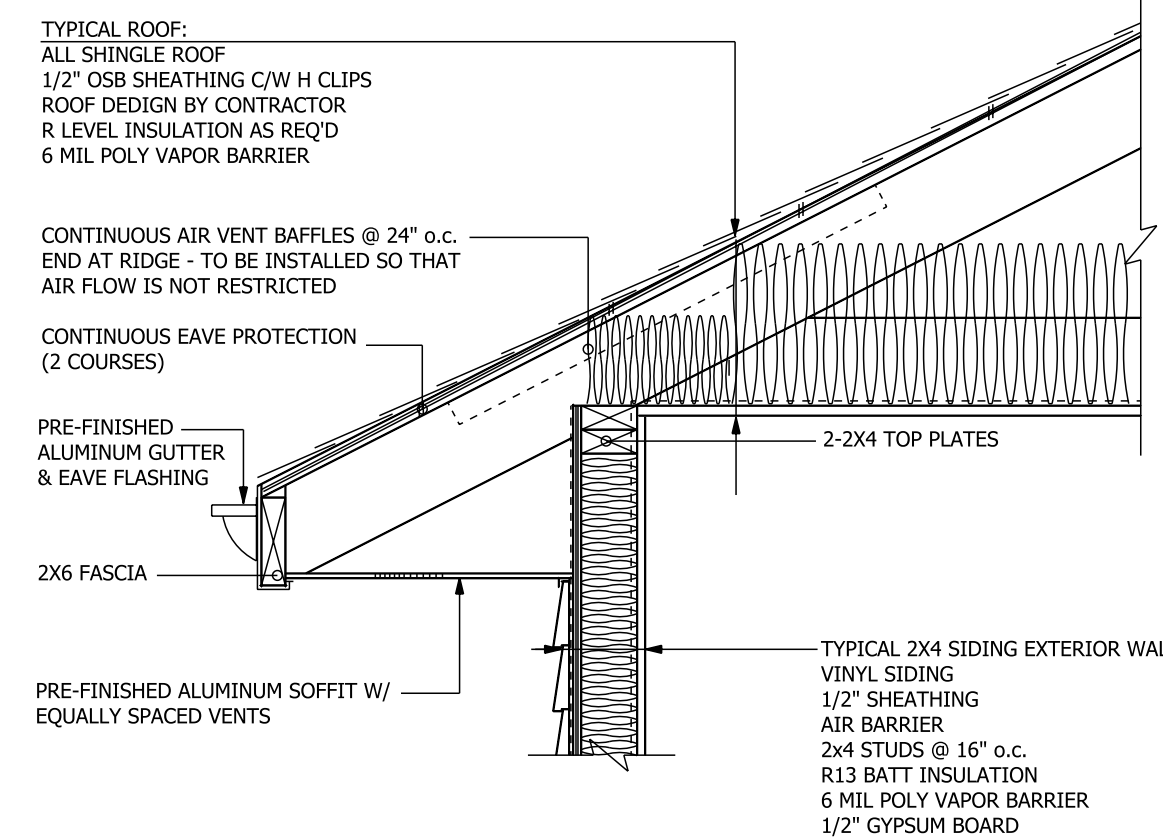
STORAGE ROOM DOOR DETAIL



1ST FLOOR PLAN

SCALE: 1/4" = 1'

PRODUCT CODE	SIZE	HINGE DIRECTION	COUNT
32480 COLONIAL A 1	2868	R	2
64480 FRENCH A 2	5'-4" DBL. 6 LITE	LR	1
72496 COUNTRY A 2	6080 DBL. 4 LITE	LR	1
36006 FRENCH A 1	3080 6 LITE	L	1
36006 FRENCH A 1	3080 6 LITE	R	1
108006 PATIO UNIT 3	9'-0" x 8'-0"	NA	1
102096 - 4 PANEL	18'-0" x 8'-0"	U	1
24880 COLONIAL A 1	2058	L	1
28880 COLONIAL A 1	2'-4"	R	2
28880 COLONIAL A 1	2'-4"	R	3
32480 COLONIAL A 1	2'-8"	L	1
32480 COLONIAL A 1	2'-8"	R	1
32480 COLONIAL A 1	2868	R	2
48880 COLONIAL A 2	4'-0"	LR	1
72480 COLONIAL A 2	6'-0"	LR	1
28880 GLASS - Shower	2'-4"	R	1
20096 COLONIAL A 1	1'-8"	R	1
28896 COLONIAL A 1	2'-4"	L	3
30096 COLONIAL A 1	2'-6"	L	1
32096 COLONIAL A 1	2'-8"	L	1
32096 COLONIAL A 1	2'-8"	R	2
48896 COLONIAL A 2	4'-0"	LR	1
24442 CASEMENT 1	2'-0" x 3'-6"	N	3
36048 CASEMENT 1	3'-0" x 4'-0"	N	1
30060 DOUBLE HUNG 1	2'-6" x 5'-0"	N	1
36066 DOUBLE HUNG 1	3'-0" x 5'-6"	N	7
64466 DOUBLE HUNG 2	5'-4" x 5'-6"	NN	1
72466 DOUBLE HUNG 2	6'-0" x 5'-6"	NN	1
30054 SINGLE HUNG 1	2'-6" x 4'-6"	U	1
36072 SINGLE HUNG 1	3'-0" x 6'-0"	U	4
36018 TRANSOM	3'-0" x 1'-6"	N	2



2x4/SIDING EAVE

GENERAL NOTES:

- 10' CEILINGS ON 1ST FLOOR, EXCEPT WHERE NOTED OTHERWISE.
- SEE DETAILS WHERE NEEDED.
- PROVIDE SOLID SUPPORT UNDER ALL BEAMS AND HEADERS.
- PROVIDE DOUBLE JOISTS UNDER PARALLEL WALLS ABOVE.
- RAFTERS AND JOIST SPANS ARE BASED ON #2 YELLOW PINE.
- 2"x10" EXTERIOR HEADERS, 2"x8" INTERIOR HEADERS.
- STATED BEAM SIZES TO BE VERIFIED BY SUPPLIER.
- INSTALL A SILL SEALER, EQUAL TO "POLY-CEL ONE" UNDER EXTERIOR SILLS OF HEATED AREA.
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- INSTALL INSULATION IN FLOOR JOISTS OF LOWER LEVEL HEATED AREA AS REQ'D.
- INSTALL INSULATION IN CEILING OF HEATED AREA AS REQ'D.
- CAULK AROUND DOORS, WINDOWS, AND ALL OTHER OPENINGS OF EXTERIOR WALLS OF HEATED AREA.
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- ALL EXTERIOR 2x4 SIDING WALLS ARE 5" WIDE.
- ALL EXTERIOR 2x6 SIDING WALLS ARE 7" WIDE.

SQUARE FOOTAGE

1ST FLR LIVING SPACE	1787
2ND FLR LIVING SPACE	1257
TOTAL LIVING SPACE	3044
GARAGE	588
LINEN STORAGE	658
COVERED PORCHES	451
COVERED DECK	216
TOTAL UNDER ROOF	4957



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SCALE

DATE

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1/4" = 1'

5/21/24

Daniel Williams

PLAN NO.

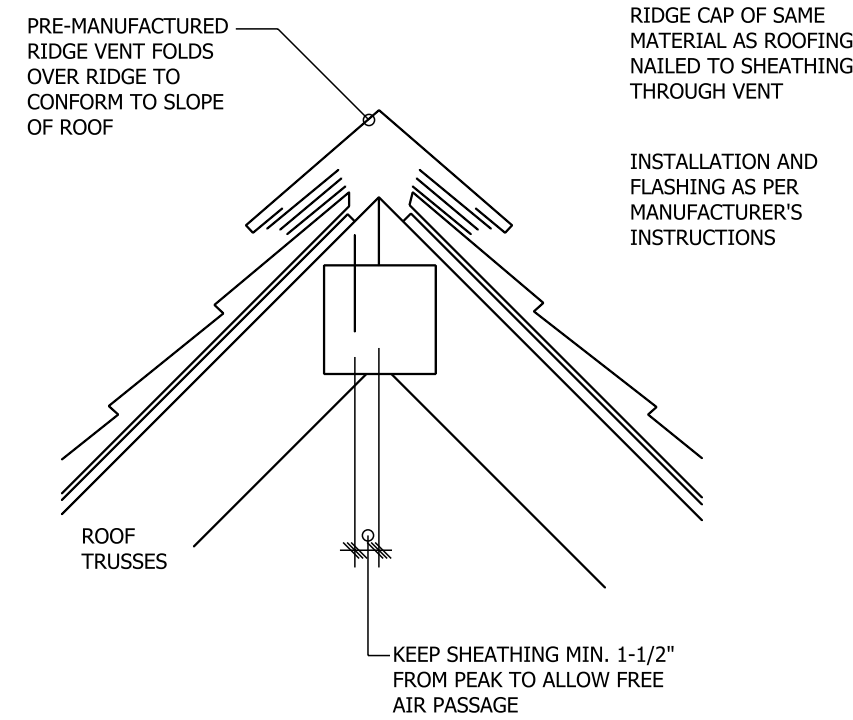
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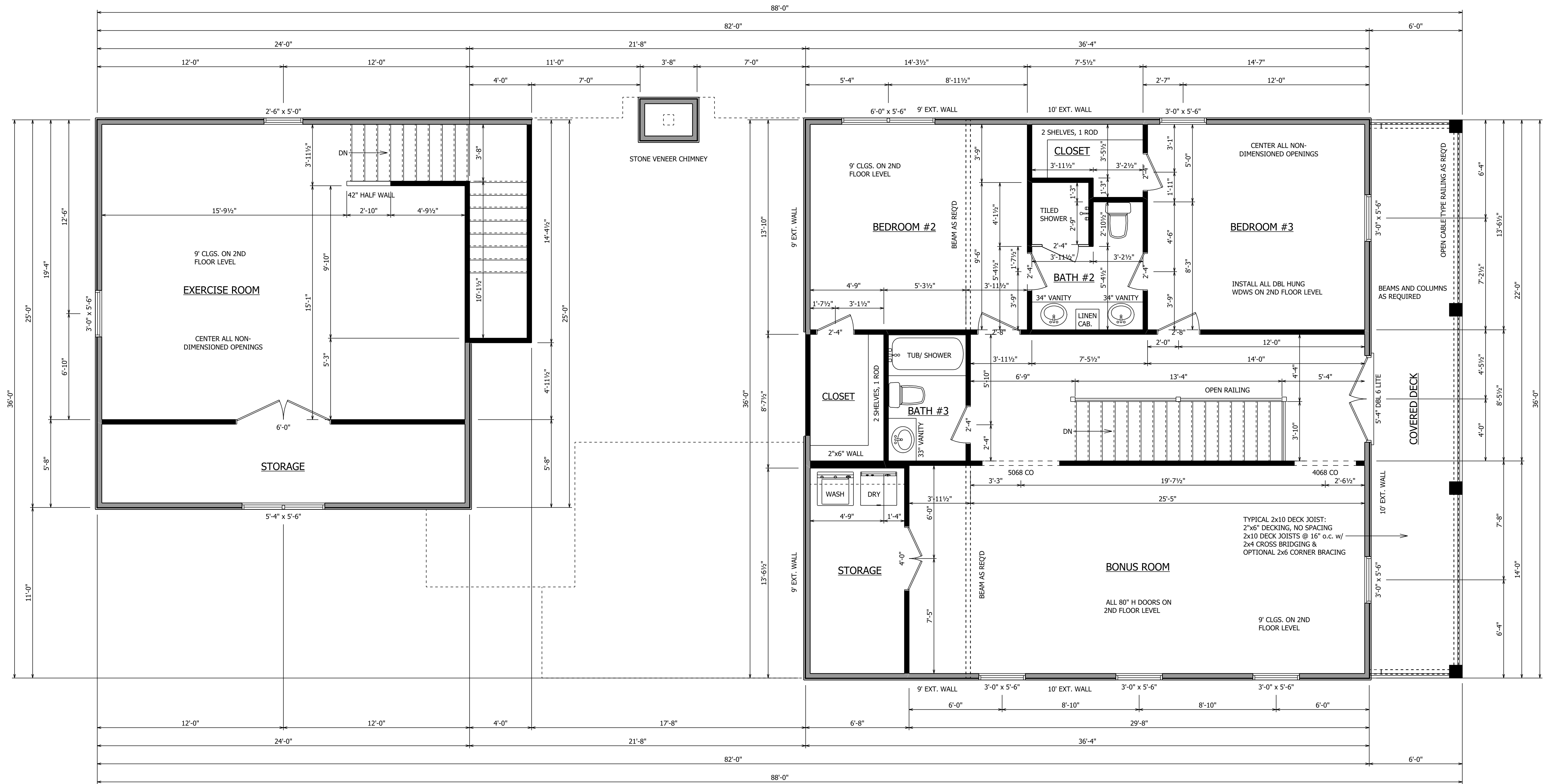
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NOTE THAT "DORMER" STYLE THROUGH-ROOF EXHAUST VENTS MAY BE PROVIDED IN ADDITION TO OR IN LIEU OF RIDGE VENTS INDICATED.  
 MIN. 26 SQ. FT. (3800/150 = 25.33) VENTILATION AREA REQ'D

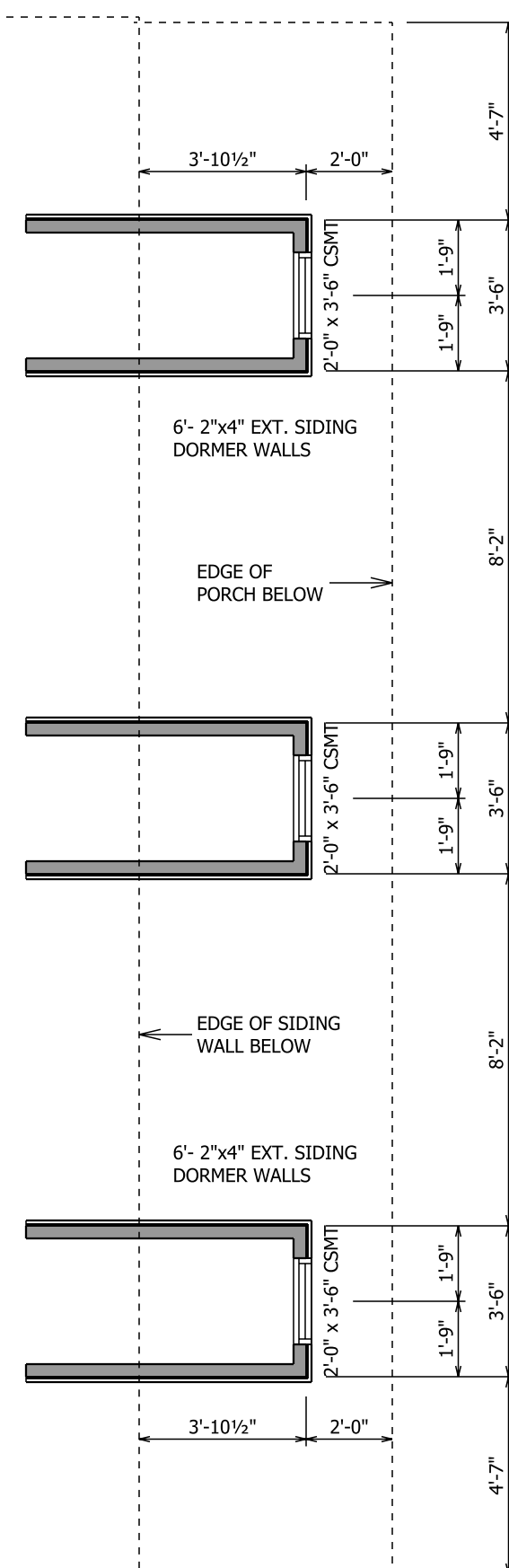


RIDGE VENT



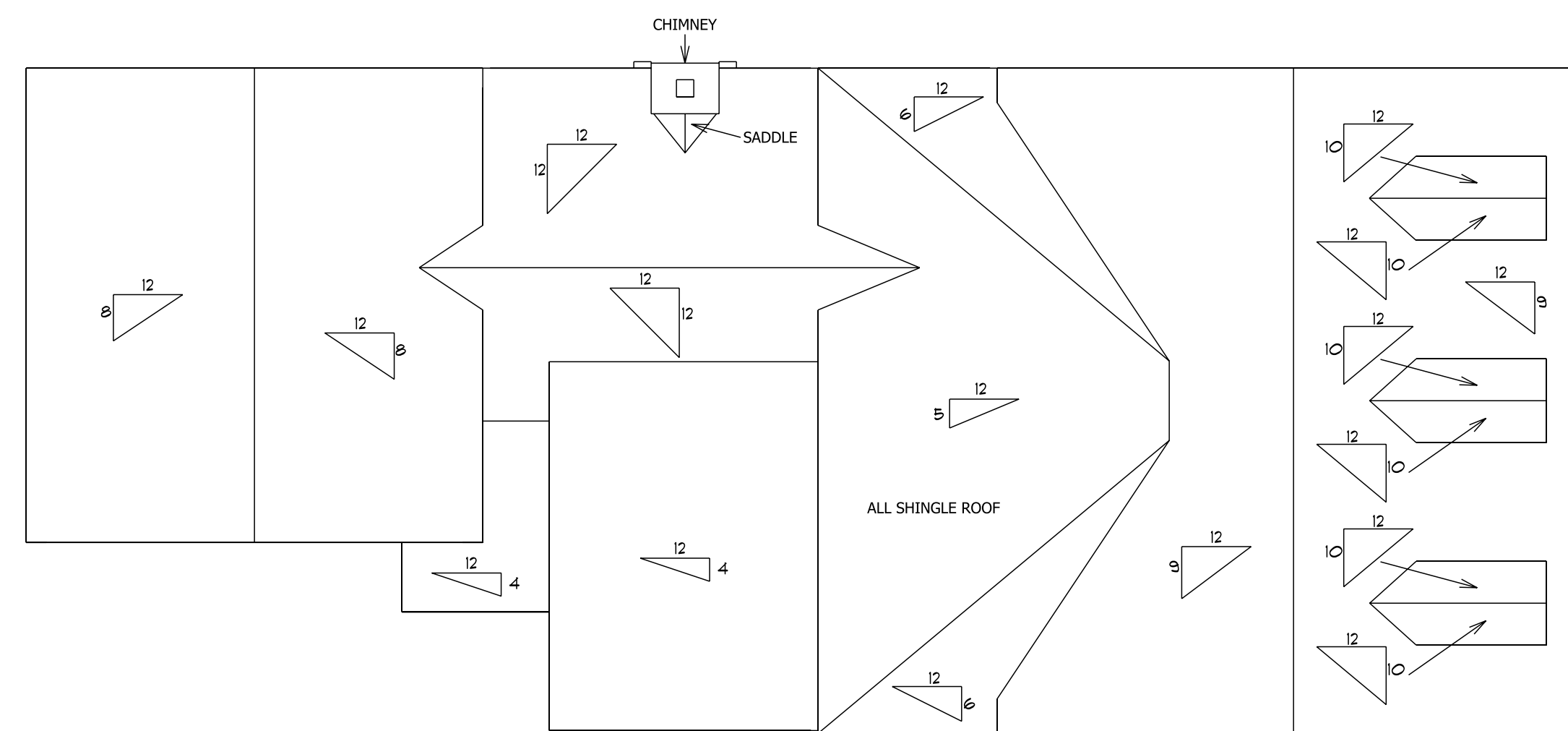
2ND FLOOR PLAN

SCALE: 1/4" = 1'



DORMER PLAN

SCALE: 1/4" = 1'



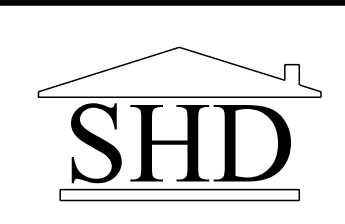
ROOF PITCH DETAIL

SCALE: 1/8" = 1'

SQUARE FOOTAGE	
1ST FLR LIVING SPACE	1787
2ND FLR LIVING SPACE	1257
TOTAL LIVING SPACE	3044
GARAGE	588
UNFIN. STORAGE	658
COVERED PORCHES	451
COVERED DECK	216
TOTAL UNDER ROOF	4957

GENERAL NOTES:

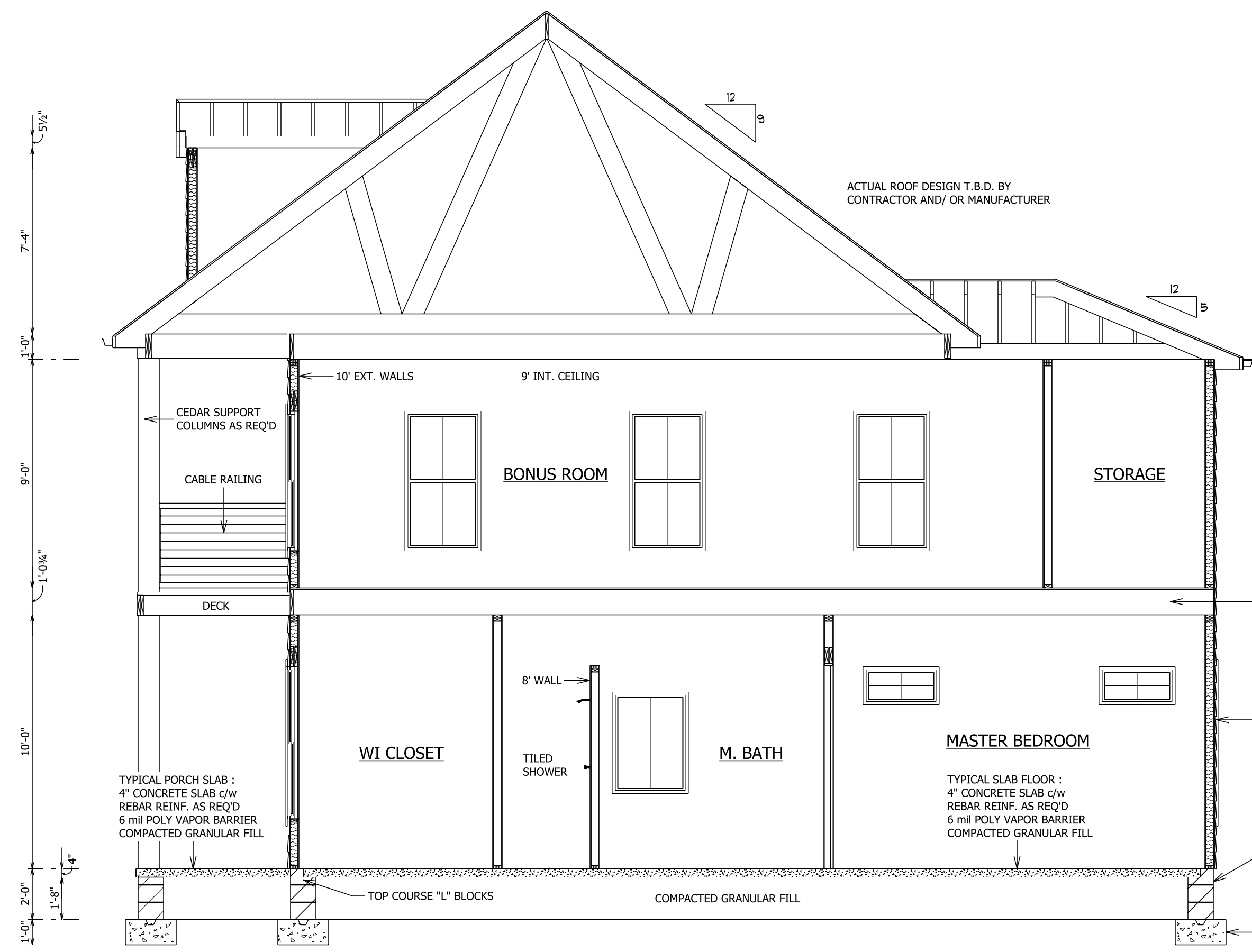
- 9' CEILINGS ON 2ND FLOOR, EXCEPT WHERE NOTED OTHERWISE.
- SEE DETAILS WHERE NEEDED.
- PROVIDE SOLID SUPPORT UNDER ALL BEAMS AND HEADERS.
- PROVIDE DOUBLE JOISTS UNDER PARALLEL WALLS ABOVE.
- RAFTERS AND JOIST SPANS ARE BASED ON #2 YELLOW PINE.
- 2"x10" EXTERIOR HEADERS, 2"x8" INTERIOR HEADERS.
- STATED BEAM SIZES TO BE VERIFIED BY SUPPLIER.
- INSTALL A SILL SEALER, EQUAL TO "POLY-CEL ONE" UNDER EXTERIOR SILLS OF HEATED AREA.
- INSTALL METAL BACK-UP CLIPS ON EXTERIOR STUDS OF HEATED AREA AS PER WALL CONSTRUCTION DETAILS.
- INSTALL INSULATION IN EXT. STUDS OF HEATED AREA AS REQ'D.
- INSTALL INSULATION IN FLOOR JOISTS OF LOWER LEVEL HEATED AREA AS REQ'D.
- INSTALL INSULATION IN CEILINGS OF HEATED AREA AS REQ'D.
- CAULK AROUND DOORS, WINDOWS, AND ALL OTHER OPENINGS OF EXTERIOR WALLS OF HEATED AREA.
- OF EXTERIOR WALLS OF HEATED AREA.
- ALL INTERIOR 2x4 WALLS ARE 3 1/2" WIDE.
- ALL INTERIOR 2x6 WALLS ARE 5 1/2" WIDE.
- ALL EXTERIOR 2x4 BRICK WALLS ARE 8 1/2" WIDE.
- ALL EXTERIOR 2x4 SIDING WALLS ARE 5" WIDE.
- ALL EXTERIOR 2x6 SIDING WALLS ARE 7" WIDE.



WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THE DRAFTSMAN CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME. THE DRAFTSMAN WILL NOT BE LIABLE FOR ERROR AFTER CONSTRUCTION BEGINS.  
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**SOUTHERN HOME DESIGNS**  
 106 WALNUT LANE COLUMBIA, TN 38401  
 PHONE 931-580-9375 EMAIL dwilliamshd64@gmail.com  
 HOME DESIGNS SINCE 1997

SCALE	DATE	DRAWN BY
1/4" = 1'	5/21/24	Daniel Williams
PLAN NO.	PAGE NO.	
2S-3044-24	4 of 5	S. GRAY 5



**SECTION "A" - WALL FRAME DETAIL**  
SCALE: 1/4" = 1'



**REAR ELEVATION**  
SCALE: 1/4" = 1'



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'

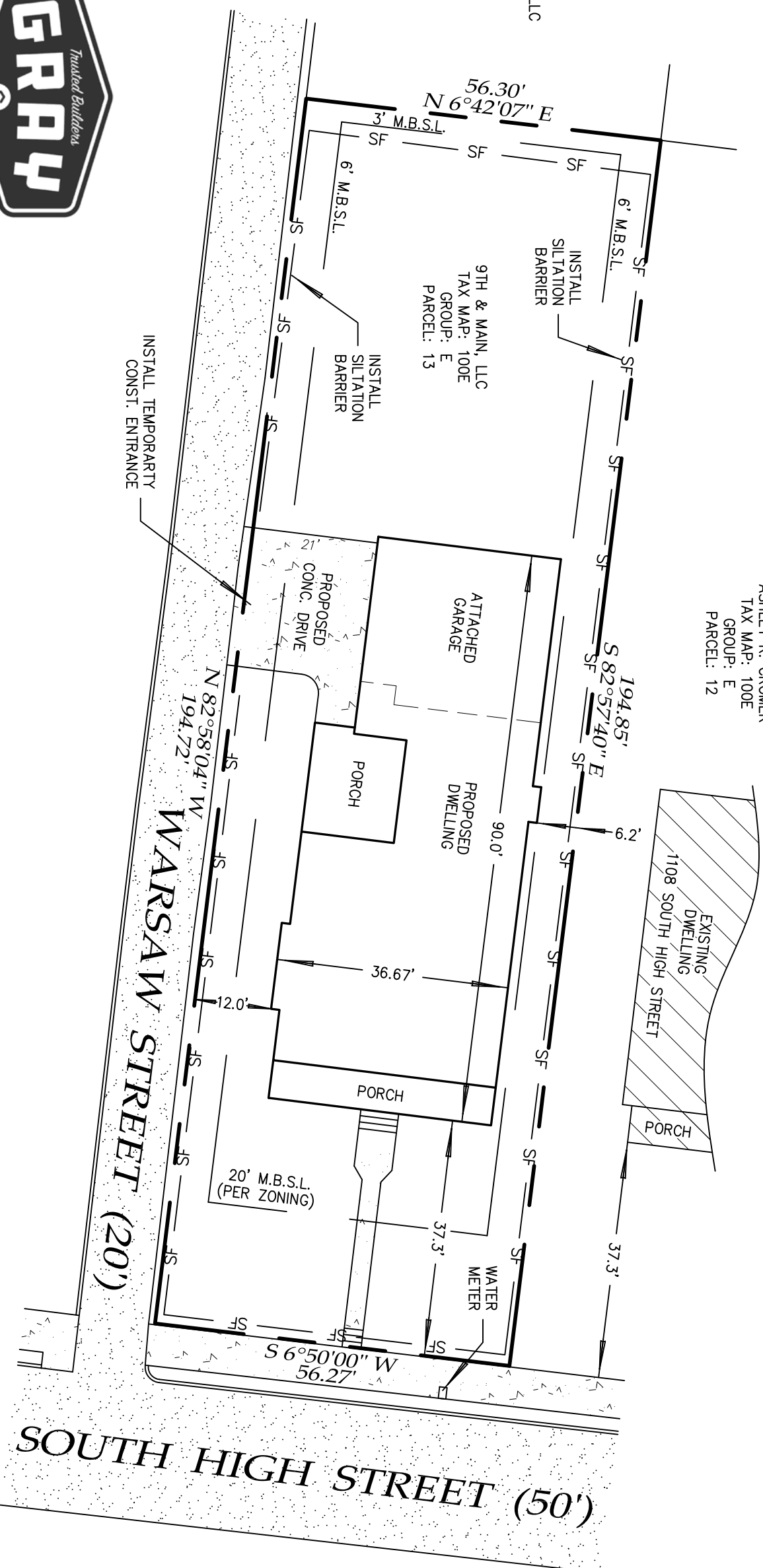
	<small>WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THE DRAFTSMAN CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS AND BE RESPONSIBLE FOR SAME. THE DRAFTSMAN WILL NOT BE LIABLE FOR ERROR AFTER CONSTRUCTION BEGINS. © SOUTHERN HOME DESIGNS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS</small>		<b>SOUTHERN HOME DESIGNS</b> 106 WALNUT LANE COLUMBIA, TN 38401 PHONE 931-580-9375 EMAIL <a href="mailto:dwilliamshd64@gmail.com">dwilliamshd64@gmail.com</a> HOME DESIGNS SINCE 1997	SCALE 1/4" = 1'	DATE 5/21/24	DRAWN BY Daniel Williams
	PLAN NO. 2S-3044-24	PAGE NO. 5 of 5	<b>S. GRAY 5</b>			

DAVID ELIZABETH CONTRACTORS, LLC  
 TAX MAP: 100E  
 GROUP: E  
 PARCEL: 29

ASHLEY R. CROMER  
 TAX MAP: 100E  
 GROUP: E  
 PARCEL: 12

BURCHELL ENTERPRISES, LLC  
 TAX MAP: 100E  
 GROUP: E  
 PARCEL: 27

9TH & MAIN, LLC  
 TAX MAP: 100E  
 GROUP: E  
 PARCEL: 13



# SITE PLAN

**BUILDER:** GRAY ENTERPRISES, INC.  
**PROPERTY ADDRESS:** 1110 SOUTH HIGH STREET, COLUMBIA, TN 38401.  
**PROPERTY DESCRIPTION:** A PARCEL OF LAND SITUATED ON THE WESTERLY MARGIN OF SOUTH HIGH STREET, ALSO BEING SITUATED ALONG THE NORTHERLY MARGIN OF WARSAW STREET.  
**RECORDED:** DEED BOOK R2891, PAGE 559, R.O.M.C., TENNESSEE.  
**COUNTY:** MAURY      **ZONING:** CD-4  
**TAXMAP:** 100E      **GROUP:** E      **PARCEL:** 13

IT IS A REQUIREMENT IN THE STATE OF TENNESSEE AS PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER, NO LESS THAN THREE (3), DAYS AND NO MORE THAN TEN (10), WORKING DAYS PRIOR TO INTENDED EXCAVATION. TENNESSEE ONE CALL CAN BE REACHED BY DIALING 811 OR 615-367-1110.

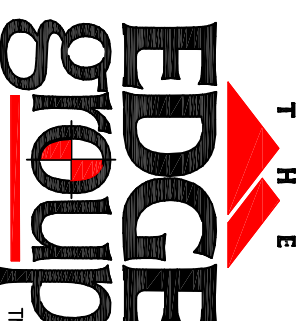
THE BUILDER IS SOLELY RESPONSIBLE FOR CONFORMING TO ALL ZONING REGULATIONS INCLUDING BUT NOT LIMITED TO BUILDING SETBACK LINES, EASEMENTS AND OTHER BUILDING AND PROPERTY RESTRICTIONS AS WELL AS ANY OTHER CONDITIONS AS SET FORTH OR NOTED ON THE SUBDIVISION PLAT AND LOCAL, STATE OR FEDERAL POLICIES, REGULATIONS AND ORDINANCES THAT MAY APPLY TO THE SUBJECT PROPERTY. THIS PLAN IS AUTHORIZED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON ONLY.



UTILIZING GRAPHIC PLOTTING METHODS THE PROPERTY SHOWN HEREON IS NOT LOCATED IN AREAS DESIGNATED AS SPECIAL FLOOD HAZARD ON THE LATEST F.E.M.A. FLOOD INSURANCE RATE MAPS RECEIVED BY THIS OFFICE  
**MAP PANEL:** 47119C0285E  
**ZONE:** X      **DATE:** 4-16-2007

**SHEET:** 1 OF 1  
**DATE:** 2-15-24  
**FILE NUMBER:** 5408

P.O. Box 3447 Brentwood, Tennessee 37024  
 voice: 615-837-1595 email: mail@edgegroup.co



EDGEGROUP.CO



1110





# Historic Zoning Commission Certificate of Appropriateness

700 NORTH GARDEN STREET, COLUMBIA, TN 38401  
PHONE: (931) 560-1560 FAX: (931) 560-1541

**PROJECT LOCATION:** 11 Public Sq.  
**HISTORIC DISTRICT:** Downtown

	OWNER INFORMATION:	APPLICANT INFORMATION:
NAME	CMW Investments LLC	Muletown Bikes, LLC
ADDRESS	115 Davenport St 1/2 Le Claire, IA 52753	11 public square Columbia, TN 38401
PHONE		(931) 548-8313
EMAIL		VINNYLAM2@GMAIL.COM

NEW CONSTRUCTION:	EXTERIOR ALTERATION:	DEMOLITION:
<input type="checkbox"/> Primary Structure/Addition	<input type="checkbox"/> Facade	<input type="checkbox"/> Primary Structure
<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Garage/Carport
<input type="checkbox"/> New Sign	<input checked="" type="checkbox"/> Revision to Existing Sign	<input type="checkbox"/> Sign
<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____

CONDITIONS OF APPROVAL: Approved as submitted.

- Replacement of existing window signage for new business (left window & right window 4.125-sf, entrance door 6.69-sf) not to exceed as submitted



UNAPPROVED/SPECIFICALLY EXCLUDED WORK:

DATE OF HISTORIC ZONING COMMISSION **ADMINISTRATIVE APPROVAL**/DENIAL: 7/22/2025

*Autumn Potter*

HISTORIC ZONING COMMISSION CHAIR

*Robert Quibald*

ZONING ADMINISTRATOR

Per §13-7-409 of the Tennessee Code Annotated: Anyone who may be aggrieved by any final order or judgment of the Historic Zoning Commission may have such order or judgment reviewed by the courts by the procedure of statutory certiorari, as provided in Tennessee Code Annotated Title 27, Chapter 8.