



The Columbia Historic Zoning Commission will meet on Wednesday, June 17, 2026 at 4:00 PM in Council Chambers on the basement level of City Hall, 700 N. Garden Street, to consider the following:

- I. Roll Call
- II. Approval of Minutes
- III. New Business
 1. Request from Stewart Parker for Exterior Alterations approval at [420 W. 7th Street, being Tax Map 100D Group A Parcel 17](#), *West 7th/Columbia West End Historic District*.
 2. Request from Nicholas Sumner for New Construction and Wall Signage approval at [108 E. 6th Street, being Tax Map 99A Group K Parcel 48](#), *Columbia Downtown Commercial Historic District*.
- IV. Other Business
- V. Adjourn

Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

The 2026 meeting schedule and Historic District Design Guidelines can be found on the City of Columbia Historic Zoning Commission webpage.

An interactive map showing the boundaries of the historic districts can be found accessed from the City's website.

For other questions, please contact the Department of Development Services at 931-560-1560.

CITY OF COLUMBIA, TENNESSEE
HISTORIC ZONING COMMISSION
STAFF REPORT

CONTACT INFORMATION

Robert Archibald, Principal Planner, rarchibald@columbiatn.gov, 931-560-1536

DOCKET/CASE/APPLICATION NUMBER

CA 26-0198

APPLICANT/PROPERTY OWNER

Stewart Parker/Wetswerd Holdings, LLC

HEARING DATE

June 17th, 2026

PROPERTY ADDRESS/LOCATION

420 W 7th Street

PROJECT DESCRIPTION: The Certificate of Appropriateness Request is for exterior alterations, maintenance and repair.

The applicant requests a Certificate of Appropriateness to make exterior alterations and perform maintenance on structure.

Specifically, the applicant is requesting approval to replace stucco cladding with cementitious shake on front facing gable and upper-story dormer, replace and repair all fascia that is rotten or in disrepair with similar pressure-treated exterior wood, repair or replace all existing gutter systems with in-kind/similar systems, reconstruction of the ADA wheelchair ramp in same location with pressure-treated lumber, repair or replace the front door with similar wood door, and apply paint to wood surfaces only, excluding any brick.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	Historic District
CD-4C	COMMERCIAL USE	MIXED/COMMERCIAL, RESIDENTIAL	EXTERIOR ALTERATIONS, MAINTENANCE/REPAIR	7 TH STREET/W END

Review Status and History:

<i>Submission Status:</i>	Fourth request for Certificate of Appropriateness
<i>Previous Approvals:</i>	CoA 2015-5: Fence replacement, approved CoA 23-0503: Replace wooden porch floor with concrete, approved CoA 26-0074: Replace wood windows with wood windows like for like, Admin. approval
<i>2024 Historic Inventory</i> <i>1985 Historic Inventory</i>	<i>William Chaffin House, Bungalow, 1930, contributing</i> <i>Early 1930s, bungalow, one and a half stories, brick with stucco upper section, gable roof, three bays by five, porch with battered posts on brick piers and brick balustrade, gable roof dormer, contributing</i>

Proposed Alterations:

Exterior alterations, maintenance and repair

Historic District Design Guidelines Referenced:

Staff reviewed the request for consistency with the *City of Columbia Historic Design Guidelines* for the exterior alterations, maintenance and repair. Staff comments follow in the next section.

Section 3.6: Choose Repair as the First Option for Deteriorated Features

- a. Deteriorated but serviceable features shall be repaired using accepted preservation treatments such as patching, consolidating, or reinforcing materials.
- b. Repairs shall be completed with in-kind materials or compatible alternatives that match the original composition, design, profile, texture, and finish as closely as possible.

Section 3.7: Maintain Compatibility when Using Replacement Materials

- a. Only materials and features that are deteriorated beyond repair or have lost structural integrity shall be replaced.
- b. Deteriorated portions of otherwise intact features shall be selectively replaced. Total removal or replacement of largely intact features is prohibited.
- c. Replacement materials shall be compatible with the existing architecture and match or approximate the scale, configuration, profile, detail, and finish of the original component. To the extent feasible and practical, using in-kind replacement materials on primary and highly-visible secondary elevations is strongly encouraged.

Section 3.12: Retain and Maintain Historic Wood Siding, Trim, and Architectural Features

- c. Identify and treat the causes of wood deterioration before repairing or replacing features to minimize the potential for repeat damage.

Section 3.13: Repair Deteriorated but Serviceable Wood Features before Considering Replacement

- a. Deteriorated wood surfaces shall be repaired by patching, consolidating, splicing, or other means of reinforcement. Only the deteriorated portions of a feature shall be removed.
- b. Repair materials shall match the original in appearance, profile, dimension, and finish as closely as possible. To the extent feasible, matching the grain of original wood materials is encouraged. Salvaged lumber often provides a viable, sustainable option for repair materials.

Section 4.5: Design Gutter Systems to be Non-Intrusive to the Building's Design

- a. Where historically present, box and integrated gutters shall be preserved. If repairing box gutters is not technically or practically feasible, maintain the gutter and seal it to match the existing roof. Such systems shall be replaced with an in-kind system on elevations visible from the right-of-way. Traditional gutters and downspouts may be used on rear elevations.

- b. Where new gutter systems are installed, half-round gutters and round downspouts are encouraged as a historically compatible design. K-style are acceptable, but PVC gutters are prohibited.

Section 4.8: Retain the Character and Finish of Historic Wall Surfaces

- e. Exterior claddings shall be replaced only when original materials are deteriorated beyond repair. New claddings shall match the original in scale, profile, and finish as closely as possible so as to minimize impacts to the building's character. Materials will be reviewed by the HZC on a case-by-case basis in consideration of the property's historic character and the visual qualities of the original material.

Section 4.15: Retain the Location and Character of Historic Door Openings

- a. The location, size, and shape of historic door openings on the façade and highly-visible secondary elevations shall be retained.
- d. Altering or adding features not historically present to entries to make them appear more elaborate is prohibited.

Section 4.16: Retain and Repair Historic Doors and Entry Features

- a. Protective surface coatings shall be maintained. Historic doors, trim, and features such as transoms, sidelights, and decorative details shall be retained. Deteriorated yet serviceable components shall be repaired rather than replaced.
- d. Clear glass shall be used when repairing or replacing damaged glazing. Frosted, tinted, reflective, opaque, and other decorative glass are prohibited unless they were historically present.

Section 4.17: Maintain Compatibility when Selecting Replacement Doors

- a. Historic doors shall only be replaced when they are deteriorated beyond repair. If deterioration is confined to a specific element, only the damaged component shall be replaced. Total replacement of an entire entry assembly is prohibited when only localized deterioration is present.
- b. New doors shall replicate the size and proportions of the original door as closely as possible. Enlarging or reducing an opening to accommodate a replacement door is prohibited.
- c. When a new door on the façade or prominent secondary elevation is needed, select a door that is consistent in character with the original or sympathetic to the building's age and style, including in its configuration and glazing. Wood doors are the most appropriate option. Unglazed slab doors are prohibited.
- d. Replacing existing non-compatible doors on the primary façade and highly-visible secondary elevations with designs sympathetic to the character of the building is encouraged.

Section 7.12: Minimize the Visual Impact of Health and Safety Features

- a. Features shall be appropriately scaled to the building with which they are associated.
- b. Ramps and other means of access shall be located at a secondary or rear entrance to the extent feasible and practical, particularly when entries must be widened to accommodate access. If

placement at the façade is necessary, minimize the visual impact of the feature and changes to the building fabric.

- c. Locate ramps and other means of access adjacent to the face of the building to the extent feasible and practical to minimize their perceived prominence. Ramps and other means of access that unnecessarily or extensively extend into yards are not appropriate.
- d. Wood or composite ramps that have simple, nonintrusive detailing are most appropriate. Wood ramps shall be stained or painted to better blend into the landscape.
- e. Handrails, balusters, and other elements shall be of metal or wood and simple in character and finish. Finishes that blend with a building's trim are most appropriate. Wire, cable, and piping handrails are not appropriate.
- i. Using landscaping to screen access features from view from the right-of-way is strongly encouraged. (recommendation per guidelines)

Section 7.13: Minimize the Impact of Health and Safety Features on Building Fabric

- a. Health and safety features shall have as little impact on the historic fabric of the building as possible.
- b. Features shall be installed so that they do not require damage to or removal of character-defining features. Ramps or other means of access that require changes to an original or character-defining porch shall be avoided.

Staff Analysis:

The structure located at 420 W 7th St. is a one-and-one-half-story Craftsman-style Bungalow constructed in the early 1930s and exhibits common characteristics of the architectural style, including a large front porch, low-pitched roof, wide eaves, and a front-facing gable with a prominent triple-window dormer. Situated at the corner of Armstrong Street and W 7th Street, the structure is designated as a contributing historic resource and has been utilized commercially for several years, with the applicant intending to continue the commercial use of the property as illustrated in the submitted materials.



The applicant is requesting approval for several exterior alterations, including the repair or replacement of the existing wood entry door with wood, reconstruction of the existing handicap-accessible ramp in the same location due to deterioration, repair or replacement of the gutter system, repair or replacement of deteriorated fascia with in-kind materials, and the overlay of the existing stucco finishes on the dormer and front-facing gable with cementitious shake-pattern siding.

The original finish material of the structure is stucco. While stucco was commonly paired with wood detailing in Tudor-influenced Bungalow variations featuring half-timber elements; that feature is absent on this structure. Decorative wood shingles were also historically used on the gable ends of Craftsman Bungalows, often in patterned applications.



The applicant has proposed cementitious, shake-pattern siding for the dormer and front-facing gable. Cementitious siding has become a common alternative to traditional wood siding due to its durability and reliability and is generally considered an acceptable substitute for wood materials.

Additionally, the applicant proposes painting the existing wood cladding of the structure. Painting is considered routine maintenance and is not subject to review by the Historic Commission or staff. Accordingly, staff's review and comments are limited to the items regulated under the Historic Zoning Guidelines.

Staff Recommendation:

Staff recommends approval of the request subject to the following conditions:

1. If the existing entry door is replaced, the replacement shall remain consistent with the historic character of the structure and sympathetic to the Craftsman architectural style, including its configuration and glazing pattern. Wood doors are the most appropriate option. Unglazed slab doors are prohibited.



2. Reconstruction of the existing handicap-accessible ramp shall comply with the Historic Zoning Guidelines and applicable building code requirements.
3. Wood or composite ramps with simple detailing are most appropriate.
4. Handrails and related elements shall be constructed of wood or metal with a simple design. Wire, cable, and piping handrails are prohibited.
5. Landscaping to screen accessibility features from the public right-of-way is encouraged.
6. The reconstructed ramp shall generally maintain the same footprint and location as the existing ramp.
7. Prior to installation of a new gutter system, the applicant shall submit specifications related to the type, size, and color to the Historic Staff Liaison for compliance review.
8. Half-round gutters and round downspouts are encouraged. K-style gutters are acceptable. PVC gutters are prohibited.
9. Staff supports the proposed repair and/or replacement of deteriorated fascia with in-kind materials and recommends no additional conditions.
10. The proposed re-cladding of the upper-level dormer and front-facing gable shall comply with Section 4.8-e of the Historic Zoning Guidelines. If approved, staff recommends the applicant submit material specifications and product illustrations to the Historic Staff Liaison prior to installation for compliance review.

Motions

Motion [Approve].

Move to find that the proposed restoration/addition conforms to the Historic District Design Guidelines and approve issuance of a Certificate of Appropriateness.

Motion [Deny].

Move to find that the proposed restoration/addition is not compatible with the Historic Guidelines, and deny issuance of a Certificate of Appropriateness [list reasons for denial].

Motion [Approve Subject to Conditions]:

Move to approve issuance of a Certificate of Appropriateness and find that the proposed renovation/addition conforms to the Historic District Design Guidelines subject to the following conditions: [list conditions of approval].

Alternative Motion [Defer for Future Consideration].

Move to find that there is insufficient information to make a decision, defer action on the application, and request that the applicant provide: [list additional information] for review at a future meeting.





Available For Lease
Contact:
[illegible]

CONTACT INFORMATION

Robert Archibald, Principal Planner, rarchibald@columbiatn.gov, 931-560-1536

DOCKET/CASE/APPLICATION NUMBER

CA 26-0211

APPLICANT/PROPERTY OWNER

Nicholas Sumner/Barkat Properties, LLC

HEARING DATE

June 17th, 2026

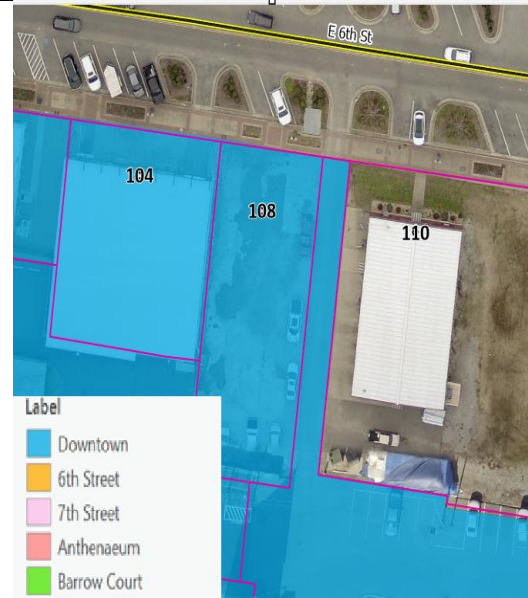
PROPERTY ADDRESS/LOCATION

108 E 6th Street

PROJECT DESCRIPTION: The Certificate of Appropriateness Request is for site development and new construction.

The applicant requests a Certificate of Appropriateness to construct a new commercial structure.

Specifically, the applicant is requesting approval to construct an 11,000-sf 2-story structure on vacant lot, not to exceed 35-ft in height. This request also includes site development and repair/replacement of existing brick retaining wall.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	HISTORIC DISTRICT
CD-5	VACANT	COMMERCIAL	NEW CONSTRUCTION	DOWNTOWN COMMERCIAL

Review Status and History:

<i>Submission Status:</i>	First request for Certificate of Appropriateness
<i>Previous Approvals:</i>	N/A
<i>2024 Historic Inventory</i>	<i>A.J. Foster Dodge Dealership, vacant lot, circa 1917, razed prior to 1997</i>
<i>1985 Historic Inventory</i>	N/A

Proposed Alterations:

Site Development and New Construction

Historic District Design Guidelines Referenced:

Staff reviewed the request for consistency with the *City of Columbia Historic Design Guidelines* for the proposed site development and new construction. Staff comments follow in the next section.

PLANNING NEW CONSTRUCTION

The guidelines for new construction are not intended to define a specific style or set of features required for new buildings within historic districts. Rather, the guidelines are intended to promote an understanding of the general characteristics that are important to consider in designing a new building that is broadly compatible with established precedents. The goal is to promote construction of high-quality buildings that enhance the architectural character of the area. The following may be considered by the HZC when reviewing new construction:

- Does the building appropriately maintain the street wall?
- Do the building and storefront configuration fall within the established rhythm along the street?
- Is the building horizontal or vertical emphasis compatible with existing buildings?
- Is the entrance sufficiently articulated and oriented to the street?
- Does the building's proportions fall within the established range in the district? If a large building, is the façade appropriately broken into various smaller bays to maintain compatibility with historical precedents in the district?
- Does the façade incorporate contemporary interpretations of features like cornices, parapets, and storefronts to promote visual interest?
- Is the ratio of solid wall to openings consistent with that of surrounding buildings?
- Is the complexity of the building appropriate within its context?
- Is the roof shape and pitch consistent with those existing in the district?
- Are features of an appropriate scale and comprised of traditional materials or modern counterparts with proven durability?

The proposed project is subject to the Downtown Commercial Historic District Design Guidelines related to new construction, building form and massing, architectural character, storefront design, fenestration, materials, and the placement of modern features. Collectively, these guidelines encourage new construction that is compatible with the historic development patterns and architectural character of the district while remaining distinguishable from historic buildings.

Key considerations include maintaining the established street wall and building orientation; designing structures that are compatible in scale, massing, rhythm, and directional expression with surrounding historic buildings; incorporating traditional storefront and fenestration patterns; utilizing historically appropriate materials, particularly brick as the primary exterior cladding material; and employing architectural features that draw inspiration from historic commercial precedents without replicating a specific historic structure.

The guidelines further encourage pedestrian-oriented design through the incorporation of human-scale storefront elements and the placement of decks, stairs, mechanical equipment, utilities, and service areas in locations that minimize their visibility from the public right-of-way. Lighting, accessibility improvements, and other modern features should be integrated in a manner that preserves the character of the building and the district.

Staff Analysis:

The applicant proposes to construct a new 11,000-square-foot commercial building, not exceeding 35 feet in height, and to repair or replace an existing retaining wall along the west side of the vacant lot at 108 E. 6th Street. The site was previously occupied by a building that housed Boswell's Discount and historically served as the A.J. Foster Dodge Dealership, constructed circa 1917 according to the 2024 Historic Resources Survey. The structure was demolished prior to 1997, and the property has remained vacant since that time.



The existing retaining wall on the site is in a deteriorated condition and presents safety concerns. Due to its age and lack of maintenance, the mortar joints have deteriorated and no longer provide adequate structural bonding. Additionally, the concrete pillars have become unstable, and the southernmost portion of the wall has separated from the supporting structure, compromising its overall integrity.



Existing condition

Although the existing retaining wall contributes to the historic character of the site, its structural integrity is compromised and should be carefully considered in evaluating the applicant’s proposal to repair or replace the wall. The applicant has submitted the following conceptual designs illustrating the proposed treatment of the retaining wall.



Design 1



Design 2

The conceptual building design submitted by the applicant depicts a masonry structure clad entirely in brick. The primary façade exhibits a strong sense of rhythm and verticality, reinforced by regularly spaced openings and articulated brick detailing. A defining feature of the design is the series of large arched window openings with Romanesque-inspired brick headers. The front façade is further emphasized by a prominent triangular pediment derived from classical Grecian architecture.

The rear elevation includes a metal deck with traditional spindle-style railing, an exterior stairwell providing access to the upper level, and a loading dock area located beneath the stair structure. Overall, the proposed design draws inspiration from late 19th- and early 20th-century commercial and loft-style buildings commonly found in historic urban districts.





Staff Recommendation:

Staff recommends approval of the proposed conceptual building design and the repair or reconstruction of the existing retaining wall, subject to the condition outlined below. The proposed building incorporates traditional architectural elements, materials, and proportions that are compatible with the character of the Downtown Commercial Historic District and are reflective of late 19th- and early 20th-century commercial architecture. Additionally, the deteriorated condition of the existing retaining wall presents legitimate structural and safety concerns that warrant repair or replacement. As proposed, the project will facilitate redevelopment of a long-vacant property while maintaining compatibility with the historic character of the district.

Condition of Approval

1. Final construction drawings, architectural details, and material specifications shall be submitted to staff for administrative review and approval to ensure substantial conformance with the approved conceptual design. Any material deviation from the approved concept shall require review by the Historic Zoning Commission.
2. Approval of the retaining wall shall be limited to the conceptual Design 1 alternative. As the retaining wall represents the only remaining historic feature associated with the site, any repair or reconstruction shall be undertaken in a manner that retains and reflects its historic character to the greatest extent practicable.

Motions

Motion [Approve].

Move to find that the proposed restoration/addition conforms to the Historic District Design Guidelines and approve issuance of a Certificate of Appropriateness.

Motion [Deny].

Move to find that the proposed restoration/addition is not compatible with the Historic Guidelines, and deny issuance of a Certificate of Appropriateness [list reasons for denial].

Motion [Approve Subject to Conditions]:

Move to approve issuance of a Certificate of Appropriateness and find that the proposed renovation/addition conforms to the Historic District Design Guidelines subject to the following conditions: [list conditions of approval].

Alternative Motion [Defer for Future Consideration].

Move to find that there is insufficient information to make a decision, defer action on the application, and request that the applicant provide: [list additional information] for review at a future meeting.



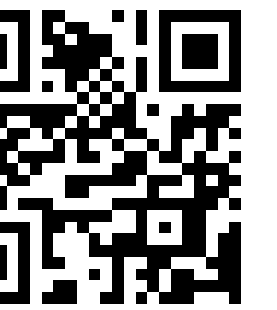
100 Feet



50 Feet







Structural Engineer
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 http://nashengineers.com

PROJECT:
**NICHOLAS
 SUMNER
 RETAINING
 WALL**

108 EAST 6TH STREET
 COLUMBIA, TN 38401

DATE: 2-24-2026
 PROJECT NO: 255107

REVISION DATE

NOTES:



2-24-2026
**GENERAL
 NOTES**

SCALE: As indicated

S001

GENERAL NOTES

- NO PROVISION OF ANY REFERENCED STANDARD SPECIFICATION, MANUAL OR CODE (WHETHER OR NOT SPECIFICALLY INCORPORATED BY REFERENCE IN THE CONTRACT DOCUMENTS) SHALL BE EFFECTIVE TO CHANGE THE DUTIES AND RESPONSIBILITIES OF OWNER, CONTRACTOR, ENGINEER, SUPPLIER, OR ANY OF THEIR CONSULTANTS, AGENTS, OR EMPLOYEES FROM THOSE SET FORTH IN THE CONTRACT DOCUMENTS, NOR SHALL IT BE EFFECTIVE TO ASSIGN TO THE STRUCTURAL ENGINEER OF RECORD OR ANY OF THE STRUCTURAL ENGINEER OF RECORD'S CONSULTANTS, AGENTS, OR EMPLOYEES ANY DUTY OR AUTHORITY TO SUPERVISE OR DIRECT THE FURNISHING OR PERFORMANCE OF THE WORK OR ANY DUTY OR AUTHORITY TO UNDERTAKE RESPONSIBILITIES CONTRARY TO THE PROVISIONS OF THE CONTRACT DOCUMENTS.
- CONTRACT DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURAL DOCUMENTS (DRAWINGS AND SPECIFICATIONS), BUT DO NOT INCLUDE SHOP DRAWINGS, VENDOR DRAWINGS, OR MATERIAL PREPARED AND SUBMITTED BY THE CONTRACTOR.
- REFERENCE TO STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE LATEST STANDARD, CODE, SPECIFICATION OR TENTATIVE SPECIFICATION ADOPTED AT THE DATE OF TAKING BIDS, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE MORE STRINGENT CONDITION WILL GOVERN IN THE EVENT OF A CONFLICT BETWEEN CONTRACT DOCUMENTS AND THE CODE OF PRACTICE OR SPECIFICATIONS OF A.C.I., P.C.I., A.I.S.C., S.I.I., S.D.I., OR OTHER STANDARDS. WHERE A CONFLICT OCCURS WITHIN THE CONTRACT DOCUMENTS, THE STRICTEST REQUIREMENT SHALL GOVERN.
- MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODE.
- CONTRACTOR SHALL COORDINATE THE STRUCTURAL DOCUMENTS WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND CIVIL DOCUMENTS. THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY OR OMISSION. FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS, SEE THE ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL OBTAIN AND COORDINATE EDGE OF SLAB DIMENSIONS, OPENING LOCATIONS AND DIMENSIONS, DEPRESSED SLAB LOCATIONS AND EXTENTS, SLAB SLOPES, CURB LOCATIONS, AND CMU WALL LOCATIONS. THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY OR OMISSION.
- CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY.
- CONTRACTOR SHALL VERIFY THE STRUCTURALLY SUPPORTED MECHANICAL EQUIPMENT WEIGHTS, OPENINGS AND LOCATIONS IDENTIFIED ON THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- CONTRACTOR SHALL VERIFY THAT MISCELLANEOUS FRAMING SHOWN ON THE STRUCTURAL DRAWINGS FOR MECHANICAL EQUIPMENT, OWNER-FURNISHED ITEMS, PARTITIONS, ETC. IS CONSISTENT WITH THE REQUIREMENTS OF SUCH ITEMS.
- CONTRACTOR HAS SOLE RESPONSIBILITY FOR MEANS, METHODS, SAFETY, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION. THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE DESIGNED, FURNISHED, AND INSTALLED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTABILITY ANALYSIS AND ERECTION PROCEDURES, INCLUDING DESIGN AND ERECTION OF FALSEWORK, TEMPORARY BRACING, ETC.
- CONTRACTOR HAS SOLE RESPONSIBILITY TO COMPLY WITH ALL OSHA REGULATIONS.
- REPRODUCTION OF STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITTED. ELECTRONIC DRAWING FILES WILL NOT BE PROVIDED TO THE CONTRACTOR.
- SUBMIT SHOP DRAWINGS WHICH ADEQUATELY DEPICT THE STRUCTURAL ELEMENTS AND CONNECTIONS SHOWN IN THE CONTRACT DOCUMENTS. REVIEW OF SHOP DRAWINGS SHALL BE FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS REGARDING ARRANGEMENT AND SIZES OF MEMBERS AND THE CONTRACTOR'S INTERPRETATION OF THE DESIGN LOADS AND CONTRACT DOCUMENT DETAILS. REVIEW OF SUBMITTALS OR SHOP DRAWINGS BY THE ARCHITECT/ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW AND CHECK ALL SUBMITTALS AND SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER. REVIEW OF SUBMITTALS OR SHOP DRAWINGS BY THE ARCHITECT/ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS.
- WHERE A SECTION OR DETAIL IS SHOWN OR DETAILED FOR ONE CONDITION, IT SHALL APPLY TO ALL SIMILAR AND LIKE CONDITIONS. DETAILS LABELED "TYPICAL" ON THE STRUCTURAL DRAWINGS APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR. THE CONTRACTOR SHALL CONSIDER ALL OF THE CONTRACT DOCUMENTS IN DETERMINING SIMILAR AND LIKE CONDITIONS.
- THE STRUCTURAL ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, CURTAIN WALL/WINDOW WALL SYSTEMS, COLD-FORMED METAL FRAMING, OR OTHER SYSTEMS NOT SHOWN IN THE STRUCTURAL DOCUMENTS. SUCH SYSTEMS SHALL BE DESIGNED, FURNISHED, AND INSTALLED BY OTHERS AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
- NO STRUCTURAL MEMBER OR COMPONENT SHALL BE CUT, NOTCHED OR OTHERWISE ALTERED UNLESS APPROVED IN WRITING BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS INCURRED BY THE ENGINEER OF RECORD FOR REVIEW OF ANY SUCH DEVIATIONS.
- DO NOT SCALE DRAWINGS.
- FINISH FLOOR SLAB ELEVATION (FIRST FLOOR) OF 0'-0" IS USED AS A REFERENCE ELEVATION. SEE CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR SLAB ELEVATION.

DESIGN LOADS

- THIS STRUCTURE IS DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF:
 - INTERNATIONAL BUILDING CODE IBC 2018
 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES ASCE 7-16
 - AMERICAN CONCRETE INSTITUTE ACI 318
- WIND LOADS
 - ULTIMATE DESIGN WIND SPEED (Vult) 107 MPH
 - RISK CATEGORY II
 - EXPOSURE CATEGORY B
 - INTERNAL PRESSURE COEFFICIENT (Gcpi) ±0.18
- EARTHQUAKE LOADS
 - MAPPED SPECTRAL RESPONSE ACCELERATION AT SHORT PERIOD (S_s) 0.2982
 - MAPPED SPECTRAL RESPONSE ACCELERATION AT 1 SEC PERIOD (S₁) 0.1442
 - DESIGN SPECTRAL RESPONSE ACCELERATION AT SHORT PERIOD (S_{ds}) 0.3100
 - DESIGN SPECTRAL RESPONSE ACCELERATION AT 1 SEC PERIOD (S_{d1}) 0.2220
 - SOIL SITE CLASS D
 - IMPORTANCE FACTOR (I_e) 1.0
 - SEISMIC DESIGN CATEGORY D

SHOP DRAWING REVIEW

- SHOP DRAWINGS SHALL ADEQUATELY DEPICT THE STRUCTURAL ELEMENTS AND CONNECTIONS SHOWN ON THE CONTRACT DOCUMENTS. SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY COMPLIANCE WITH THE CONTRACT DOCUMENTS AS TO QUANTITY, LENGTH, ELEVATIONS, DIMENSIONS, ETC. REVIEW OF SUBMITTALS AND SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF FULL RESPONSIBILITY FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF THE SHOP DRAWINGS.
- SHOP DRAWINGS SHALL BE REVIEWED BY THE CONTRACTOR AND MARKED APPROVED PRIOR TO SUBMITTAL TO THE ARCHITECT/ENGINEER. NON-CONFORMING DRAWING SUBMITTALS WILL BE RETURNED WITHOUT REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY COPYING AND DISTRIBUTION TO REQUIRED SUB-CONTRACTORS AND SUPPLIERS. SHOP DRAWING SUBMITTALS MAY BE MADE ELECTRONICALLY VIA PDF. REVIEW AND COMMENT WILL BE MADE VIA PDF.
- THE CONTRACT DOCUMENTS WILL GOVERN OVER THE SHOP DRAWINGS UNLESS OTHERWISE SPECIFIED IN WRITING BY THE ENGINEER OF RECORD.
- CHANGES AND ADDITIONS MADE ON RE-SUBMITTALS SHALL BE CLEARLY FLAGGED AND NOTED. THE PURPOSE OF RE-SUBMITTALS SHALL BE CLEARLY NOTED ON THE LETTER OF TRANSMITTAL. THE ARCHITECT/ENGINEER OF RECORD REVIEW WILL BE LIMITED TO THOSE ITEMS CAUSING THE RE-SUBMITTAL. CONTRACTOR IS RESPONSIBLE FOR COSTS INCURRED BY MULTIPLE RE-SUBMITTALS AT ARCHITECT/ENGINEER'S CURRENT HOURLY RATE.

FOUNDATIONS

- THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR SUBSURFACE CONDITIONS ENCOUNTERED IN THE FIELD WHICH VARIES FROM THOSE CONDITIONS ASSUMED FOR DESIGN BASED ON THE GEOTECHNICAL REPORT.
 - SPREAD FOOTINGS ALLOWABLE BEARING CAPACITY 2,000 PSF
 - STRIP FOOTINGS ALLOWABLE BEARING CAPACITY 2,000 PSF

ABBREVIATIONS

ARCH.	ARCHITECTURAL	NO.	NUMBER
BM.	BEAM	O.C.	ON CENTER
BLDG.	BUILDING	OPG.	OPENING
BRG.	BEARING	REF.	REFERENCE
CONC.	CONCRETE	SIM.	SIMILAR
C.J.	CONTROL JOINT	S/STL.	STAINLESS STEEL
COL.	COLUMN	STRUCT.	STRUCTURAL
DET.	DETAIL	SPEC.	SPECIFICATIONS
DIA.	DIAMETER	T.O.(-)	TOP OF (-)
DN.	DOWN	T.O. CONC.	TOP OF CONCRETE
EL./ELEV.	ELEVATION	T.O. FTG.	TOP OF FOOTING
ELEC.	ELECTRICAL	T.O.F.	TOP OF FRAMING
EQ.	EQUAL	T.O.STL.	TOP OF STEEL
ENGR.	ENGINEER	T.O.W.	TOP OF WALL
FIN.	FINISH	TYP.	TYPICAL
FLR.	FLOOR	@	AT
FTG.	FOOTING	+	AND
GALV.	GALVANIZED	A.F.F.	ABOVE FINISHED FLOOR
GEOTECH.	GEOTECHNICAL	U.N.O.	UNLESS OTHERWISE NOTED
JT.	JOINT	V.I.F.	VERIFY IN FIELD
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
MFR.	MANUFACTURER		
MECH.	MECHANICAL		
MIN.	MINIMUM		
N.T.S.	NOT TO SCALE		

ANNOTATION LEGEND

	Wall Type (see wall type schedule)		Elevation Mark (T.O. Member U.N.O.)
	Column Type (see column schedule)		Column Line
	Wall Footing Type (see wall footing schedule)		Centerline
	Column Footing Type (see column footing schedule)		Revision Tag
	Pedestal Type (see pedestal schedule)		Building Section
	Building Section		Building Elevation
	Wall Section		Bracing Elevation
	Detail Number		

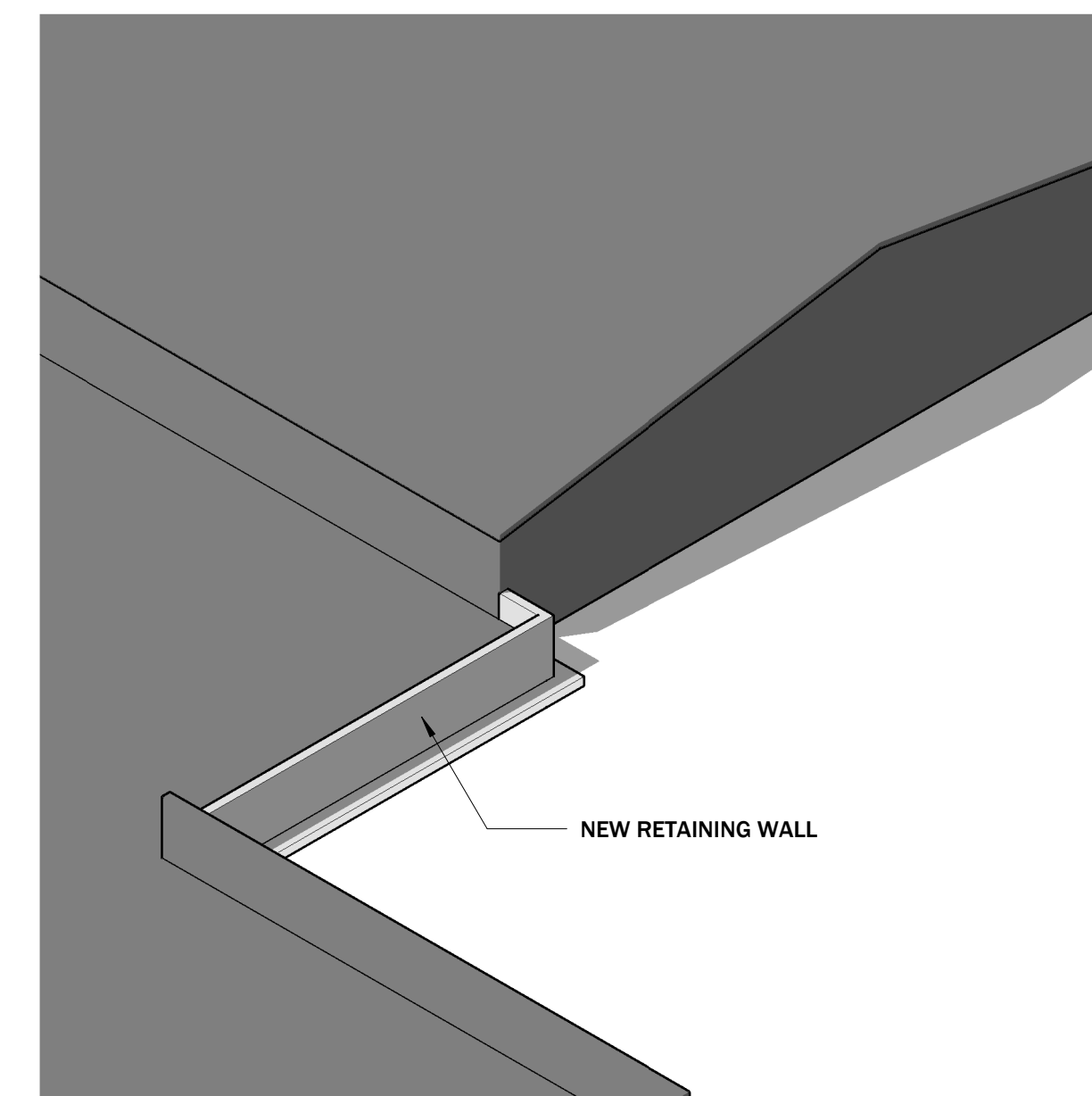
MATERIAL LEGEND

Demolition	Wood	Concrete	CMU	Gravel	Earth	Concrete by Others	Grout	Mortar

SHEET LIST

- S001 GENERAL NOTES
- S002 QUALITY ASSURANCE
- S003 REBAR & CONCRETE DETAILING
- S301 RETAINING WALL PLAN AND ELEVATIONS

STRUCTURE



QUALITY ASSURANCE

NOTES

- DEFINITIONS:**
- A. SPECIAL INSPECTOR:**
- A QUALIFIED PERSON EMPLOYED OR RETAINED BY AN APPROVED AGENCY AND APPROVED BY THE BUILDING OFFICIAL AS HAVING THE COMPETENCE NECESSARY TO INSPECT A PARTICULAR TYPE OF CONSTRUCTION REQUIRING SPECIAL INSPECTION.
- B. SPECIAL INSPECTION:**
- INSPECTION OF CONSTRUCTION REQUIRING THE EXPERTISE OF AN APPROVED SPECIAL INSPECTOR IN ORDER TO ENSURE COMPLIANCE WITH THE CODE AND APPROVED CONSTRUCTION DOCUMENTS.
- C. APPROVED AGENCY:**
- DETERMINED BY THE BUILDING OFFICIAL, AGENCY NEEDS TO SUBMIT INFO TO SATISFY BUILDING OFFICIAL.
 - INDEPENDENCE: AGENCY MUST BE OBJECTIVE, COMPETENT AND INDEPENDENT FROM CONTRACTOR AND MUST DISCLOSE ANY POSSIBLE CONFLICTS OF INTEREST.
- D. INSPECT CONTINUOUSLY:**
- SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS PRESENT WHEN AND WHERE THE WORK TO BE INSPECTED IS BEING PERFORMED.
- E. INSPECT PERIODICALLY:**
- SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS INTERMITTENTLY PRESENT WHERE THE WORK TO BE INSPECTED HAS BEEN OR IS BEING PERFORMED.

- SPECIAL INSPECTOR:**
- REVIEW APPROVED PLANS AND SPECIFICATIONS FOR SPECIAL INSPECTION REQUIREMENTS: SPECIAL INSPECTORS WILL COMPLY WITH THE SPECIAL INSPECTION REQUIREMENTS OF THE ENFORCING JURISDICTION.
 - SIGNIFY PRESENCE AT JOBSITE: SPECIAL INSPECTORS SHALL NOTIFY CONTRACTOR PERSONNEL OF THEIR PRESENCE AND RESPONSIBILITIES AT THE JOBSITE. IF REQUIRED BY THE BUILDING OFFICIAL, THEY SHALL SIGN IN ON THE APPROPRIATE FORM POSTED WITH THE BUILDING PERMIT.
 - OBSERVE ASSIGNED WORK: SPECIAL INSPECTORS SHALL INSPECT ALL WORK FOR WHICH THEY ARE RESPONSIBLE FOR CONFORMANCE WITH THE BUILDING DEPARTMENT APPROVED (STAMPED) PLANS AND SPECIFICATIONS AND APPLICABLE PROVISIONS OF THE IBC CODE CHAPTER 17.
 - REPORT NONCONFORMING ITEMS: SPECIAL INSPECTORS SHALL BRING ALL NONCONFORMING ITEMS TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR. IF ANY SUCH ITEM IS NOT RESOLVED IN A TIMELY MANNER OR IS ABOUT TO BE INCORPORATED INTO THE WORK, THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND THE BUILDING OFFICIAL SHOULD BE NOTIFIED IMMEDIATELY AND THE ITEM NOTED IN THE SPECIAL INSPECTOR'S WRITTEN REPORT (SEE IBC CHAPTER 17).
 - THE SPECIAL INSPECTOR SHALL WRITE A SEPARATE REPORT TO BE POSTED AT THE JOBSITE REGARDING NOTED DISCREPANCIES, WHICH SHOULD CONTAIN, AS A MINIMUM, THE FOLLOWING INFORMATION ABOUT EACH NONCONFORMING ITEM:
 - DESCRIPTION AND EXACT LOCATION.
 - REFERENCE TO APPLICABLE DETAIL OF APPROVED PLANS/SPECIFICATIONS.
 - NAME AND TITLE OF EACH INDIVIDUAL NOTIFIED AND METHOD OF NOTIFICATION.
 - RESOLUTION OR CORRECTIVE ACTION TAKEN.
 - PROVIDE TIMELY REPORTS: THE SPECIAL INSPECTOR SHALL COMPLETE WRITTEN INSPECTION REPORTS FOR EACH INSPECTION VISIT AND PROVIDE THE REPORTS ON A TIMELY BASIS AS DETERMINED BY THE BUILDING OFFICIAL, REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND OTHERS. THESE REPORTS SHOULD BE ORGANIZED ON A DAILY FORMAT AND MAY BE SUBMITTED WEEKLY AT THE OPTION OF THE BUILDING OFFICIAL. IN THESE REPORTS, SPECIAL INSPECTORS SHOULD:
 - DESCRIBE INSPECTIONS AND TESTS MADE WITH APPLICABLE LOCATIONS
 - INDICATE HOW NONCONFORMING ITEMS WERE RESOLVED.
 - LIST UNRESOLVED ITEMS, PARTIES NOTIFIED, AND TIME AND METHOD OF NOTIFICATION.
 - ITEMIZE CHANGES AUTHORIZED BY REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IF NOT INCLUDED IN NONCONFORMING ITEMS.
 - SUBMIT FINAL REPORT: SPECIAL INSPECTORS OR INSPECTION AGENCIES SHALL SUBMIT A FINAL SIGNED REPORT TO THE BUILDING DEPARTMENT STATING THAT ALL ITEMS REQUIRING SPECIAL INSPECTION AND TESTING WERE FULFILLED AND REPORTED AND, TO THE BEST OF THEIR KNOWLEDGE IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND THE APPLICABLE PROVISIONS OF THE IBC. ITEMS NOT IN CONFORMANCE, UNRESOLVED ITEMS OR ANY DISCREPANCIES IN INSPECTION COVERAGE SHOULD BE SPECIFICALLY ITEMIZED IN THIS REPORT.

- CONTRACTOR:**
- NOTIFY THE SPECIAL INSPECTOR.
 - PROVIDE ACCESS TO APPROVED PLANS.
 - RETAIN SPECIAL INSPECTION RECORDS.
 - WHEN RESPONSIBLE FOR CONSTRUCTION OF MAIN WIND FORCE RESISTING SYSTEM OR SEISMIC LATERAL FORCE RESISTING SYSTEM:
 - MUST WRITE A LETTER TO BUILDING OFFICIAL & OWNER PRIOR TO COMMENCEMENT OF WORK STATING THAT THEY ARE AWARE OF SPECIAL INSPECTION REQUIREMENTS.

- BUILDING OFFICIAL:**
- REVIEW SUBMITTAL DOCUMENTS FOR COMPLIANCE WITH SPECIAL INSPECTION REQUIREMENTS.
 - APPROVE SPECIAL INSPECTION PROGRAM.
 - APPROVE SPECIAL INSPECTORS/INSPECTION AGENCIES.
 - MONITOR SPECIAL INSPECTION ACTIVITIES.
 - REVIEW INSPECTION REPORTS.

INSPECTION FOR SOIL

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
	X	1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.
	X	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.
	X	3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.
X		4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.
	X	5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.

INSPECTION FOR MASONRY CONSTRUCTION

NOT USED

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
-	-	1. MASONRY CONSTRUCTION SHALL BE INSPECTED AND VERIFIED IN ACCORDANCE WITH TMS 402/ACI 530/ASCE 5 AND TMS 602/ACI 530.1/ASCE 6.

INSPECTION FOR STRUCTURAL WOOD CONSTRUCTION

NOT USED

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
X		1. FIELD GLUING OPERATIONS OF ELEMENTS OF THE MAIN WIND FORCE RESISTING SYSTEM.
	X	2. NAILING, BOLTING, ANCHORING, AND OTHER FASTENING COMPONENTS WITHIN THE MAIN WIND FORCE RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLD-DOWNS, EXCEPT WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER.

INSPECTION FOR WOOD CONSTRUCTION

NOT USED

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
-	-	1. UNLESS WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION, SPECIAL INSPECTIONS OF THE FABRICATION PROCESS OF PREFABRICATED WOOD STRUCTURAL ELEMENTS AND ASSEMBLIES SHALL BE VERIFIED BY THE SPECIAL INSPECTOR THAT THE FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION CONTROL OF THE WORKMANSHIP AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE FABRICATOR'S SCOPE OF WORK.

INSPECTION FOR STEEL CONSTRUCTION

NOT USED

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
-	-	1. SPECIAL INSPECTION FOR STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE QUALITY ASSURANCE INSPECTION REQUIREMENTS OF AISI 360.

INSPECTION FOR CONCRETE CONSTRUCTION

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
	X	1. MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK: <ol style="list-style-type: none"> IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS. MANUFACTURER'S CERTIFIED TEST REPORTS
	X	2. INSPECTION OF WELDING: <ol style="list-style-type: none"> COLD-FORMED STEEL DECK: FLOOR AND ROOF DECK WELDS: REINFORCING STEEL: VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A 706.
X		3. REINFORCING STEEL RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND SPECIAL MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL STRUCTURAL WALLS OF CONCRETE AND SHEAR REINFORCEMENT.
X		4. SHEAR REINFORCEMENT.
	X	5. OTHER REINFORCING STEEL.

INSPECTION FOR CONCRETE CONSTRUCTION

INSPECT CONTINUOUSLY	INSPECT PERIODICALLY	TASK
	X	1. INSPECTION OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS, AND PLACEMENT.
	X	2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH IBC TABLE 1705.2.2, ITEM 2b.
	X	3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED.
	X	4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.
	X	5. VERIFYING USE OF REQUIRED DESIGN MIX.
	X	6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.
	X	7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.
	X	8. INSPECTION OF MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.
	X	9. INSPECTION OF PRESTRESSED CONCRETE: <ol style="list-style-type: none"> APPLICATION PRESTRESSING FORCES. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC FORCE-RESISTING SYSTEM.
	X	10. ERECTION OF PRECAST CONCRETE MEMBERS.
	X	11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.
	X	12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED. <ol style="list-style-type: none"> EXCEPTIONS: SPECIAL INSPECTIONS SHALL NOT BE REQUIRED FOR: ISOLATED SPREAD CONCRETE FOOTINGS OF BUILDINGS THREE STORIES OR LESS ABOVE GRADE PLANE THAT ARE FULLY SUPPORTED ON EARTH OR ROCK. CONTINUOUS CONCRETE FOOTINGS SUPPORTING WALLS OF BUILDINGS THREE STORIES OR LESS ABOVE GRADE PLANE THAT ARE FULLY SUPPORTED ON EARTH OR ROCK WHERE: <ol style="list-style-type: none"> THE FOOTINGS SUPPORT WALLS OF LIGHT-FRAME CONSTRUCTION THE FOOTINGS ARE DESIGNED IN ACCORDANCE WITH TABLE 1809.7; OR THE STRUCTURAL DESIGN OF THE FOOTING IS BASED ON A SPECIFIED COMPRESSIVE STRENGTH, f_c, NO GREATER THAN 2,500 PSI, REGARDLESS OF THE COMPRESSIVE STRENGTH SPECIFIED IN THE CONSTRUCTION DOCUMENTS OR USED IN THE FOOTING CONSTRUCTION. NONSTRUCTURAL CONCRETE SLABS SUPPORTED DIRECTLY ON THE GROUND, INCLUDING PRESTRESSED SLABS ON GRADE, WHERE THE EFFECTIVE PRESTRESSED IN THE CONCRETE IS LESS THAN 150 PSI. CONCRETE FOUNDATION WALLS CONSTRUCTED IN ACCORDANCE WITH TABLE 1807.1.6.2. CONCRETE PATIOS, DRIVEWAYS AND SIDEWALKS, ON GRADE.

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PROJECT:
NICHOLAS SUMNER RETAINING WALL

108 EAST 6TH STREET
 COLUMBIA, TN 38401

DATE: 2-24-2026
 PROJECT NO: 25S107

REVISION DATE

NOTES:



2-24-2026

QUALITY ASSURANCE

SCALE: 1/4" = 1'-0"

S002

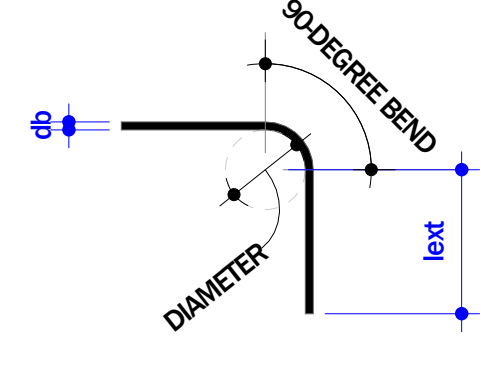
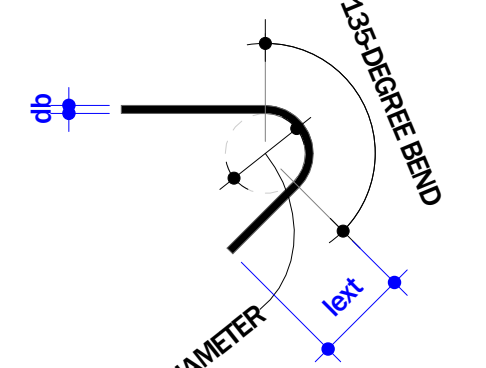
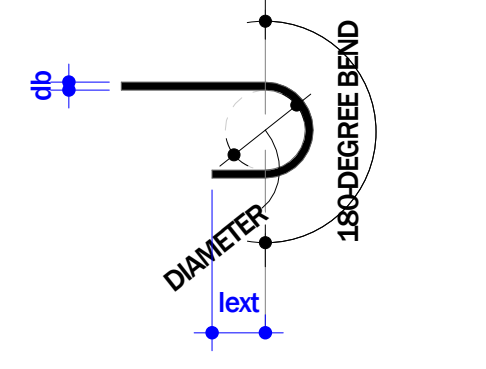
REBAR & CONCRETE DETAILING

CONCRETE CLASSIFICATION

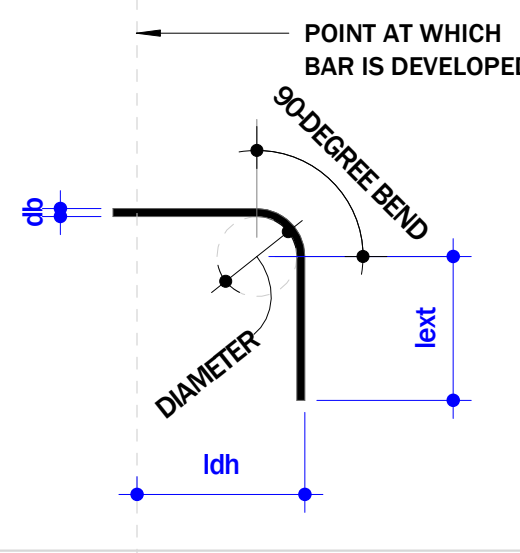
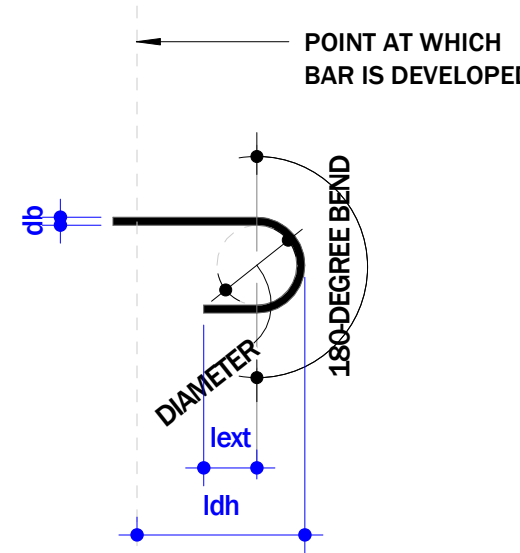
MINIMUM INSIDE BEND DIAMETERS AND HOOK GEOMETRY

SPECIFIED CONCRETE COVER FOR CAST-IN-PLACE NONPRESTRESSED CONCRETE MEMBERS

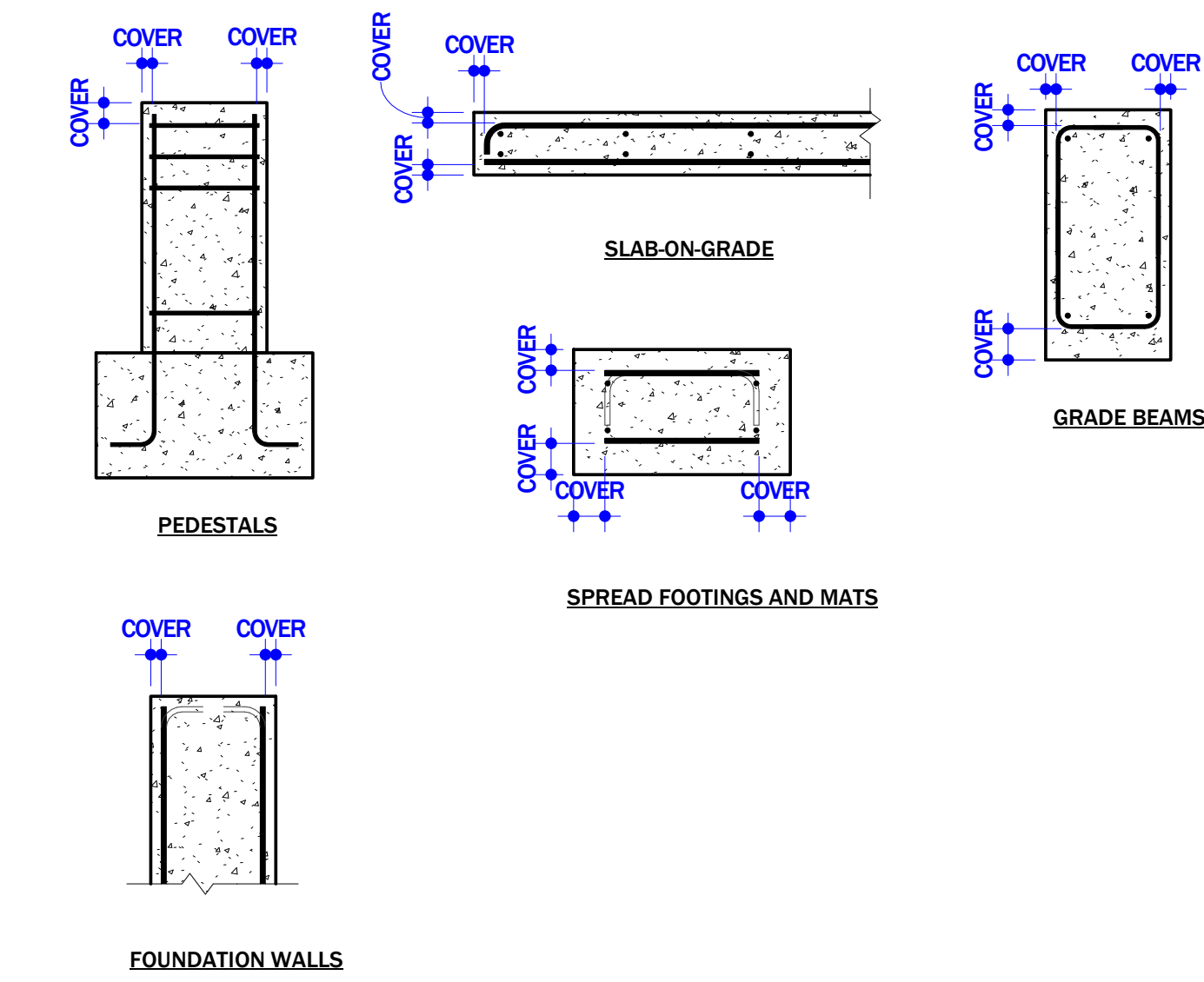
CONCRETE USAGE	MINIMUM CONCRETE COMPRESSIVE STRENGTH (f _c , PSI)		CONCRETE TYPE	MAXIMUM W/C RATIO
	28 DAYS	56 DAYS		
DEEP FOUNDATIONS				
CONCRETE FILLED STEEL SHELL PILES				
SHALLOW FOUNDATIONS				
GRADE BEAMS				
PILE CAPS				
PILASTERS				
SPREAD FOOTINGS	4,000		NW	0.45
FOUNDATION WALLS				
BASEMENT WALLS				
RETAINING WALLS	4,000		NW	0.45
ALL OTHER FOUNDATION WALLS	4,000		NW	0.45
SLABS-ON-GRADE				
LOADING DOCK AND ICE SHEET				
INTERIOR				
EXTERIOR				
FLOOR/ROOF FRAMING				
PRECAST SEATING UNITS				
EXTERIOR PRECAST SOLID SLABS				
INTERIOR STEEL DECK SLABS				
EXTERIOR STEEL DECK SLABS				
INTERIOR TOPPING SLABS				
EXTERIOR TOPPING SLABS				
WALLS				
INTERIOR PRECAST WALLS				
EXTERIOR PRECAST WALLS				

STIRRUPS, TIES, AND HOOPS	BAR SIZE	MINIMUM INSIDE BEND DIAMETER, in.	STRAIGHT EXTENSION, l _{ext} , in.	TYPE OF STANDARD HOOKS
90-DEGREE HOOK	#3-#5	4db	GREATER OF 6db AND 3 in.	
	#6-#8	6db	12db	
135-DEGREE HOOK	#3-#5	4db	GREATER OF 6db AND 3 in.	
	#6-#8	6db		
180-DEGREE HOOK	#3-#5	4db	GREATER OF 4db AND 2.5 in.	
	#6-#8	6db		

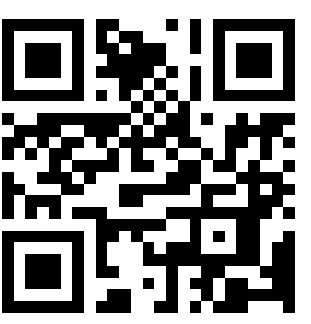
DEVELOPMENT LENGTH OF DEFORMED BARS IN TENSION, l_{dh}

TYPE OF STANDARD HOOKS	BAR SIZE	MINIMUM INSIDE BEND DIAMETER, in.	DEVELOPMENT LENGTH, l _{dh} , in.	STRAIGHT EXTENSION, l _{ext} , in.	TYPE OF STANDARD HOOKS
90-DEGREE HOOK	#3-#8	6db	GREATER OF 19db, 8db OR 6 in.	12db	
	#9-#11	8db			
	#14-#18	10db			
180-DEGREE HOOK	#3-#8	6db	GREATER OF 19db, 8db OR 6 in.	GREATER OF 4db AND 2.5 in.	
	#9-#11	8db			
	#14-#18	10db			

CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	COVER, in.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 - #18	2
		#5, W31 OR D31 WIRE, AND SMALLER	1-1/2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	#14 AND #18	1-1/2
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	#11 AND SMALLER	3/4
		PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2



ALL CONCRETE PROFILES AND REINFORCING STEEL SHOWN IS FOR THE TYPICAL CONCRETE COVERS ONLY. REFER TO DETAILS FOR ADDITIONAL INFORMATION. ALL COVERS SHOWN ARE CLEAR FROM THE OUTERMOST SURFACE OF THE TRANSVERSE AND LONGITUDINAL REINFORCING STEEL TO THE CLOSEST OUTER SURFACE OF THE CONCRETE, INCLUDING REVEALS, DRIP GROOVES, OR RUSTICATIONS.



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PROJECT:
NICHOLAS SUMNER RETAINING WALL

108 EAST 6TH STREET
 COLUMBIA, TN 38401

DATE: 2-24-2026
 PROJECT NO: 25S107

REVISION DATE

NOTES:

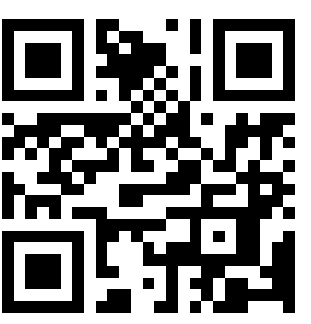


2-24-2026

REBAR & CONCRETE DETAILING

SCALE: As indicated

S003



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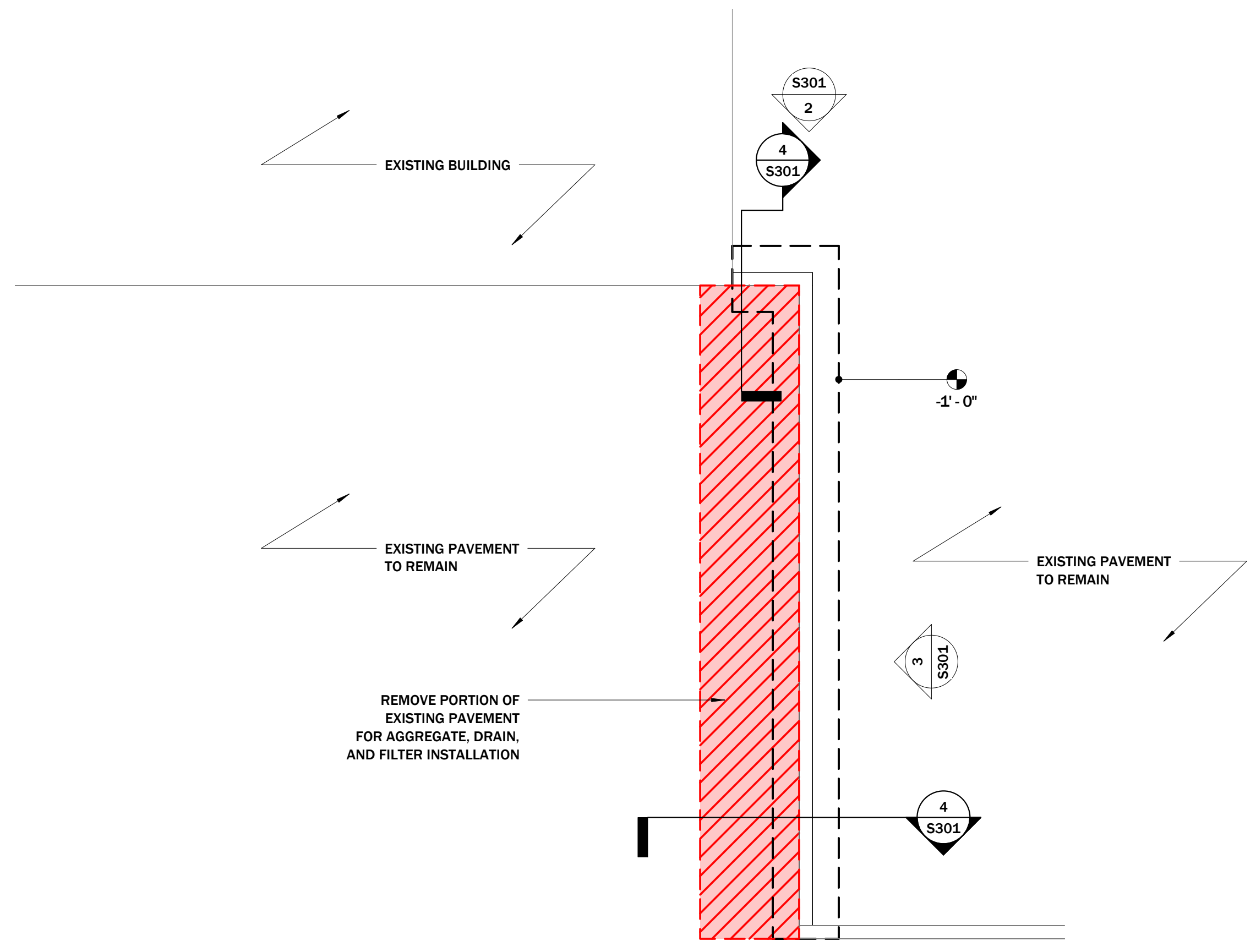
PROJECT:
NICHOLAS SUMMER RETAINING WALL

108 EAST 6TH STREET
 COLUMBIA, TN 38401

DATE: 2-24-2026
 PROJECT NO: 25S107

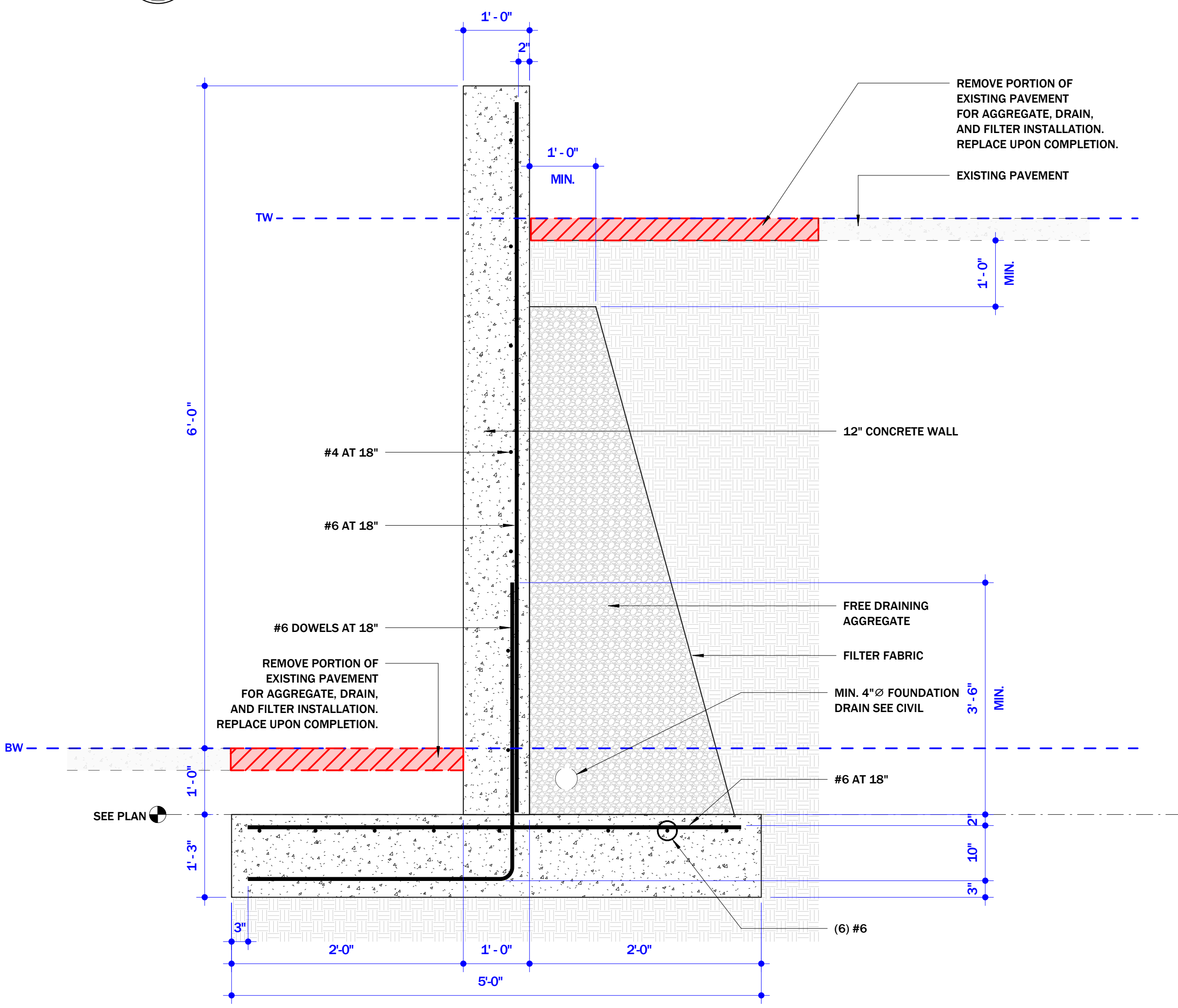
REVISION DATE

NOTES:



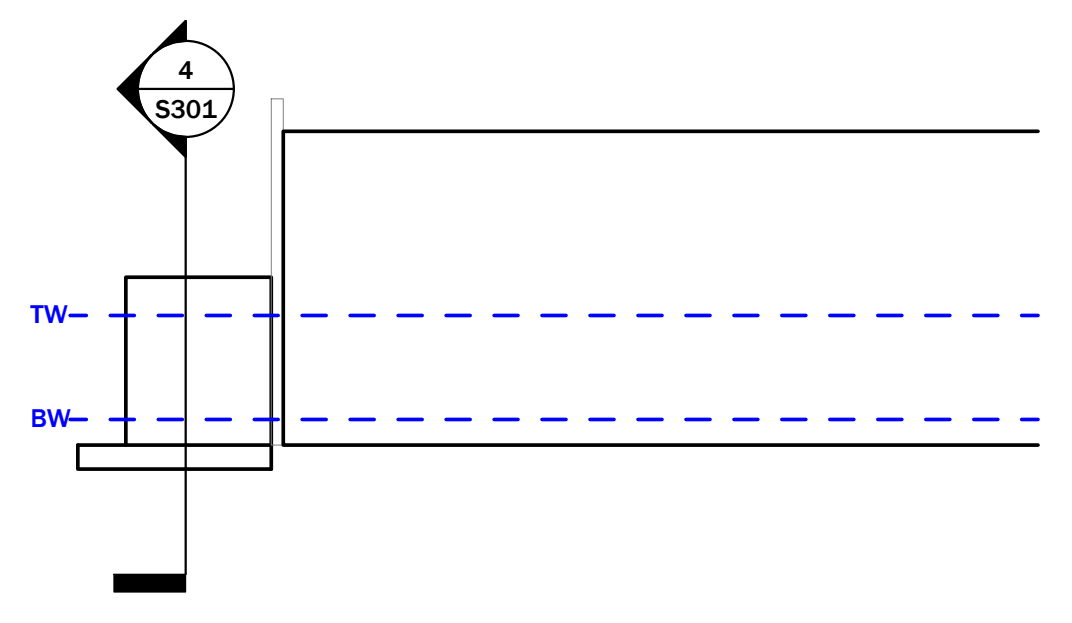
RETAINING WALL FOUNDATION PLAN

1 SCALE: 1/8" = 1'-0"



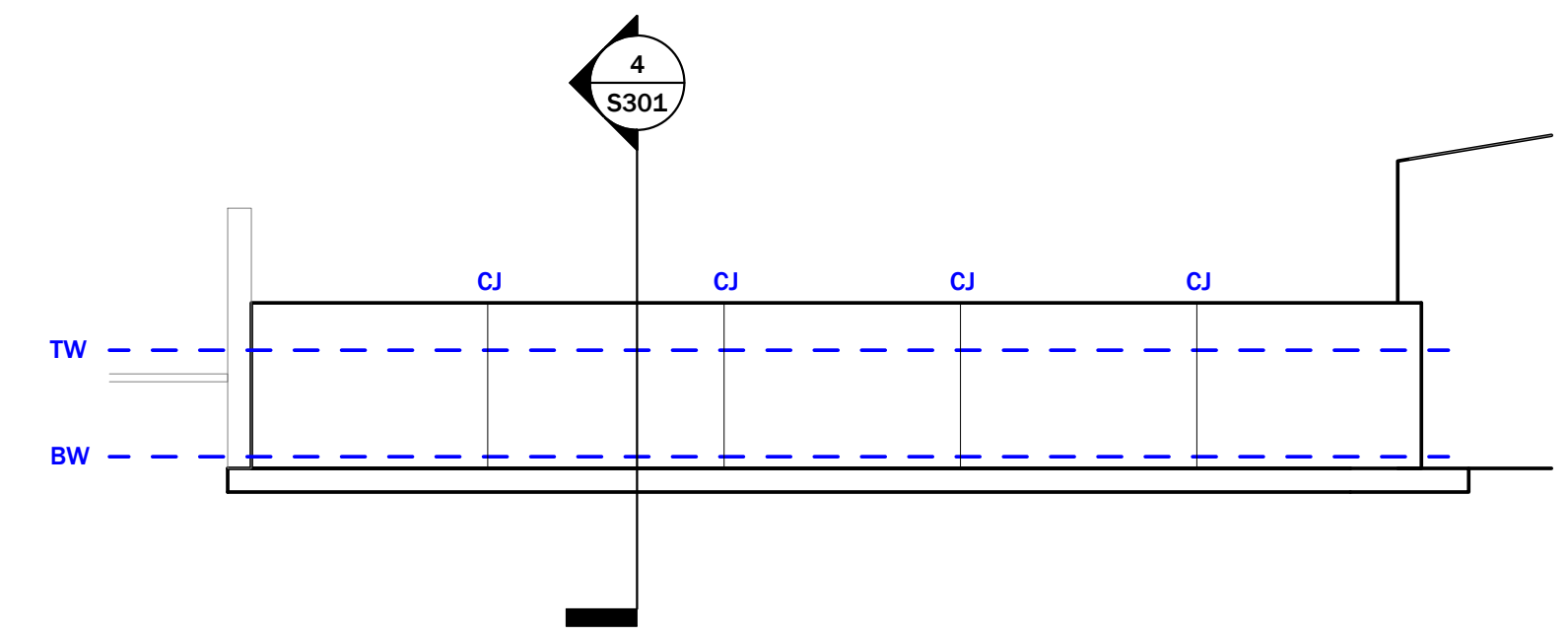
RETAINING WALL - 12" CONCRETE

4 SCALE: NTS



RETAINING WALL ELEVATION

2 SCALE: 1/8" = 1'-0"



RETAINING WALL ELEVATION

3 SCALE: 1/8" = 1'-0"

SYMBOLS

TOP OF WALL (SEE EXISTING)	TW	----
BOTTOM OF WALL (SEE EXISTING)	BW	----
CONTROL JOINT (10FT MAX. SPACING 8FT MIN. SPACING)	CJ	----

GENERAL NOTES

- It is the intent that all work shown is constructed as shown on plan. If field conditions arise that make such work impossible, consult the Structural Engineer for guidance on final construction. If additional work is required to accommodate this layout, the Contractor shall consult the Owner before the work is started.
- A. ALL SITE INFORMATION NOT SHOWN. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - B. ALL TW/BW ARE CONSIDERED LEVEL. CONTACT STRUCTURAL ENGINEER FOR REEVALUATION IF TW/BW ARE GREATER THAN LEVEL.



RETAINING WALL PLAN AND ELEVATIONS

SCALE: As indicated



S301



LEGEND

PROPERTY LINE	—————
ADJOINING LINE	-----
EASEMENT LINE	-----
SETBACK LINE	-----
ELECTRIC LINE	— E — E —
CENTERLINE	—————
PAVEMENT EDGE	-----
FENCE LINE	— X — X — X — X — X —
WATER LINE	— W — W — W — W — W —
SANITARY LINE	— S — S —
GAS LINE	— G — G —
TELEPHONE LINE	— T — T — T — T — T — T —
INDEX CONTOUR	-----
1' CONTOUR	-----
EXISTING MONUMENT	△
CONCRETE MONUMENT	□
SET CAPPED 5/8" IRON ROD	⊙
NO MONUMENT SET	•
POWER POLE	⊗
WATER METER	⊙
SURVEY CONTROL	⊕
SEWER MANHOLE	⊙
WATER VALVE	⊗
GAS METER	⊙
SEWER CLEANOUT	⊙
COMMUNICATION BOX	⊕
LIGHT POLE	⊙
ELECTRIC METER	⊙

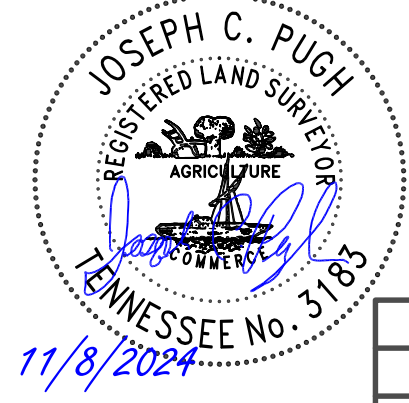


PROPERTY DATA:
BARKAT PROPERTIES, LLC
(A Tennessee Limited Liability Company)
 Deed Book R2962 Page 1369
 Tax Map 099A Group K Parcel 048.00
 City of Columbia Zoning: CD-5



- SURVEY NOTES:**
- THE PURPOSE OF THIS DRAWING IS TO SHOW A TOPOGRAPHIC SURVEY OF DEED BOOK R2962 PAGE 1369 BEING KNOWN AS 108 EAST 6TH STREET.
 - ZONING: COLUMBIA, TN CD-5: URBAN CENTER CHARACTER DISTRICT. 0' FRONT YARD SETBACK, 0' SIDE YARD SETBACK, AND 0' REAR YARD SETBACK. REFER TO THE ZONING ORDINANCE OF COLUMBIA, TN FOR MORE INFORMATION.
 - TITLE SEARCH WAS NOT PROVIDED TO THIS SURVEYOR, THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH.
 - BEARINGS REFERENCED TO TENNESSEE STATE PLANE COORDINATE SYSTEM GRID NORTH AS DETERMINED BY GPS OBSERVATION.
 - HORIZONTAL DATA SHOWN HEREON WAS GATHERED USING TOPCON HIPER VR (DUAL FREQUENCY) GPS. REAL TIME KINEMATICS (RTK) AND STATIC CONTROL WERE UTILIZED.
 - HORIZONTAL AND VERTICAL DATA SHOWN HEREON WAS GATHERED USING STANDARD RADIAL SURVEYING TECHNIQUES WITH A 3" TOTAL STATION AND IS BASED UPON A POSITIONAL SOLUTION DERIVED FROM GLOBAL POSITION SYSTEM.
 - I, JOSEPH C. PUGH, HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL REAL TIME KINEMATIC (RTK) GPS SURVEY MADE AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
 TYPE OF SURVEY – REAL TIME KINEMATIC (RTK),
 GPS DEVICE – TOPCON HIPER VR
 POSITIONAL ACCURACY – 0.05'
 VERTICAL ACCURACY – 0.05'
 PUBLISHED/FIXED CONTROL – TENNESSEE DEPARTMENT OF TRANSPORTATION CORS NETWORK
 GEOID MODEL – NAVD88 GEOID18
 DATUM/EPOCH – NAD83 (2011)
 DISTANCE – GRID
 BEARING – GRID
 - SUBJECT TO ALL EXISTING ROAD RIGHT-OF-WAY EASEMENTS, ALL EXISTING UTILITY EASEMENTS, INGRESS/EGRESS EASEMENTS, OR OTHER EASEMENTS RECORDED OR UNRECORDED.
 - VISIBLE UTILITIES ARE SHOWN HEREON. TENNESSEE 811 ONE-CALL TICKET #242811699
 - FIELD SURVEY PERFORMED ON OCTOBER 11, 2024.
 - ALL CORNERS ARE MONUMENTED WITH A SET CAPPED 5/8" IRON ROD UNLESS OTHERWISE NOTED.
 - POINT OF BEGINNING IS MONUMENTED AND LABELED HEREON.
 - DISCREPANCIES BETWEEN SURVEY AND RECORD DISTANCES SHOWN HEREON.
 - AREA SHOWN HEREON.
 - PROPERTY LOCATED WITHIN A ZONE X UNSHADED OF THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP 47119C0280E WITH EFFECTIVE DATE APRIL 16, 2007.

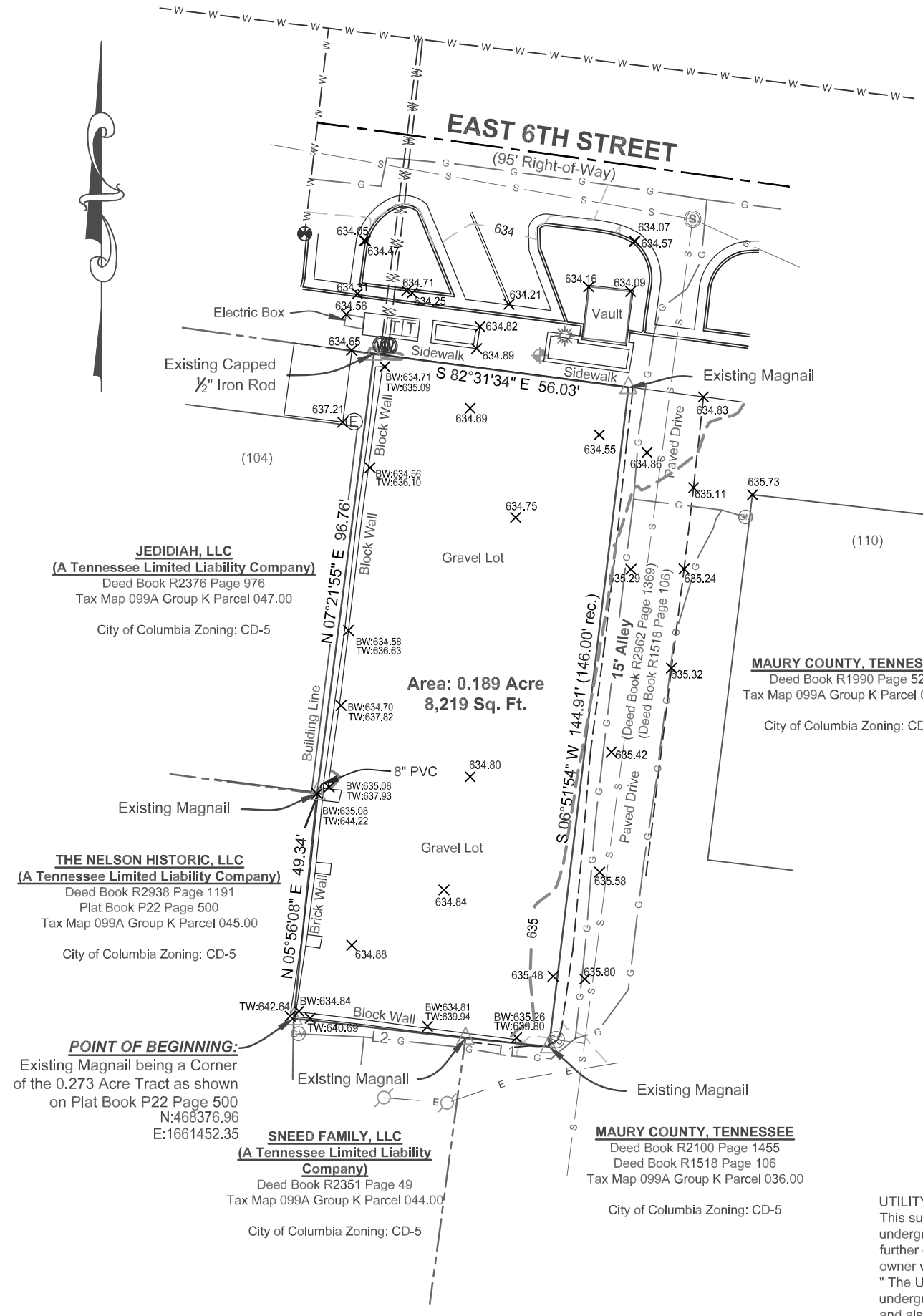
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 84°11'07" W	18.33'
L2	N 83°30'38" W	37.74'



CERTIFICATE OF SURVEY ACCURACY
 I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon; that this is a class IV Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated, survey having a positional accuracy of 0.05'. This survey meets the standards of practice for surveying in the State of Tennessee.

Joseph C. Pugh *November 8, 2024*
 Joseph C. Pugh (Date)
 TN RLS# 3183

TOPOGRAPHIC SURVEY FOR		
NICHOLAS SUMNER		
108 EAST 6TH STREET, COLUMBIA, TENNESSEE		
DRAWN BY: ELR	ESSENTIAL LAND SURVEYING & MAPPING, LLC 811 HATCHER LANE, COLUMBIA, TN 38401 PHONE: 931-286-6483 EMAIL: CPUGH@ELSM-LLC.COM	DATE: 11/8/2024
CHECKED BY: JCP		REVISED:
SCALE: 1"=30'		JOB #: 241006_Sumner
		PAGE #: 1 of 1



UTILITY NOTE:
 This surveyor has not physically located the underground utilities. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The individual lot owner will have to verify the location of such utilities prior to any construction. In Tennessee it is a requirement, per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners, no less than 3 or more than 10 working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One Call 800-351-1111.







Historic Zoning Commission Certificate of Appropriateness

700 NORTH GARDEN STREET, COLUMBIA, TN 38401
PHONE: (931) 560-1560 FAX: (931) 560-1541

PROJECT LOCATION: 25 Public Sq.
HISTORIC DISTRICT: Downtown Commercial Historic District

	OWNER INFORMATION:	APPLICANT INFORMATION:
NAME	Walker Family Limited Partnership	Mountain Ash LLC
ADDRESS	804 S Main St PO Box 647 38402 Columbia, TN 38401	304 Due Ln Columbia, TN 38401
PHONE	(931) 388-2937	(931) 334-4002
EMAIL	STEPHENFW@AIM.COM	CASSIE.BENZINGER@GMAIL.COM

NEW CONSTRUCTION:	EXTERIOR ALTERATION:	DEMOLITION:
<input type="checkbox"/> Primary Structure/Addition	<input type="checkbox"/> Facade	<input type="checkbox"/> Primary Structure
<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Garage/Carport
<input type="checkbox"/> New Sign	<input type="checkbox"/> Revision to Existing Sign	<input checked="" type="checkbox"/> Sign
<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____

CONDITIONS OF APPROVAL: Approved as submitted

- 3-ft x 6-ft wall sign (18 -sf total) replacing existing wall sign
- Painted wood backing with white acrylic lettering on top installed above entrance door
- Painting of the exterior façade and trim (previously painted masonry)



UNAPPROVED/SPECIFICALLY EXCLUDED WORK:

DATE OF HISTORIC ZONING COMMISSION **ADMINISTRATIVE APPROVAL**/DENIAL: 6/2/2026

Autumn Potter

HISTORIC ZONING COMMISSION CHAIR

Robert Quibald

ZONING ADMINISTRATOR

Per §13-7-409 of the Tennessee Code Annotated: Anyone who may be aggrieved by any final order or judgment of the Historic Zoning Commission may have such order or judgment reviewed by the courts by the procedure of statutory certiorari, as provided in Tennessee Code Annotated Title 27, Chapter 8.



Historic Zoning Commission Certificate of Appropriateness

700 NORTH GARDEN STREET, COLUMBIA, TN 38401
PHONE: (931) 560-1560 FAX: (931) 560-1541

PROJECT LOCATION: Parcel: 100D E 019.00

HISTORIC DISTRICT: Athenaenum

	OWNER INFORMATION:	APPLICANT INFORMATION:
NAME	John James Etux Amy Montgomery Gibbons	Joe Kyle Kilgore, III
ADDRESS	811 School St Columbia, TN 38401	811 School Street Columbia, TN 38401
PHONE		(931) 224-4674
EMAIL	amymontgomerygibbons@icloud.com	KYLEKILGORE38401@GMAIL.COM

NEW CONSTRUCTION:	EXTERIOR ALTERATION:	DEMOLITION:
<input type="checkbox"/> Primary Structure/Addition	<input type="checkbox"/> Facade	<input type="checkbox"/> Primary Structure
<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Garage/Carport	<input type="checkbox"/> Garage/Carport
<input type="checkbox"/> New Sign	<input type="checkbox"/> Revision to Existing Sign	<input type="checkbox"/> Sign
<input checked="" type="checkbox"/> Fencing and Gate	<input type="checkbox"/> _____	<input type="checkbox"/> _____

CONDITIONS OF APPROVAL: Approved as submitted.

- 6' wooden fencing to replace existing aluminum fencing at rear of property parallel to alley
- 6' wooden gate situated between two brick columns at drive location at rear of property parallel to alley

UNAPPROVED/SPECIFICALLY EXCLUDED WORK:

DATE OF HISTORIC ZONING COMMISSION **ADMINISTRATIVE APPROVAL**/DENIAL: 6/2/2026

Autumn Potter

HISTORIC ZONING COMMISSION CHAIR

Robert Archibald

ZONING ADMINISTRATOR

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