

CITY OF COLUMBIA



T E N N E S S E E

AGENDA

The Columbia Architectural Design Review Team will meet on Tuesday, April 11, 2023 at 9:00 AM in Conference Room A on the basement level of City Hall, 700 N. Garden Street. The Planning Commission will consider the following:

- I. Roll Call
- II. Approval of Minutes
- III. Old Business
 1. Case #22-0329 Request from Cole Murphy for facade approval of new townhome construction off Honey Farm Way being a portion of [Tax Map 51 Parcel 58](#).
THIS ITEM WAS DEFERRED FROM A PREVIOUS AGENDA

Documents:

1. Honey Farm Set v3
 2. Staff Report Update
 3. Architectural Set v2
 4. Color Schemes v2
 5. Staff Report
 6. Architectural Sets
 7. Elevation Schemes
 8. Specifications Sheet
 9. Application
2. Case #23-0048 Request from Cole Gaumnitz for new construction approval at [Tax Map 89 Parcel 46](#) off Industrial Park Road.
THIS ITEM WAS DEFERRED FROM A PREVIOUS AGENDA

Documents:

1. Staff Report
2. Office & Warehouse
3. Accessory Structures - RV storage parking & shelter
4. Accessory Structures - Quonset hut office & lay in
5. Elevations
6. Site Plan
7. Application

IV. New Business

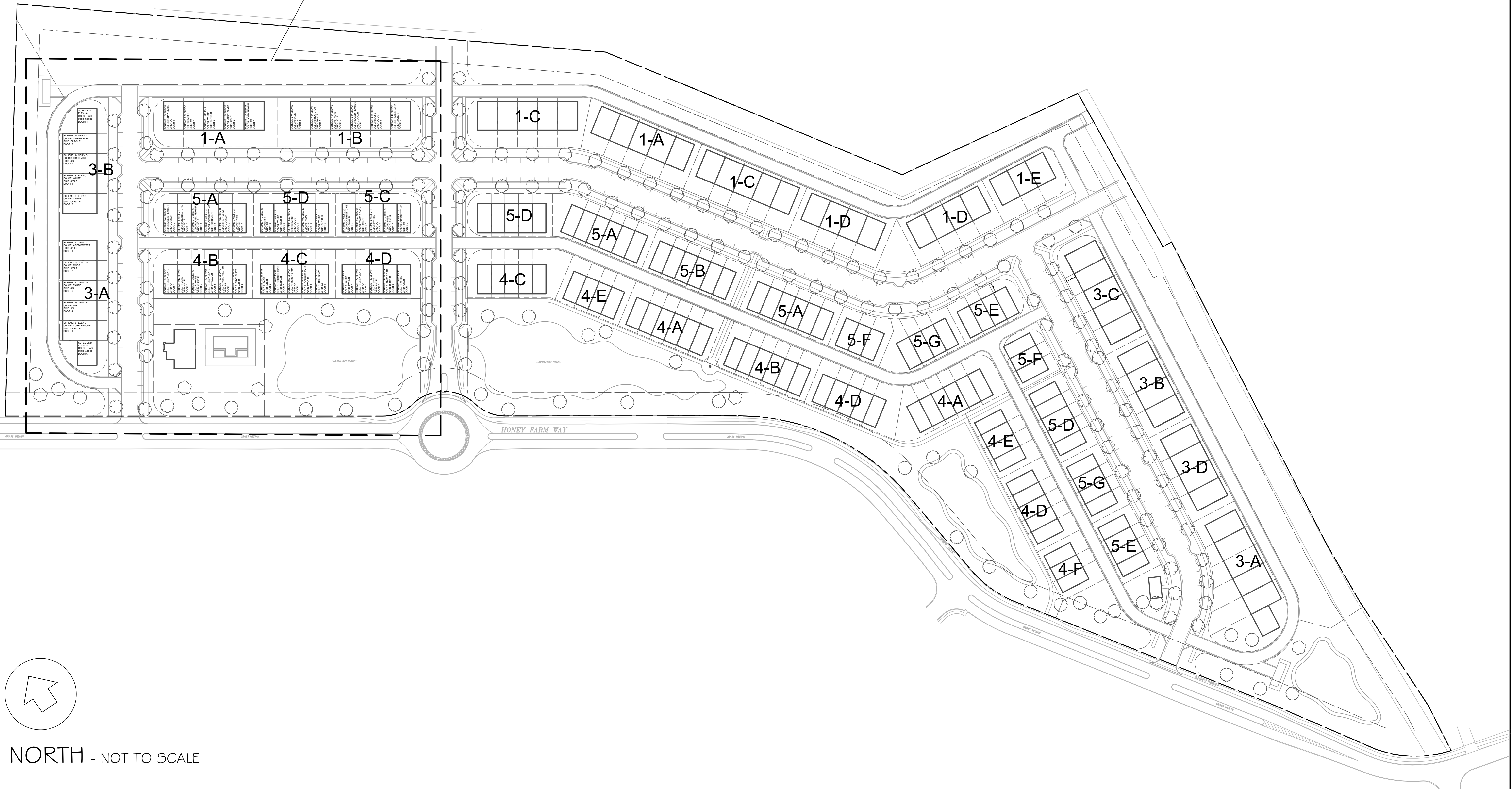
V. Adjourn

Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

The 2023 meeting schedule can be found on the City of Columbia Architectural Design Review Team webpage.

For other questions, please contact the Department of Development Services at 931-560-1560.

REFER TO SHEET C1.3 FOR
EXAMPLE ELEVATION & COLOR
SCHEME VARIATIONS IN THIS AREA



**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

OVERALL
SITE PLAN

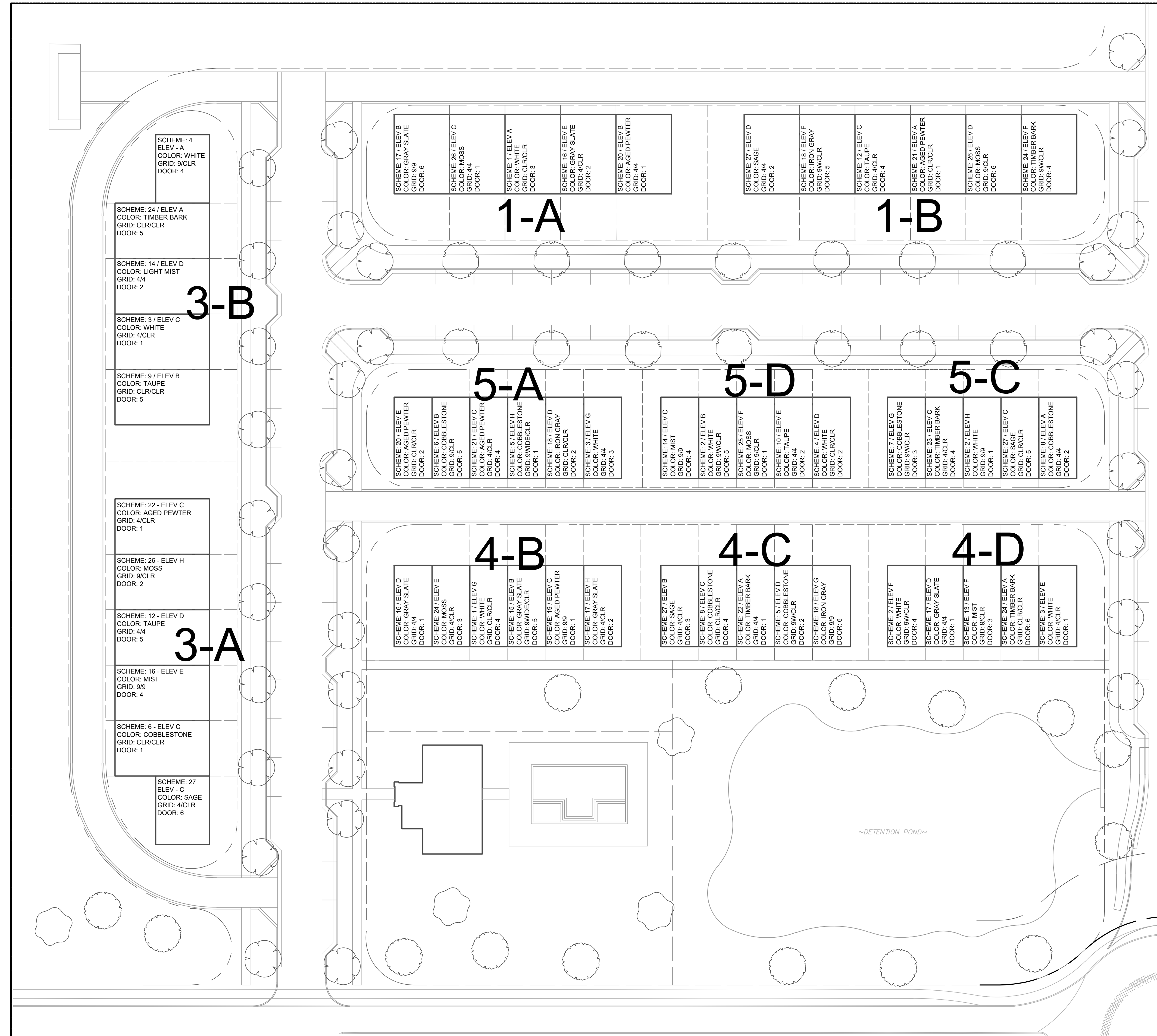
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

C1.2

GENERAL ELEVATION & FACADE NOTES:

- 1 ALL TOWNHOMES SHALL BE DIFFERENTIATED SO THAT IT APPEARS TO BE COMPRISED OF TWO OR MORE ADJACENT BUILDINGS, BY DIVIDING SUCH FACADE INTO TWO SEGMENTS EACH OF WHICH INCLUDES A SEPARATE ENTRANCE AND (1) DIFFERS FROM EACH OF THE OTHER SEGMENTS WITH RESPECT TO ALL OF THE FOLLOWING: (a) A CHANGE IN SHAPE, SILL AND HEADER HEIGHT, DETAIL, SIZE, SPACING, RHYTHM, AND MUNTIN PATTERN OF WINDOWS. (b) A CHANGE OF BUILDING OR CORNICE HEIGHT, (c) A CHANGE IN CORNICE DETAILS, (d) A CHANGE IN WALL MATERIAL OR COLOR, A CHANGE IN TRIM COURSES AND OTHER HORIZONTAL ELEMENTS, (e) A CHANGE IN DORMER OR BALCONY DESIGN, IF ANY, AND (f) PROVIDING OR CHANGING PILASTERS, COLUMNS, OR OTHER FACADE ELEMENTS AND (2) IS COMPOSED WITH A DEFINED CENTER AND EDGES
- 2 NO FACADE SHALL EXIST MORE THAN ONCE ON A BLOCK FACE OR WITHIN VIEW OF THE SAME FACADE
- 3 ALL FINISHED FLOOR LEVELS TO BE A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE AT FACADE
- 4 VARIANCES: (A) ALL UNITS TO HAVE A FACADE WINDOW SILL HEIGHT AT A MINIMUM OF 36 INCHES ABOVE FINISHED GRADE (B) UNITS TO HAVE SINGLE GARAGE DOOR EXCEEDING 9ft. MAXIMUM WIDTH



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

SITE PLAN -
 ELEV & COLOR
 VARIATION
 SUBDIVISION:
 HONEY FARMS
 MUNICIPALITY:
 COLUMBIA,
 TENNESSEE

C1.3

1-A



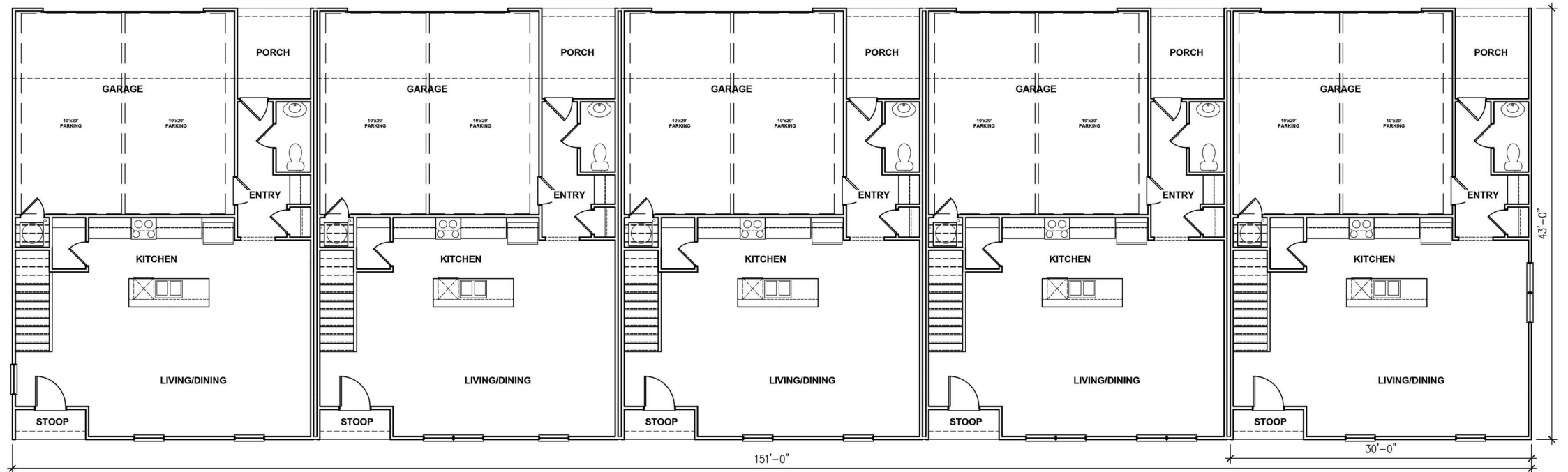
ELEV B
DOOR STYLE 2
9 / 9 WINDOW GRID
COLOR SCHEME 17

ELEV C
DOOR STYLE 1
4 / 4 WINDOW GRID
COLOR SCHEME 26

ELEV A
DOOR STYLE 3
CLR / CLR WINDOW GRID
COLOR SCHEME 1

ELEV E
DOOR STYLE 2
4 / 4 WINDOW GRID
COLOR SCHEME 16

ELEV B
DOOR STYLE 1
4 / 4 WINDOW GRID
COLOR SCHEME 20



1-B



ELEV D
DOOR STYLE 2
4 / 4 WINDOW GRID
COLOR SCHEME 27

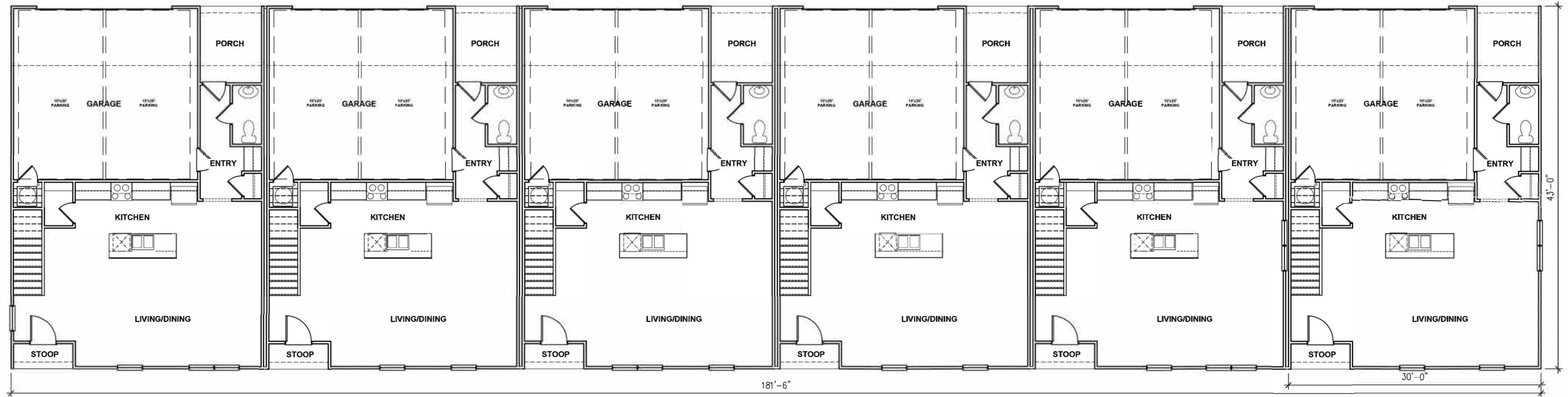
ELEV F
DOOR STYLE 5
9W / CLR WINDOW GRID
COLOR SCHEME 18

ELEV C
DOOR STYLE 4
4 / CLR WINDOW GRID
COLOR SCHEME 12

ELEV A
DOOR STYLE 1
CLR / CLR WINDOW GRID
COLOR SCHEME 21

ELEV D
DOOR STYLE 6
9 / CLR WINDOW GRID
COLOR SCHEME 26

ELEV F
DOOR STYLE 4
9W / CLR WINDOW GRID
COLOR SCHEME 24





COLOR SCHEME 27 - ELEV C
DOOR STYLE 6
4 / CLR WINDOW GRID

COLOR SCHEME 6 - ELEV C
DOOR STYLE 1
CLR / CLR WINDOW GRID

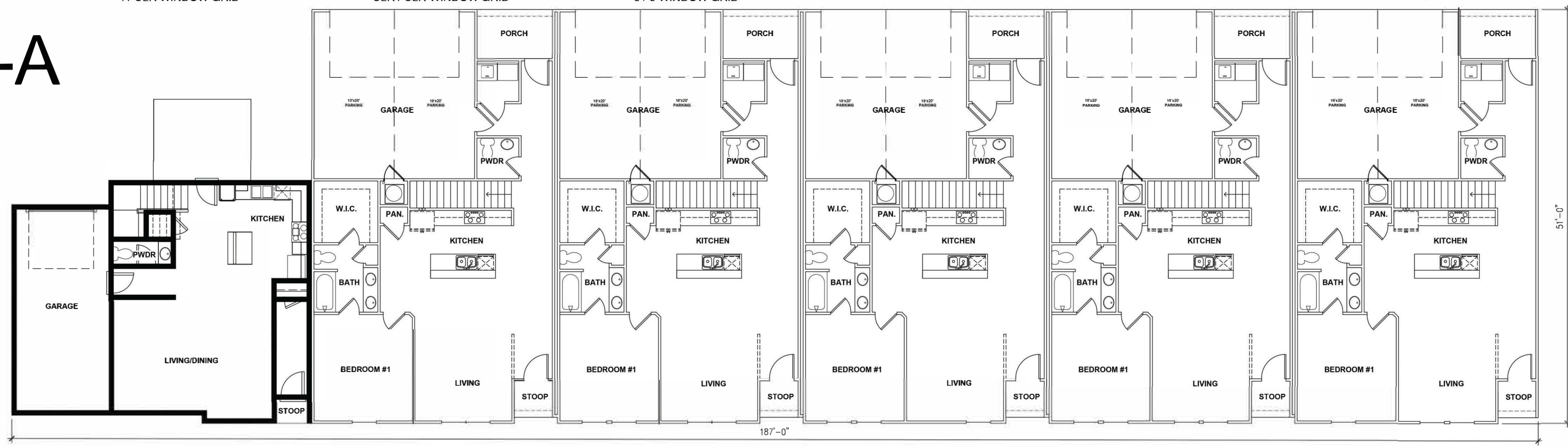
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DOOR STYLE 4
9 / 9 WINDOW GRID

COLOR SCHEME 12 - ELEV D
DOOR STYLE 5
4 / 4 WINDOW GRID

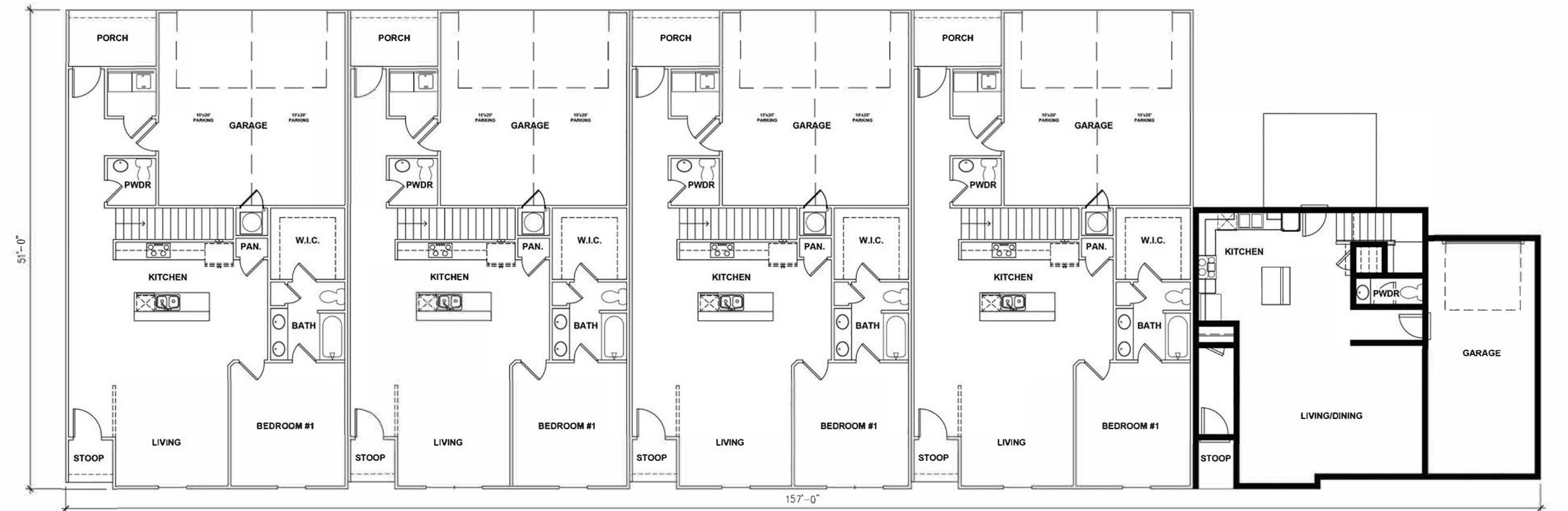
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DOOR STYLE 2
9 / CLR WINDOW GRID

COLOR SCHEME 22 - ELEV C
DOOR STYLE 1
4 / CLR WINDOW GRID

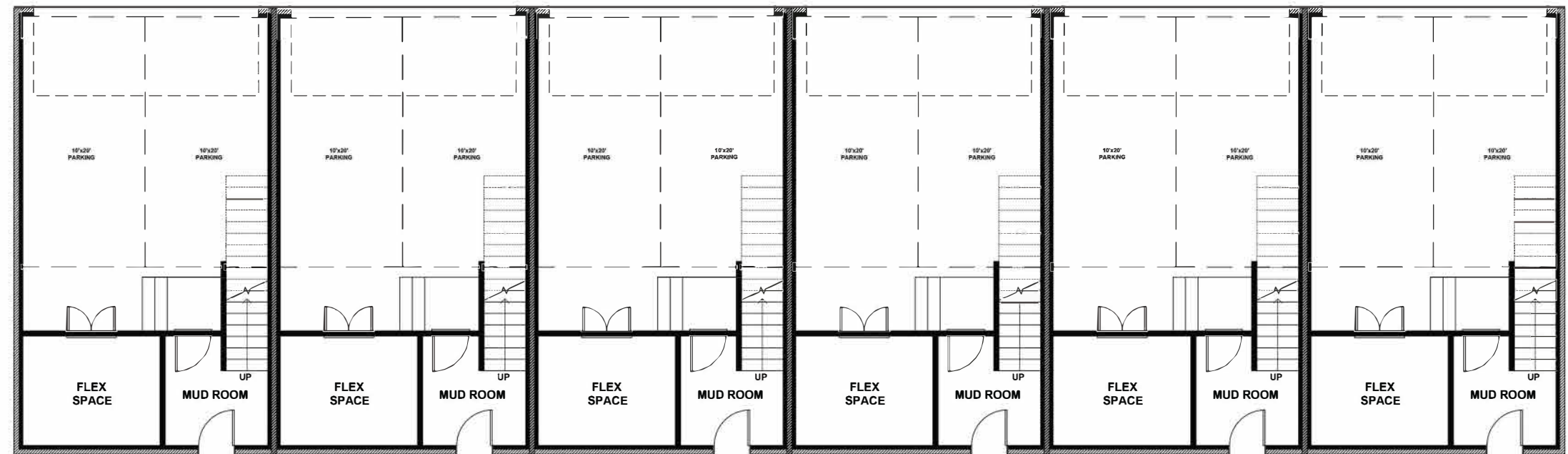
3-A



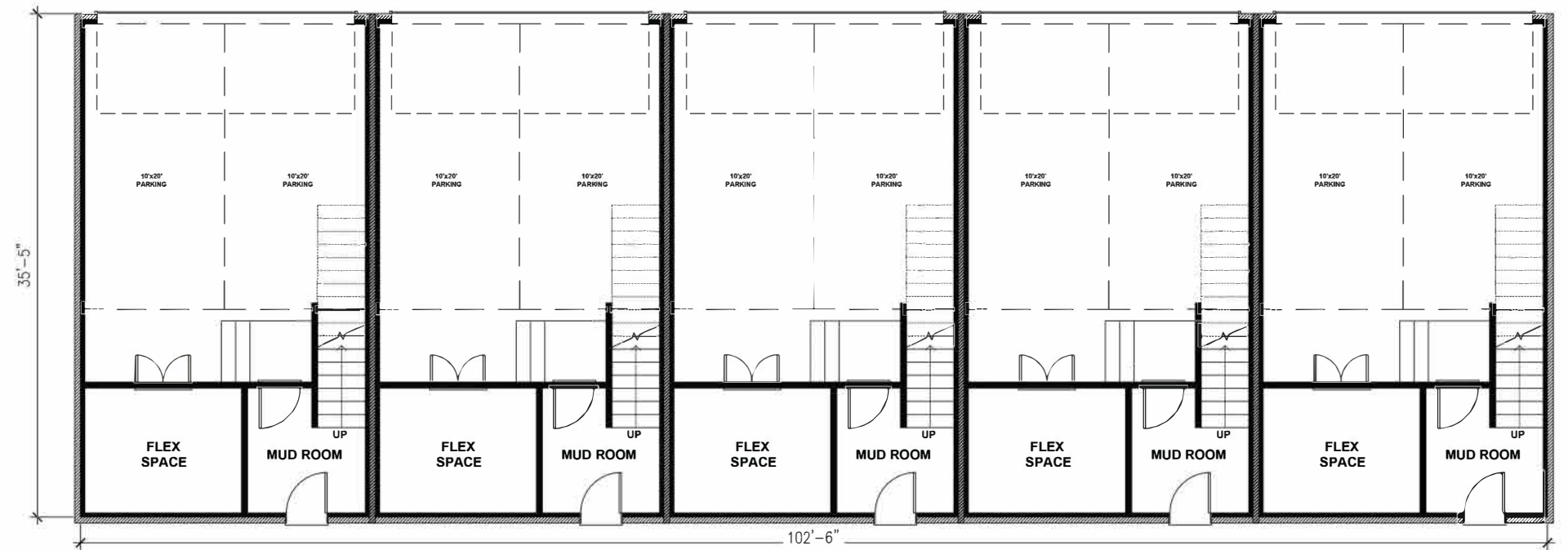
3-B



4-B



4-C



4-D



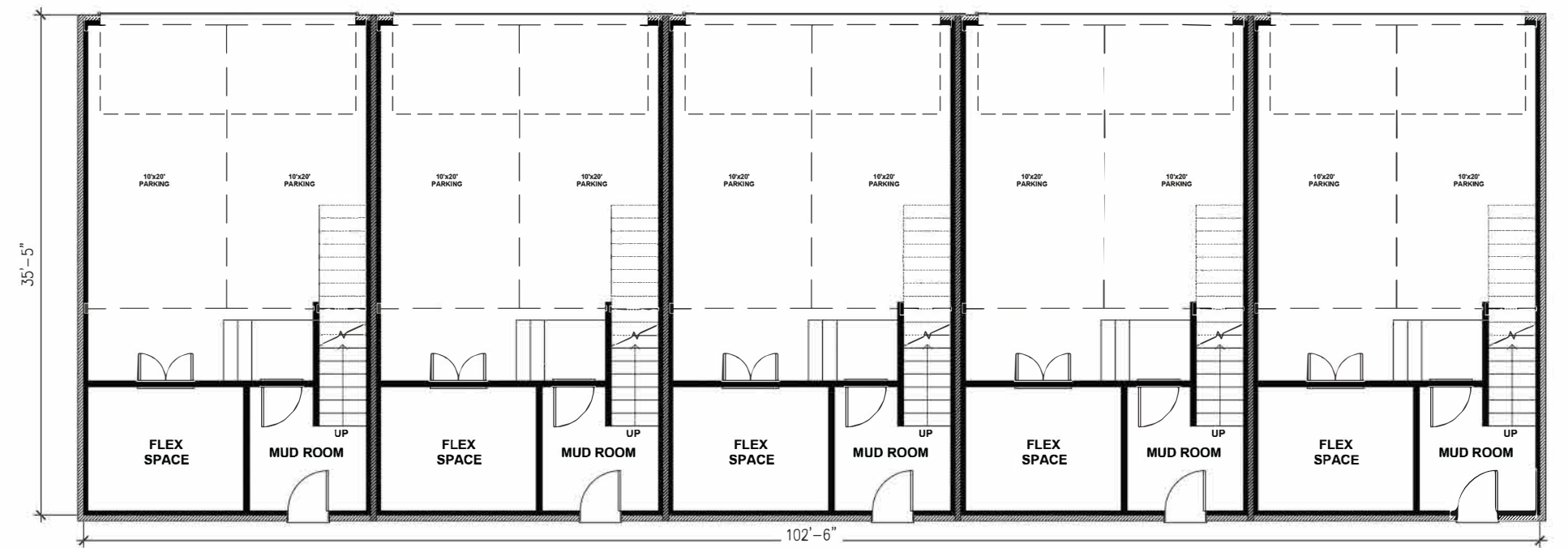
ELEV F
DOOR STYLE 4
9W / CLR WINDOW GRID
COLOR SCHEME 2

ELEV D
DOOR STYLE 1
4 / 4 WINDOW GRID
COLOR SCHEME 17

ELEV F
DOOR STYLE 3
9 / CLR WINDOW GRID
COLOR SCHEME 13

ELEV A
DOOR STYLE 6
CLR / CLR WINDOW GRID
COLOR SCHEME 24

ELEV E
DOOR STYLE 1
4 / CLR WINDOW GRID
COLOR SCHEME 3



5-A



ELEV G
DOOR STYLE 3
4 / 4 WINDOW GRID
COLOR SCHEME 3

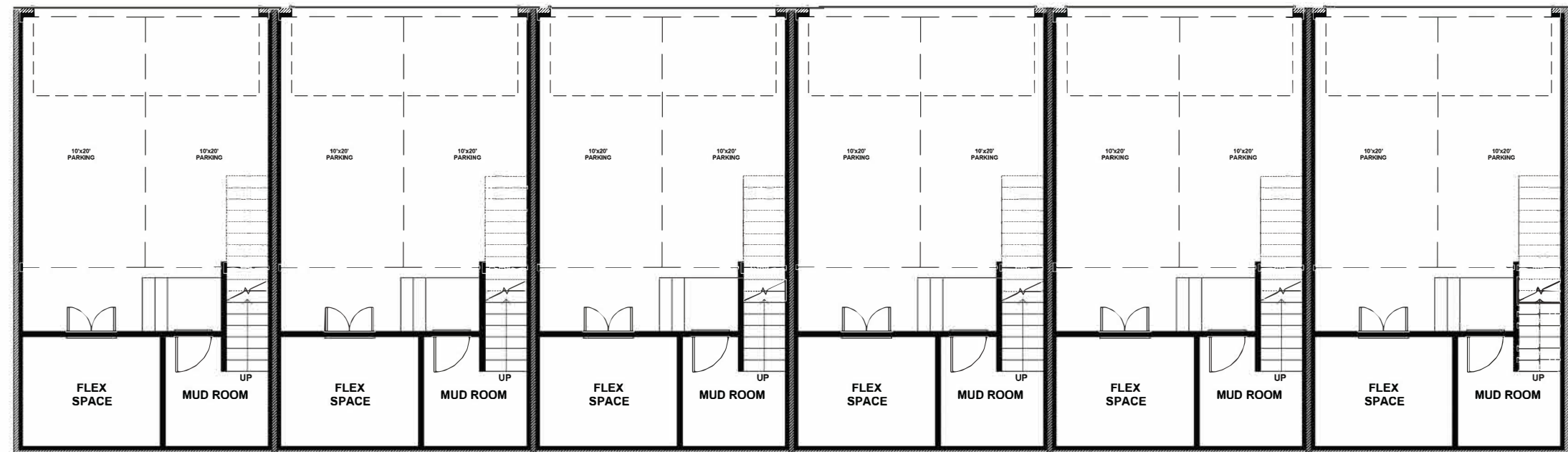
ELEV D
DOOR STYLE 2
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 18

ELEV H
DOOR STYLE 1
9W / CLR WINDOW GRID
COLOR SCHEME 5

ELEV C
DOOR STYLE 4
4 / CLEAR WINDOW GRID
COLOR SCHEME 21

ELEV B
DOOR STYLE 5
9 / CLEAR WINDOW GRID
COLOR SCHEME 6

ELEV E
DOOR STYLE 2
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 20



5-D



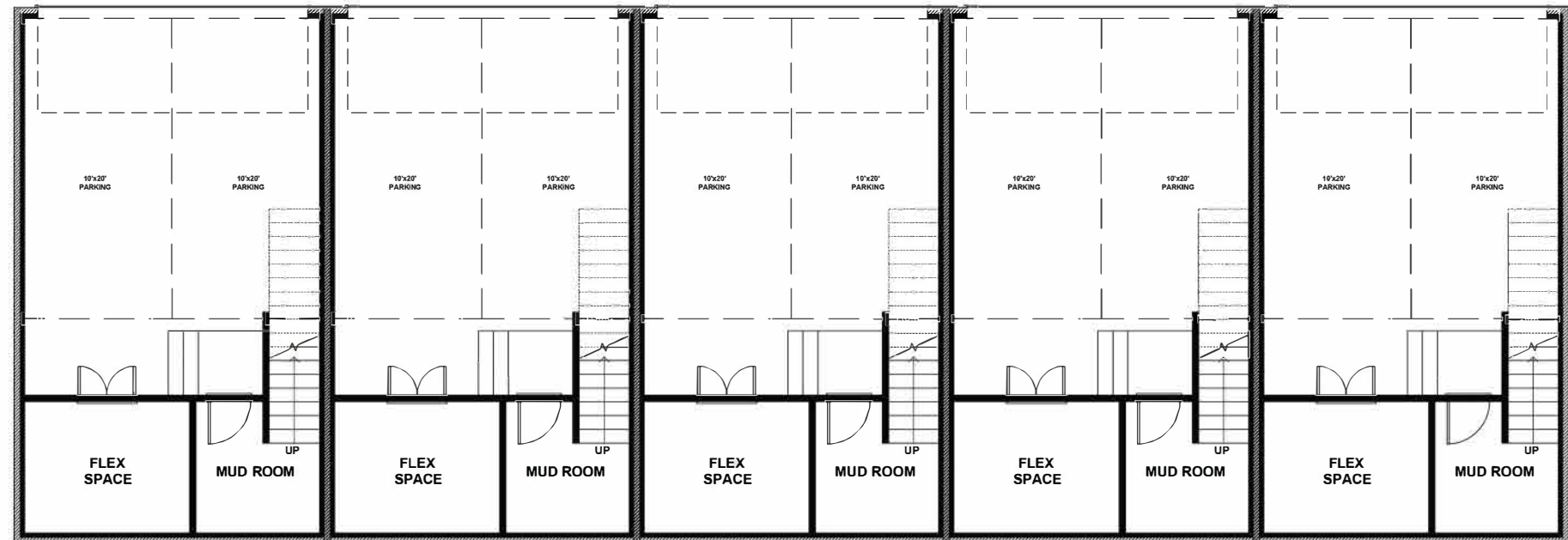
ELEV D
DOOR STYLE 3
CLR / CLR WINDOW GRID
COLOR SCHEME 4

ELEV E
DOOR STYLE 2
4 / 4 WINDOW GRID
COLOR SCHEME 10

ELEV F
DOOR STYLE 1
9 / CLR WINDOW GRID
COLOR SCHEME 25

ELEV B
DOOR STYLE 5
9W / CLR WINDOW GRID
COLOR SCHEME 2

ELEV C
DOOR STYLE 4
9 / 9 WINDOW GRID
COLOR SCHEME 14





CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0329

MEETING DATE

N/A

APPLICANT/OWNER

Cole Murphy (RP Homes) / Charles Raines

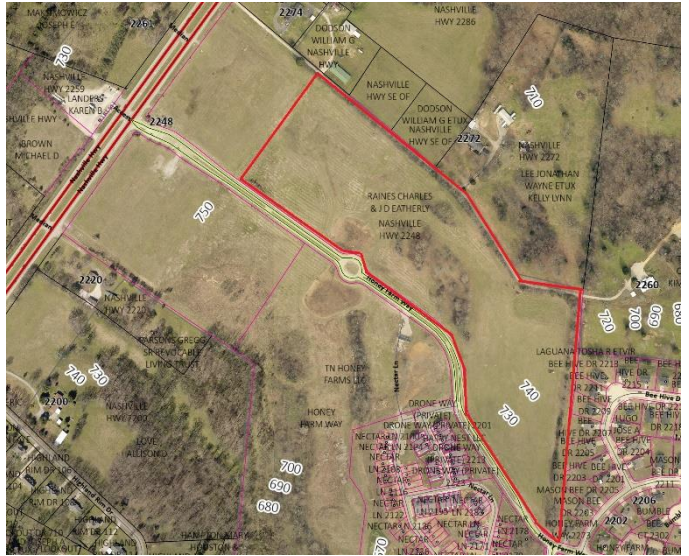
PROPERTY ADDRESS/LOCATION

2248 Nashville Highway (Honey Farms Planned Unit Development)/ Tax Map 051 Parcel 058

PROJECT DESCRIPTION:

The applicant is requesting an amendment to the Honey Farms Master Planned Unit Development for the construction of 193 townhome units. As a revision to this previously approved PUD, all standards of Zoning Ordinance 4000 shall be applicable that include architectural design elements as cited in Article 4, Development Standards for a PUD-R.

This item was a deferral from the previous ART meeting in January with a request for more information.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
PUD-R	Vacant Land	PUD-R/	193 Townhomes	25.76 Acres

Building Facade Design Standards Referenced:

Design Review by the Architectural Design Review Team is intended to protect the physical character of the City through additional review of certain proposed Developments meeting certain criteria.

B. Applicability.

Prior to issuance of a Building Permit, Design Review shall be required for the following:

- 1. Design of all Buildings and Structures within a Special District; and within a Planned Unit Development District.

G. Powers & Duties.

- 1. The Architectural Design Review Team



- shall be responsible for reviewing and making recommendations regarding proposals for Building Permit or Planned Unit Development approval.
2. Review by the Architectural Design Review Team shall be limited to the criteria established within this Ordinance.
 3. As necessary, the Architectural Design Review Team shall periodically review and make recommendations regarding any necessary changes to the Building Facade Regulations within this Ordinance.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS:
 PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Building Standards	
Building Height*	
Principal Building	1-2 Stories for House and Duplex Building Types; 2-3 Stories for Townhouse, Live / Work and Small Multifamily Building Types; 2- 4 Stories for Large Multifamily Building Type
Accessory Building	2 Stories max; Allowed in 3rd Layer only.
*Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, bellfries, parapet walls, aerials, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.	
The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.	
Ceiling Height	
May not exceed 14 ft. from finished floor to finished ceiling.	
Building Composition	
Vertical Composition	Each Principal Building must have an identifiable Base, Middle, & Cap
Finished Floor Level	Min. 18 in. above finished grade at Facade
Facade	
Main Entrance	Main Entrance must be in Facade of Principal Frontage.
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line
Facade & Facade Element Design Proportions	Must be vertically proportioned
Blank Walls	NP at Frontage
Facade Articulation	Expect for House Building Types, a Façade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Façade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Façade elements; and (2) is composed with a defined center and edges. (See Illustration 4.3.5.A-3)

ARTICLE 4

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
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ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Building Standards (continued)

Facade (continued)

Facade Openings	Facade windows and/or doors must be spaced ≤ 20 ft. apart. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	20% – 60% of total Facade area for non-Shopfront; 70% of total Facade area, min. for Shopfront.
Window Shape	Square or vertical in proportion, except for transoms.
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Window Types	Except in Shopfront or Gallery Frontage, and except for transoms and sidelights, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Window Glazing Material	Clear glass R for all Elevations.
Window Trim in 1st Layer	Min. 4 in. trim with sill and top plate if siding surrounding window; soldier course above lintel and rollock course below sill if brick or stone surrounds window
Shutters	If any, must be functional and proportioned to cover half of window width from each side or entire window width, with shutter dogs
Facade Window Sill Height	If Residential: 5 ft. min. above avg. grade at Facade
Porch Frontages	Min. 6 ft. clear depth, excluding rails, pillars, columns or other features
Shopfront Frontages	12 in.-24 in. knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade

Roof Type & Pitch

Flat	NP
Shed	P at rear only and if ridge is attached to an exterior Building wall; except for porches, stoops or dormers which may have a shed roof anywhere on the Building
Hip	P
Gable	P
Pitch	6:12 – 14:12, except for shed roofs which may be 3:12 – 14:12 and except roof pitch may match the primary roof pitch of an existing Building that is less than 6:12

Roof Design

Eaves shall extend no less than nine inches beyond the supporting walls.

LEGEND

The following notations are utilized in this table.



Permitted



Not Permitted



Not Applicable



Required



Not Regulated

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Building Standards (continued)

Gable end rakes shall overhang at least six inches.

Eaves and rakes on Accessory Buildings and dormers shall overhang at least six inches.

Soffits shall be placed perpendicular to the Building wall, not sloping in plane with the roof (except for gable end rakes).

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum or vinyl siding	NP
	Cementitious siding	P	Corrugated and/or sheet metal	NP
Changes in Building Materials	Primary materials must continue along side Elevations through 2nd Layer. Primary materials shall continue for entire length of all Facades facing a Frontage. Any material changes must coincide with form, structural, or massing changes and shall not occur at outside corner of such change.			
Building Colors	Up to 3 colors, including the natural color of any allowed materials, but excluding trim colors			
Foundation Cladding	R ; brick or natural stone			
Porch Pier Cladding	R ; brick or natural stone, with any space under Porch concealed by painted or stained latticework between piers			
Chimney Cladding	R ; brick, natural stone, or material matching primary material of Facade			

Building Types

House	P	Commercial	NP
Duplex	P	Mixed Use	NP
Townhouse	P	Flex	NP
Small Multifamily	P	Mid-Rise	NP
Large Multifamily	P	Large Scale Commercial	NP
Live/Work	P	Civic	P

See Table 4.3.8.A (Principal Building Types - Summary) and Table 4.3.8.B (Principal Building Types - Specific Standards). For Development Parcels, see also Table 5.1.10 (Building Type Mix).

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
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ARTICLE 4



ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R

**TABLE 4.3.1-K DISTRICT STANDARDS:
 PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT**

Vehicular Parking Requirements

Parking Location

	On-Street Parking	Off-Street Parking
All Vehicles	P	P in any Required Yard, unless specifically prohibited

Additional Parking Requirements

Off-Street Parking Surface	Asphalt, concrete or other hard surface	
Garage Location	P in 3rd Layer only	
	Min. interior dimensions 10 ft. x 20 ft. per vehicle Parking space.	
Garage Design	If Garage faces Street: max. Garage door width 33% of total of Garage + Facade width. Garage must be detailed, finished, & designed like rest of Building with carriage house doors; max. Garage door width 9 ft.; each Garage door must have ornamental lighting fixture above it; min. 2 ft. separation between Garage doors	
Driveway/Vehicular Entrance Location	P in any Layer	
Driveway/Vehicular Entrance Maximum Width	10 ft max. in 1st Layer if Residential; 24 ft max. in 1st Layer if non-Residential, regardless if shared or not	
Parking Structures	P , if Screened from Frontage by Liner Buildings	
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage	

Bicycle Parking

See Section 4.3.13

Thoroughfares & Internal Drive Types*

**Only applicable to Development Parcels.*

See Article 5 (Development Parcel Standards) for additional requirements.

LEGEND	P	NP	NA	R	NR
The following notations are utilized in this table.	Permitted	Not Permitted	Not Applicable	Required	Not Regulated

ARCHITECTURAL DESIGN REVIEW:

Section 8.5.21.L and 8.5.15.B require review by the Architectural Design Review Team for all structures in a Planned Unit Development. The standards for such review are described above in Table 4.3.1-K District Standards. Two story elevations indicate a width of 30' with primary façade materials of Cementous siding with a brick base with additional elevations consisting of brick with fiber cement board accents. It would be recommended that brick water table be placed on secondary frontages to create a defined base. Three story elevations indicate a width of 20' with primary façade material of fiber cement board accented by brick with variations in trim design and elements. The applicant has indicated a variety of window and door styles in meeting the requirements for facades over 100' having a variety of window and door types including a change in wall material color, gable height, and trim courses. Trim courses include basic Hardie board, with Hardie trim when including corbels of different sizing. Column variety include composite wrapped and white pine with options for a brick base and a column option with a tapered design and brick base. A pattern book has been submitted identifying that all townhomes shall be differentiated so that no more than one townhome unit will be within the same blackface and no unit be visible from one another; however, only a small section of the pattern book has indicated this pattern variation among the entire master site plan.

PLANNING STAFF EVALUATION:

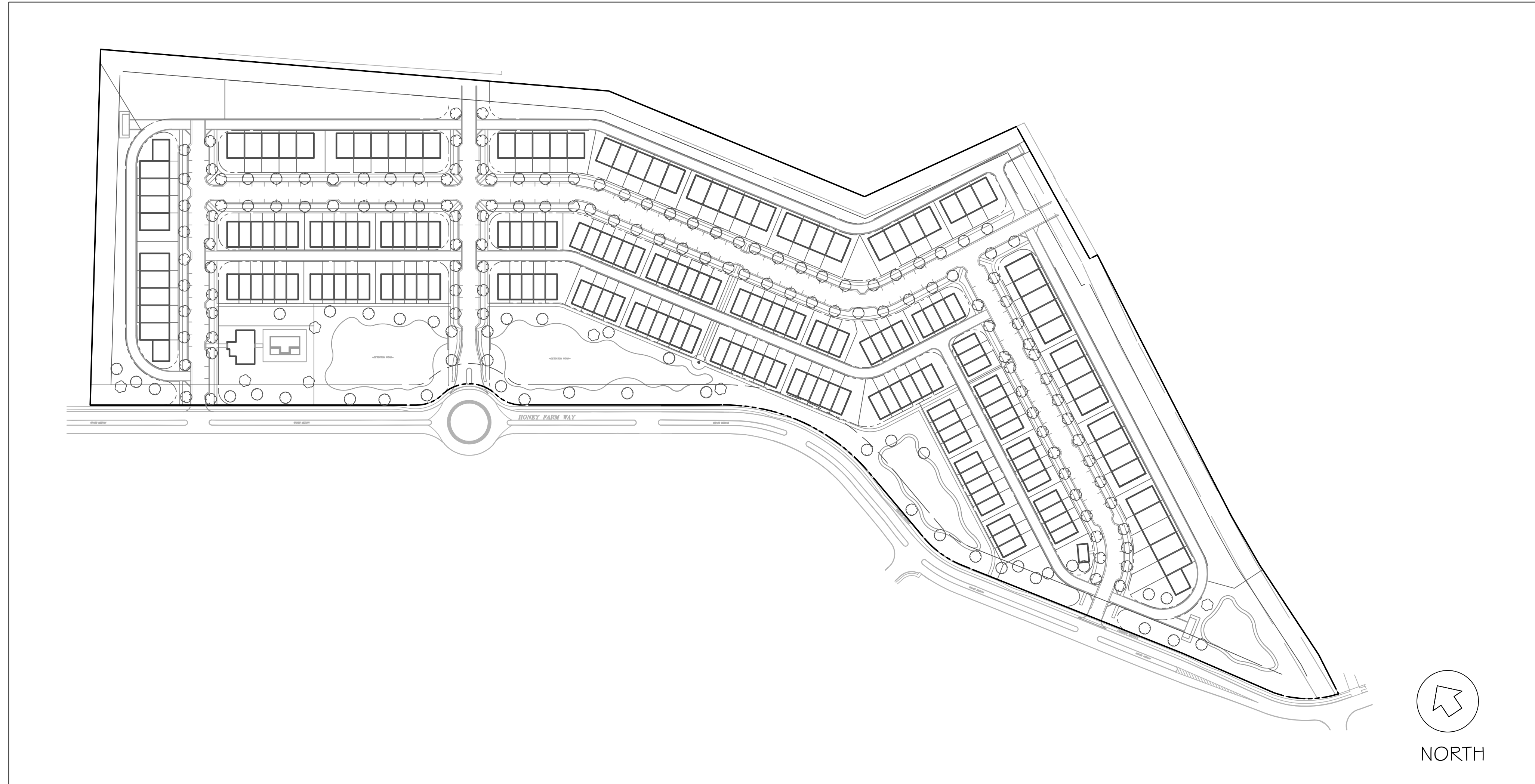
- Primary building materials on façade consist of cementitious siding and brick that are permitted materials on primary building facades.
- Façade articulation is required for a façade greater than 100'. The applicant has selected to achieve this articulation with the use of multiple colors with a material change including a variation among columns, window types, and door designs.
- All elevations require a foundation cladding of brick or natural stone. These details shall be shown on all elevations. This would achieve the building composition requirement of having a defined base, middle, and cap.
- Garage design is required to contain carriage house style doors with a garage door width of 9ft and each garage door having ornamental lighting above it. Garage design does not indicate ornamental lighting fixtures with carriage house style doors with door widths that exceed 9ft. In addition, garages units are required to be at least 10 X 20 for one stall. Floor plan details do not indicate the size of the garage unit as required per the code.
- Window trim details required for top plate if fiber cement board surrounds window; or soldier course above lintel and rowlock course below sill for brick elevations. Elevations that contain brick show a rowlock course below sill, and trim around the windows where Cementous siding is used.
- Details are required showing that gable and rakes overhang at least six inches. These details have not been indicated at resubmittal.
- Details are required showing that window sill height is 5' min above grade at façade. Applicant has requested a variance to allow window sill height to be 3' min above grade.

- Indicate details that show minimum 6' clear depth for porch frontages. As discussed at our previous meeting, stoops are accepted for primary façade entry; however, if porches are utilized than they require at least a 6' clear depth to be shown.
- Façade variety is indicated as being broken up by color, noting that no more than one façade shall be on the same block face or within view of the same façade. Applicant has submitted a pattern book indicating how facades will be broken up from block face and view; however, this pattern book only shows the western section of the property with the remainder of the master site plan omitted and not shown.
- Details shall be given regarding porch pier cladding indicating brick or natural stone. Applicant has submitted a porch column design sheet showing column variety include composite wrapped and white pine with options for a brick base and a column option with a tapered design and brick base.
- Architectural details of pool house consist of a primary façade martial of board and batten including a brick base with defined rowlock. Composite columns consist of a brick base with rowlock course on front elevation.

HONEY FARMS TOWNHOMES

2248 NASHVILLE HWY (SEC HWY 31 & HONEY FARM WAY)

COLUMBIA, TENNESSEE 38401

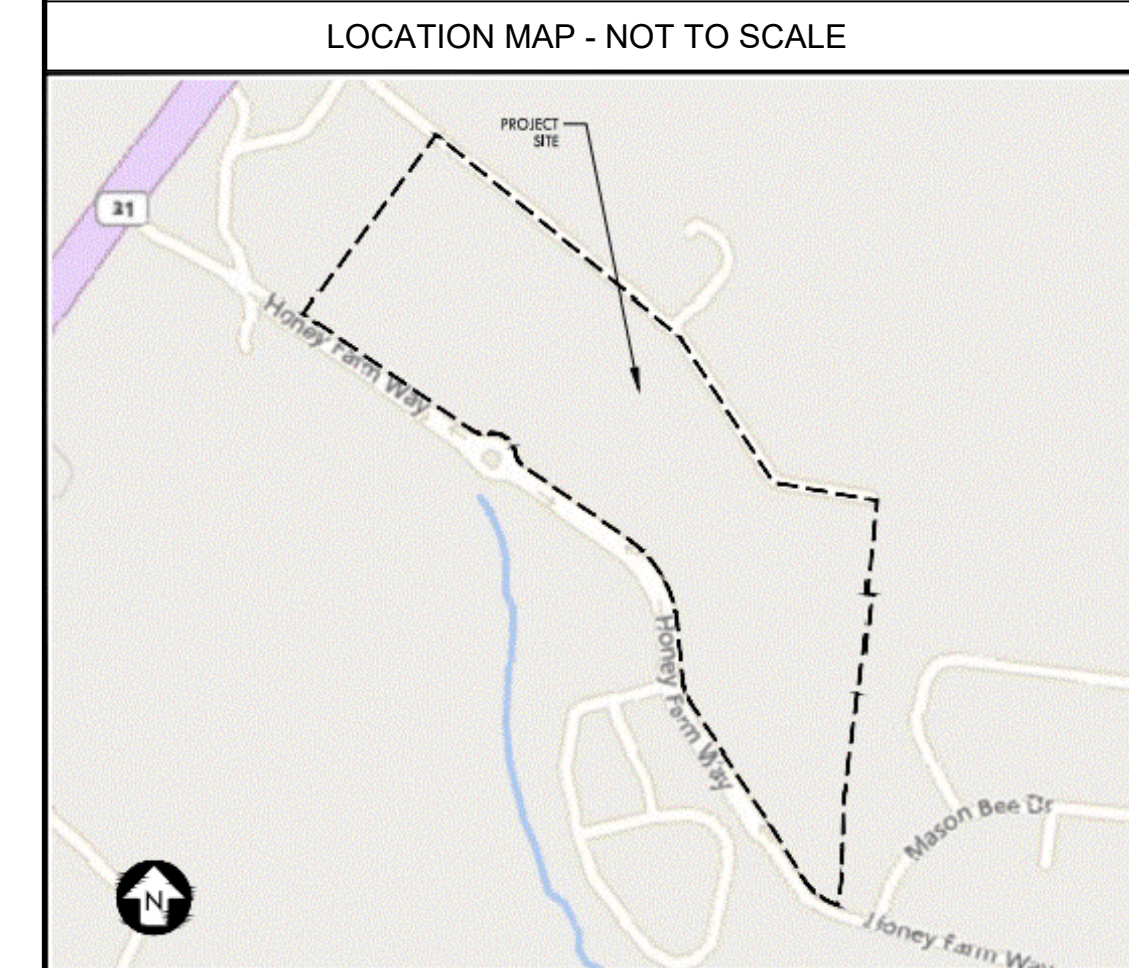


GENERAL NOTES:

- ① ALL TOWNHOMES SHALL BE DIFFERENTIATED SO THAT IT APPEARS TO BE COMPRISED OF TWO OR MORE ADJACENT BUILDINGS, BY DIVIDING SUCH FACADE INTO TWO SEGMENTS EACH OF WHICH INCLUDES A SEPARATE ENTRANCE AND (1) DIFFERS FROM EACH OF THE OTHER SEGMENTS WITH RESPECT TO ALL OF THE FOLLOWING: (a) A CHANGE IN SHAPE, SILL AND HEADER HEIGHT, DETAIL, SIZE, SPACING, RHYTHM, AND MUNTIN PATTERN OF WINDOWS. (b) A CHANGE OF BUILDING OR CORNICE HEIGHT, (c) A CHANGE IN CORNICE DETAILS, (d) A CHANGE IN WALL MATERIAL OR COLOR, A CHANGE IN TRIM COURSES AND OTHER HORIZONTAL ELEMENTS, (e) A CHANGE IN DORMER OR BALCONY DESIGN, IF ANY, AND (f) PROVIDING OR CHANGING PILASTERS, COLUMNS, OR OTHER FACADE ELEMENTS AND (2) IS COMPOSED WITH A DEFINED CENTER AND EDGES
- ② NO FACADE SHALL EXIST MORE THAN ONCE ON A BLOCK FACE OR WITHIN VIEW OF THE SAME FACADE
- ③ ALL FINISHED FLOOR LEVELS TO BE A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE AT FACADE
- ④ VARIANCE: ALL UNITS TO HAVE A FACADE WINDOW SILL HEIGHT AT A MINIMUM OF 36 INCHES ABOVE FINISHED GRADE

SHEET INDEX	
SHT. #	SHEET TITLE
C1.1	COVER SHEET
C1.2	OVERALL SITE PLAN
C1.3	SITE PLAN - ELEVATIONS & COLOR SCHEMES
A1.1	PLAN 1 - FLOORPLAN
A1.2	PLAN 1 - FRONT ELEVATIONS
A1.3	PLAN 1 - FRONT ELEVATIONS (CONT.)
A1.4	PLAN 1 - FULL ELEVATIONS
A1.5	PLAN 1 - BUILDING CONCEPT
A2.1	PLAN 2 - FLOORPLAN
A2.2	PLAN 2 - FRONT ELEVATIONS
A2.3	PLAN 2 - FULL ELEVATIONS
A2.4	PLAN 2 - BUILDING CONCEPT
A3.1	PLAN 3 - FLOORPLAN
A3.2	PLAN 3 - FRONT ELEVATIONS
A3.3	PLAN 3 - FRONT ELEVATIONS (CONT.)
A3.4	PLAN 3 - FULL ELEVATIONS
A3.5	PLAN 3 - BUILDING CONCEPT
A4.1	PLAN 4 - FLOORPLAN
A4.2	PLAN 4 - FRONT ELEVATIONS
A4.3	PLAN 4 - FRONT ELEVATIONS (CONT.)
A4.4	PLAN 4 - FRONT ELEVATIONS (CONT.)
A4.5	PLAN 4 - FRONT ELEVATIONS (CONT.)
A4.6	PLAN 4 - FULL ELEVATIONS
A4.7	PLAN 4 - BUILDING CONCEPT
A5.1	PLAN 5 - FLOORPLAN
A5.2	PLAN 5 - FRONT ELEVATIONS
A5.3	PLAN 5 - FRONT ELEVATIONS (CONT.)
A5.4	PLAN 5 - FRONT ELEVATIONS (CONT.)
A5.5	PLAN 5 - FRONT ELEVATIONS (CONT.)
A5.6	PLAN 5 - FULL ELEVATIONS
A5.7	PLAN 5 - BUILDING CONCEPT
A6.1	CLUBHOUSE - FLOORPLAN
A6.2	CLUBHOUSE - FRONT & BACK ELEVATIONS
A6.3	CLUBHOUSE - LEFT & RIGHT ELEVATIONS
A6.4	CLUBHOUSE - FULL ELEVATIONS
A7.1	WINDOW & DOOR SCHEDULE
A7.2	MATERIAL & TRIM SCHEDULE

PROJECT INFO	
# OF UNITS	UNIT TYPE
35	PLAN 1
4	PLAN 2
32	PLAN 3
134	PLAN 4 & 5
205	TOTAL NUMBER OF UNITS
1	CLUBHOUSE & LEASING OFFICE

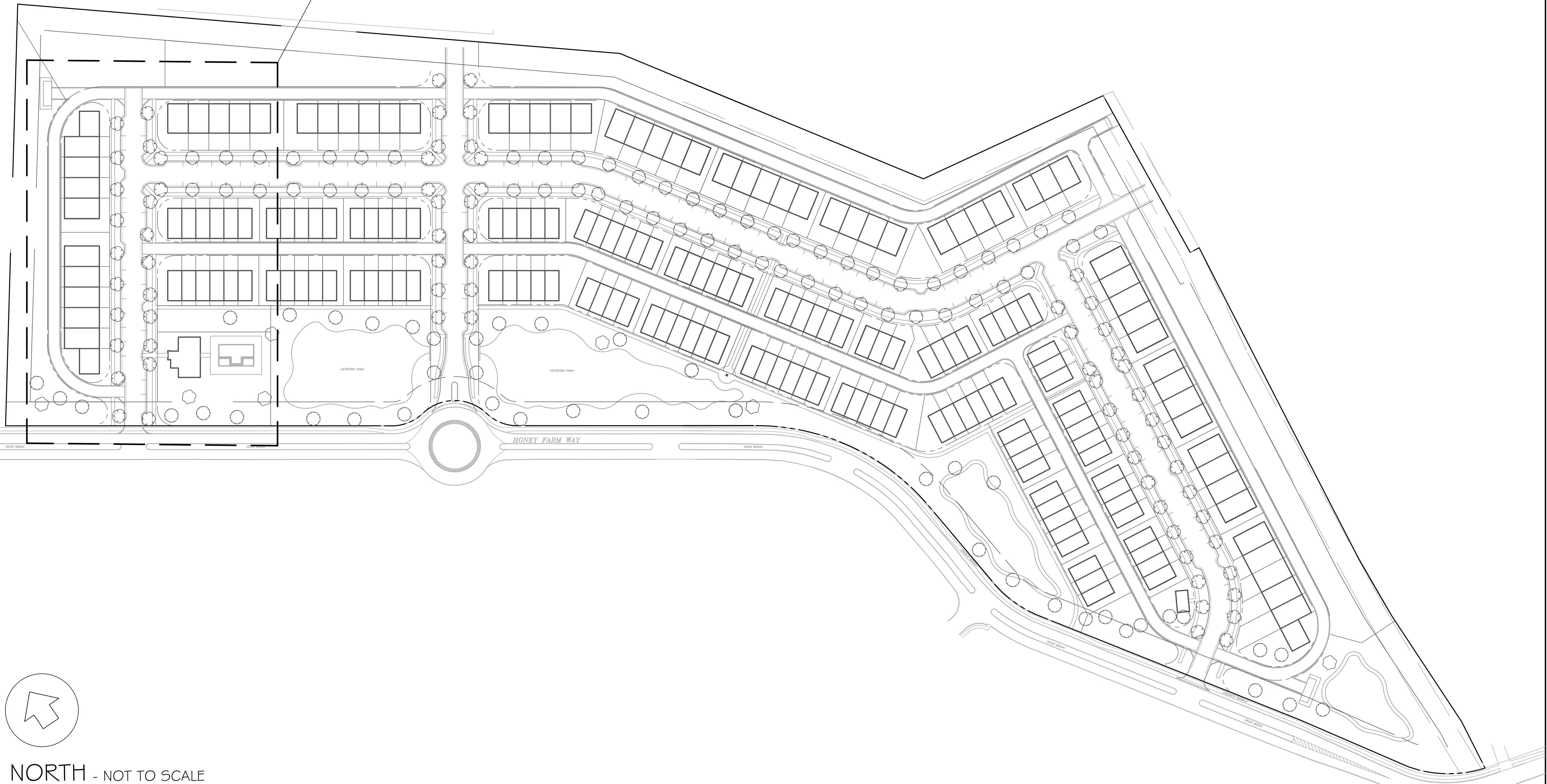


HONEY FARMS TOWNHOMES:
ARCHITECTURAL REVIEW SUBMITTAL

SUBDIVISION:
HONEY FARMS
MUNICIPALITY:
COLUMBIA,
TENNESSEE

C1.1

REFER TO SHEET C1.3 FOR
EXAMPLE ELEVATION & COLOR
SCHEME VARIATIONS IN THIS AREA



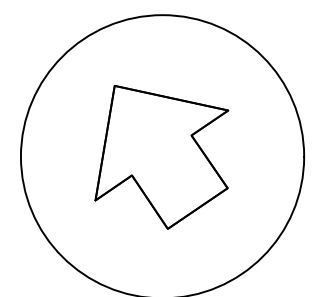
**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

OVERALL
SITE PLAN

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

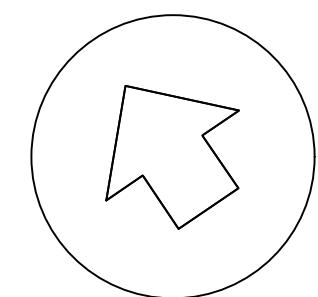
C1.2



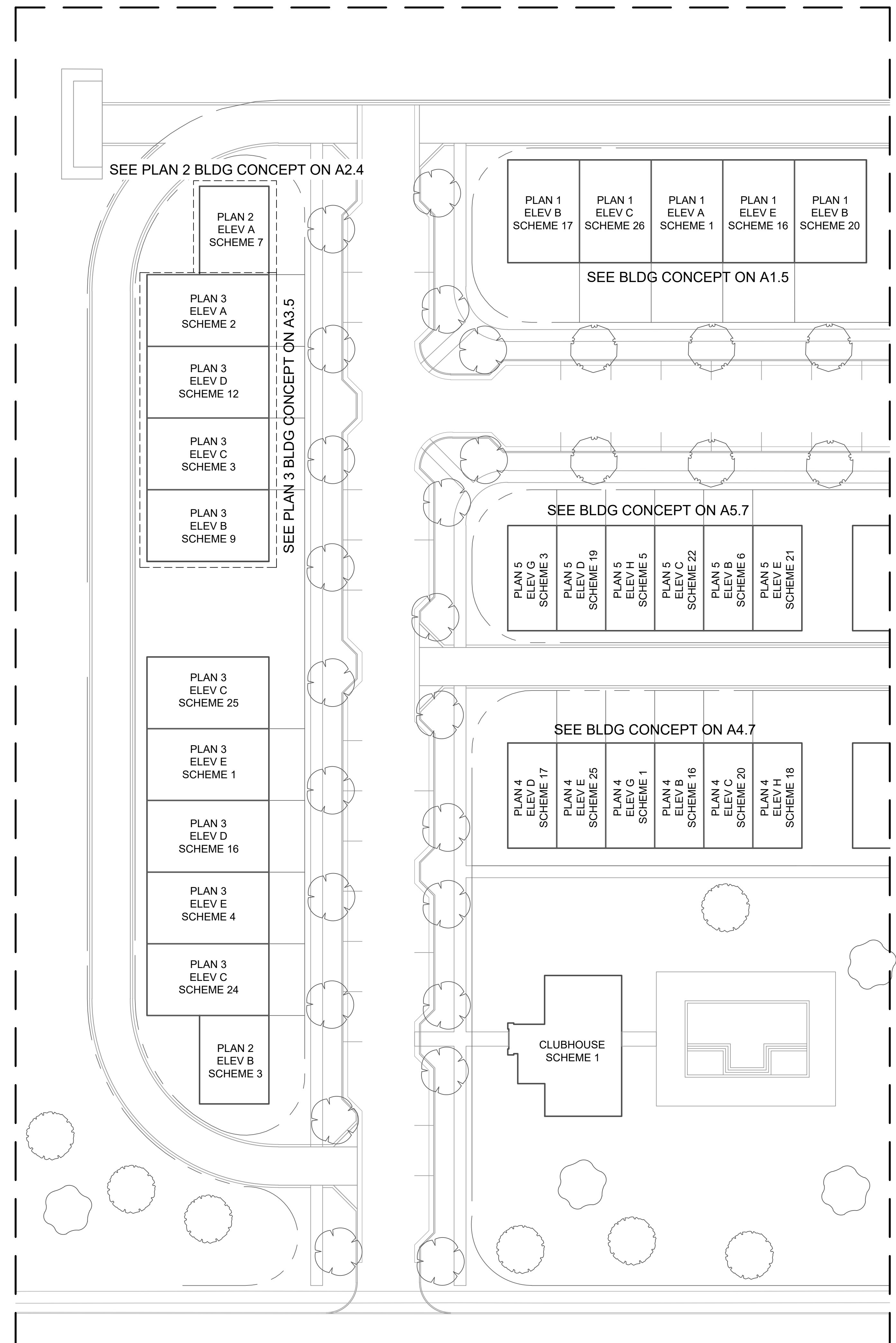
NORTH - NOT TO SCALE

GENERAL ELEVATION & FACADE NOTES:

- ① ALL TOWNHOMES SHALL BE DIFFERENTIATED SO THAT IT APPEARS TO BE COMPRISED OF TWO OR MORE ADJACENT BUILDINGS, BY DIVIDING SUCH FACADE INTO TWO SEGMENTS EACH OF WHICH INCLUDES A SEPARATE ENTRANCE AND (1) DIFFERS FROM EACH OF THE OTHER SEGMENTS WITH RESPECT TO ALL OF THE FOLLOWING: (a) A CHANGE IN SHAPE, SILL AND HEADER HEIGHT, DETAIL, SIZE, SPACING, RHYTHM, AND MUNTIN PATTERN OF WINDOWS. (b) A CHANGE OF BUILDING OR CORNICE HEIGHT, (c) A CHANGE IN CORNICE DETAILS, (d) A CHANGE IN WALL MATERIAL OR COLOR, A CHANGE IN TRIM COURSES AND OTHER HORIZONTAL ELEMENTS, (e) A CHANGE IN DORMER OR BALCONY DESIGN, IF ANY, AND (f) PROVIDING OR CHANGING PILASTERS, COLUMNS, OR OTHER FACADE ELEMENTS AND (2) IS COMPOSED WITH A DEFINED CENTER AND EDGES
- ② NO FACADE SHALL EXIST MORE THAN ONCE ON A BLOCK FACE OR WITHIN VIEW OF THE SAME FACADE
- ③ ALL FINISHED FLOOR LEVELS TO BE A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE AT FACADE
- ④ VARIANCE: ALL UNITS TO HAVE A FACADE WINDOW SILL HEIGHT AT A MINIMUM OF 36 INCHES ABOVE FINISHED GRADE



NORTH - NOT TO SCALE



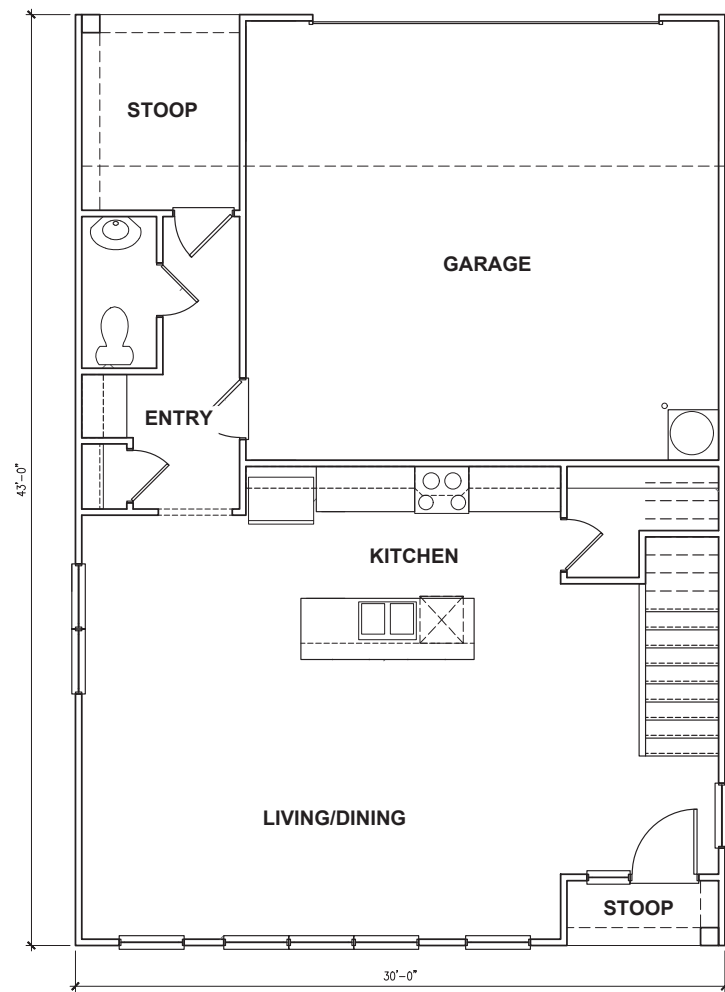
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

SITE PLAN -
ELEV & COLOR
VARIATION

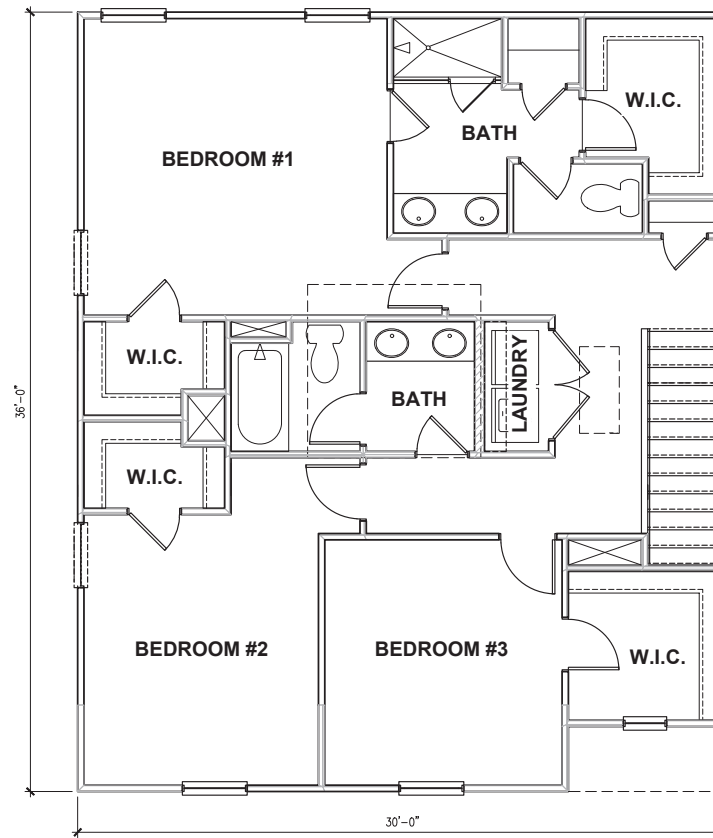
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

C1.3



FIRST FLOOR



SECOND FLOOR

PLAN 1 FLOORPLAN
SCALE: NTS



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 1

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A1.1

NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION A
COLOR SCHEME 3



ELEVATION B
COLOR SCHEME 7



ELEVATION C
COLOR SCHEME 11



ELEVATION D
COLOR SCHEME 14



ELEVATION E
COLOR SCHEME 17



ELEVATION F
COLOR SCHEME 18



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 1

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A1.2
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION G
COLOR SCHEME 28



ELEVATION H
COLOR SCHEME 25



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 1

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A1.3
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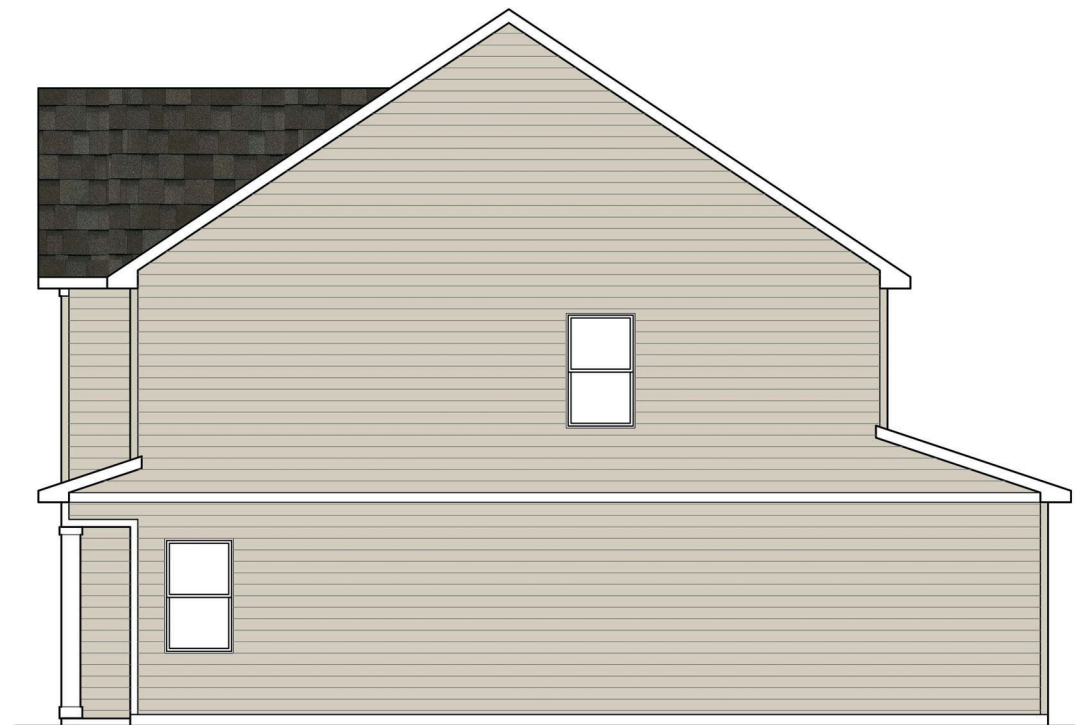
FRONT
COLOR SCHEME 5



LEFT (END UNIT CONDITION)
COLOR SCHEME 5



BACK
COLOR SCHEME 5



RIGHT (END UNIT CONDITION)
COLOR SCHEME 5



ELEV B
DOOR STYLE 2
4 / CLEAR WINDOW GRID
COLOR SCHEME 17

ELEV C
DOOR STYLE 1
4 / 4 WINDOW GRID
COLOR SCHEME 26

ELEV A
DOOR STYLE 3
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 1

ELEV E
DOOR STYLE 2
4 / CLEAR WINDOW GRID
COLOR SCHEME 16

ELEV B
DOOR STYLE 1
4 / 4 WINDOW GRID
COLOR SCHEME 20

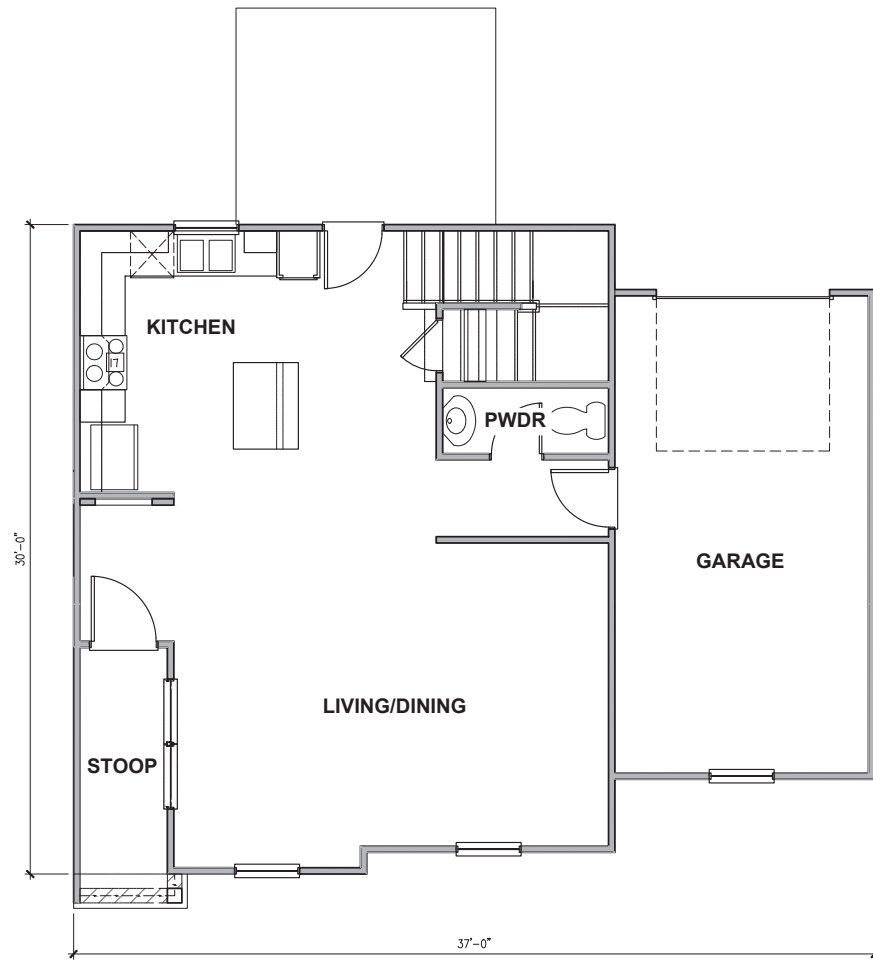
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ARCH. REVIEW SUBMITTAL

PLAN 1

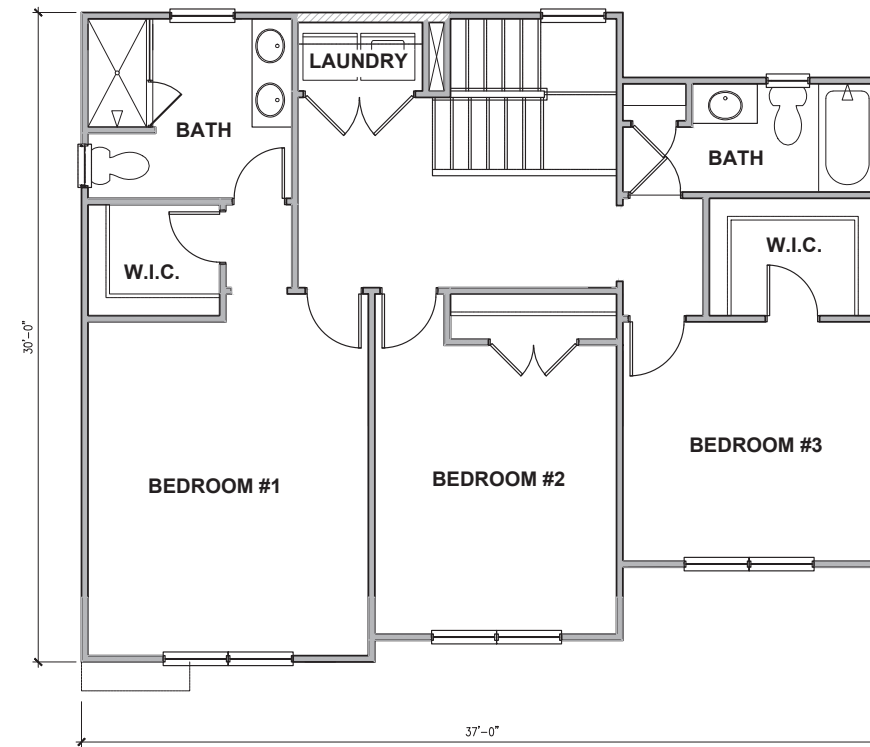
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A1.5
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FIRST FLOOR



SECOND FLOOR

PLAN 2 FLOORPLAN
SCALE: NTS

HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 2

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A2.1

NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION A
COLOR SCHEME 6



ELEVATION B
COLOR SCHEME 17



ELEVATION C
COLOR SCHEME 23



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 2

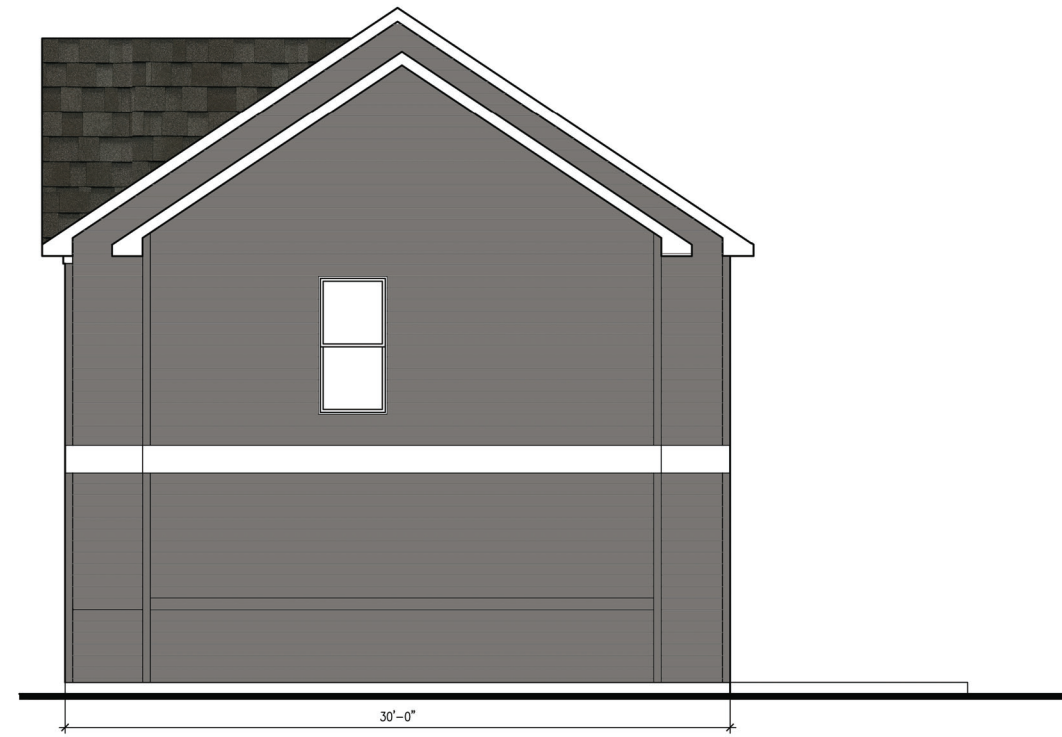
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A2.2
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FRONT
COLOR SCHEME 20



RIGHT
COLOR SCHEME 20



REAR
COLOR SCHEME 20



LEFT
COLOR SCHEME 20



PLAN 3 - ELEV B
DOOR STYLE 5
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 9

PLAN 3 - ELEV C
DOOR STYLE 1
4 / CLEAR WINDOW GRID
COLOR SCHEME 3

PLAN 3 - ELEV D
DOOR STYLE 2
4 / 4 WINDOW GRID
COLOR SCHEME 12

PLAN 3 - ELEV A
DOOR STYLE 5
2 / 2 WINDOW GRID
COLOR SCHEME 2

PLAN 2 - ELEV A
DOOR STYLE 4
9 / CLEAR WINDOW
GRID COLOR SCHEME 7

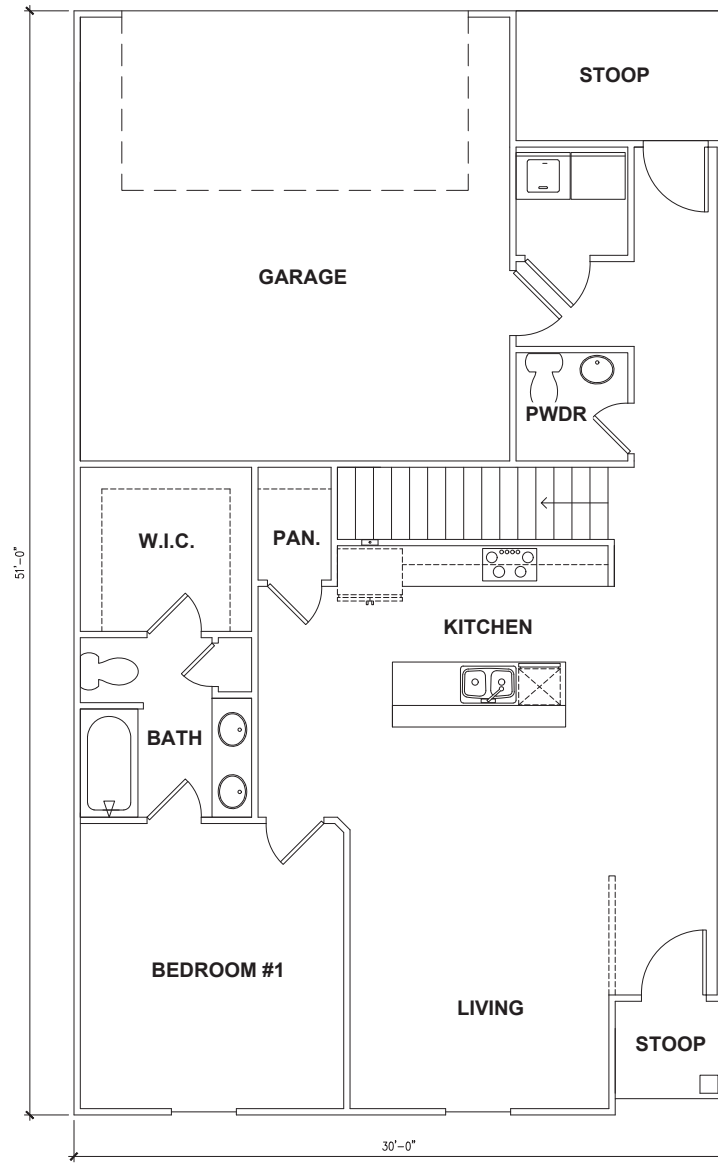
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 2

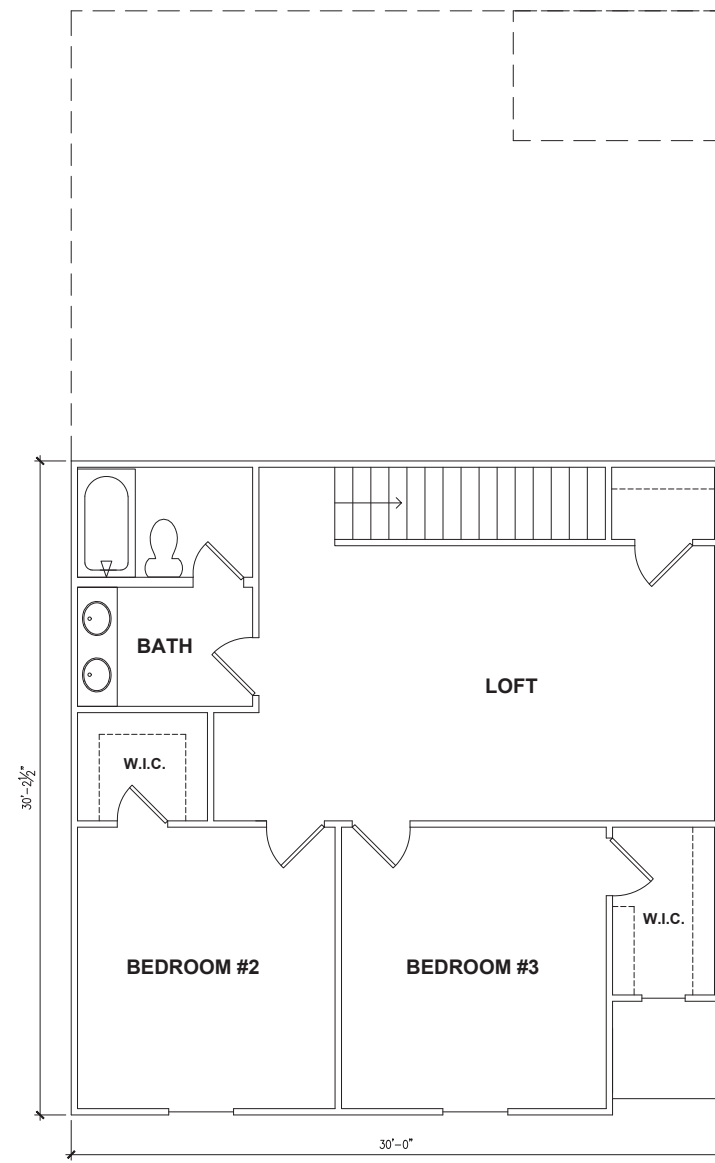
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A2.4
Page 33 of 341



PLAN 3 - FIRST FLOOR



PLAN 3 - SECOND FLOOR

PLAN 3 FLOORPLAN
SCALE: NTS

HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 3

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A3.1



ELEVATION A
COLOR SCHEME 27



ELEVATION B
COLOR SCHEME 18



ELEVATION C
COLOR SCHEME 14



ELEVATION D
COLOR SCHEME 9



ELEVATION E
COLOR SCHEME 6



ELEVATION F
COLOR SCHEME 4

NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION G

COLOR SCHEME 17



ELEVATION H

COLOR SCHEME 24



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 3

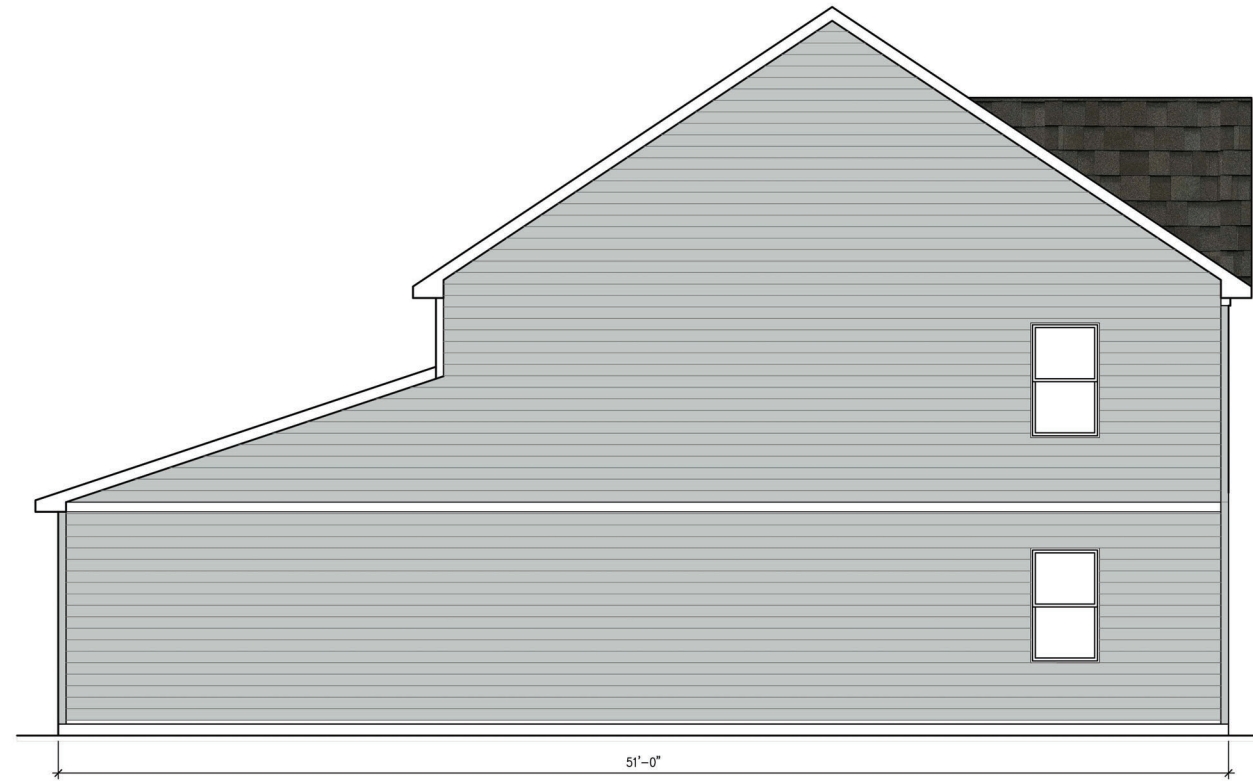
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A3.3



FRONT
COLOR SCHEME 15



LEFT (END UNIT CONDITION)
COLOR SCHEME 15



BACK
COLOR SCHEME 15



RIGHT (END UNIT CONDITION)
COLOR SCHEME 15



PLAN 3 - ELEV B
DOOR STYLE 5
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 9

PLAN 3 - ELEV C
DOOR STYLE 1
4 / CLEAR WINDOW GRID
COLOR SCHEME 3

PLAN 3 - ELEV D
DOOR STYLE 2
4 / 4 WINDOW GRID
COLOR SCHEME 12

PLAN 3 - ELEV A
DOOR STYLE 5
2 / 2 WINDOW GRID
COLOR SCHEME 2

PLAN 2 - ELEV A
DOOR STYLE 4
9 / CLEAR WINDOW
GRID COLOR SCHEME 7

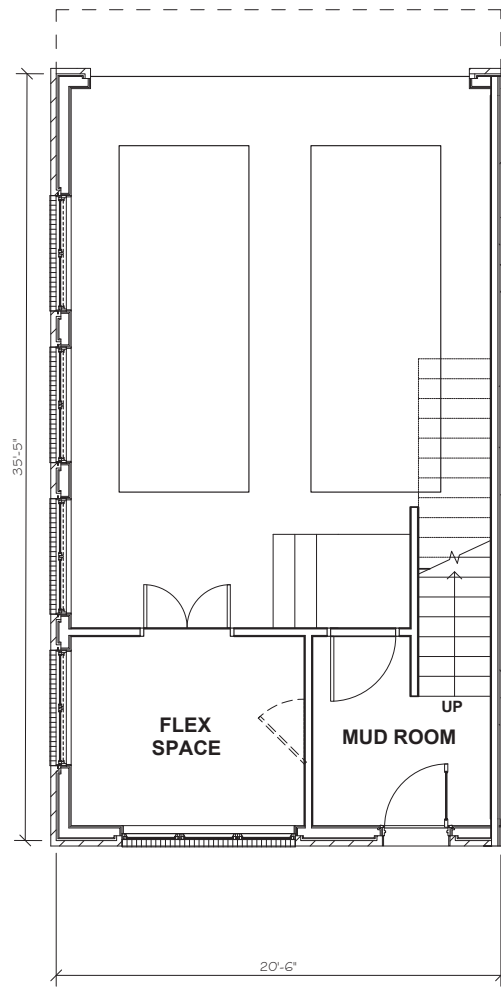
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 3

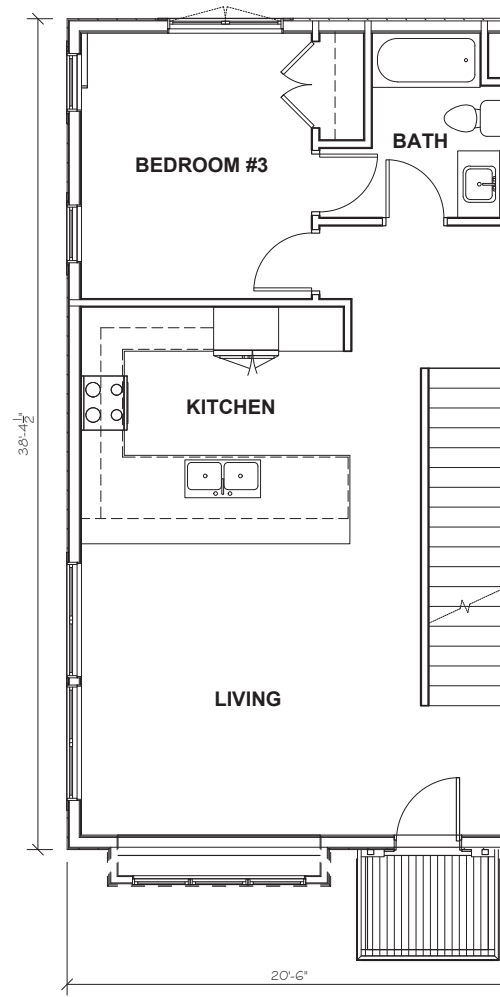
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

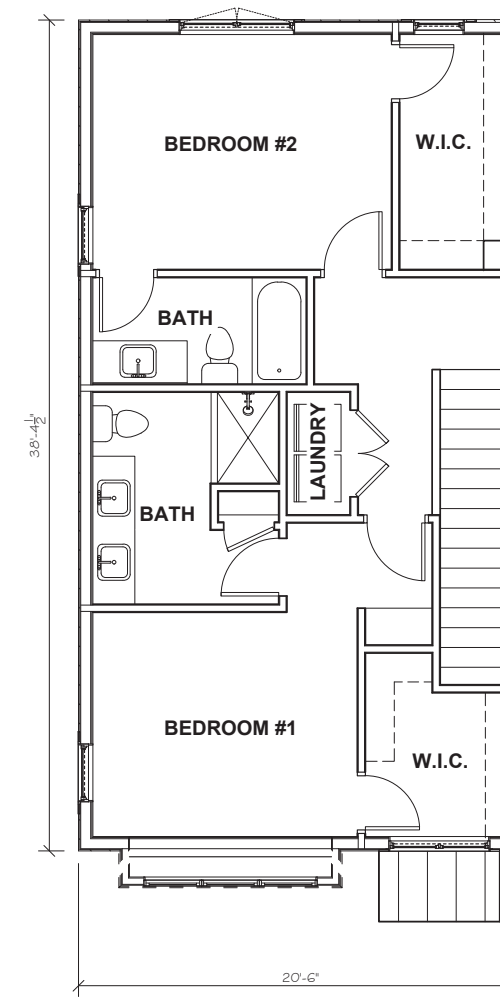
A3.5
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FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

PLAN 4 FLOOR PLAN
SCALE: NTS



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

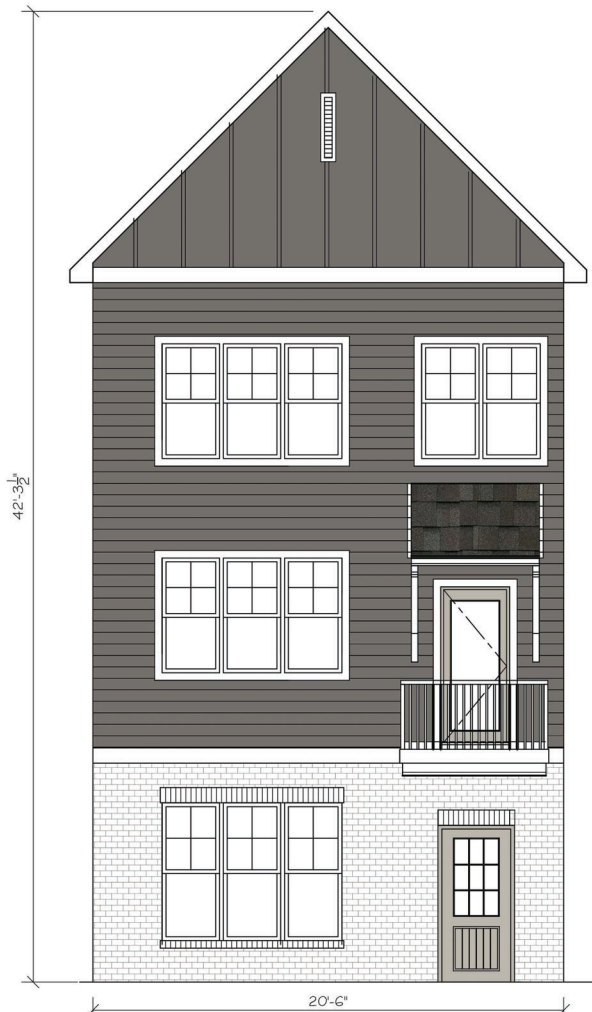
PLAN 4

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A4.1

NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



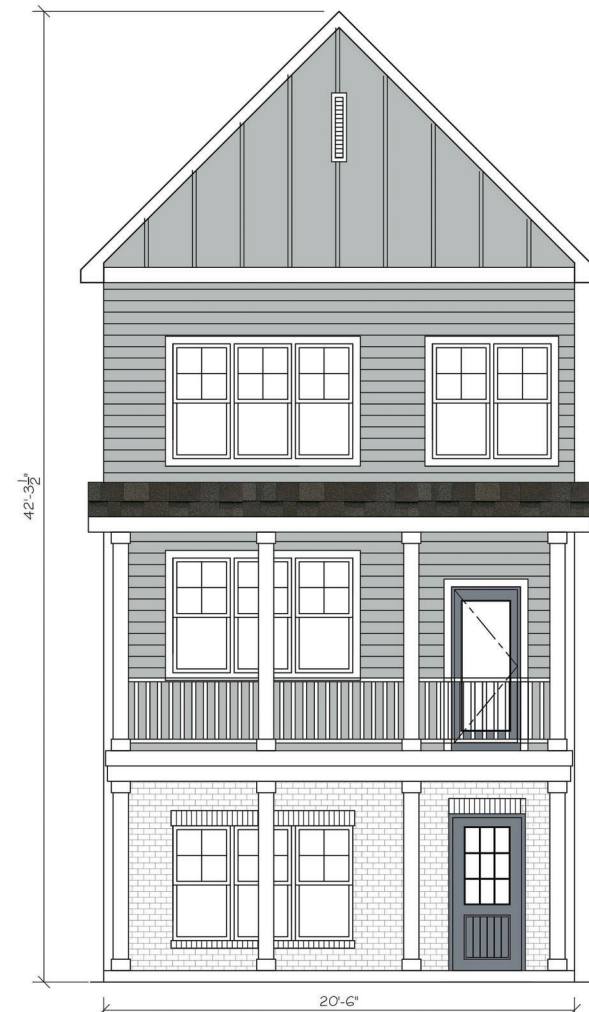
ELEVATION A

COLOR SCHEME 16



ELEVATION B

COLOR SCHEME 7



ELEVATION C

COLOR SCHEME 14



ELEVATION D

COLOR SCHEME 5

**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

PLAN 4

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A4.2
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION A

COLOR SCHEME 22



ELEVATION B

COLOR SCHEME 27



ELEVATION C

COLOR SCHEME 23



ELEVATION D

COLOR SCHEME 25

**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

PLAN 4

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A4.3
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION E

COLOR SCHEME 18



ELEVATION F

COLOR SCHEME 6



ELEVATION G

COLOR SCHEME 12



ELEVATION H

COLOR SCHEME 13

**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

PLAN 4

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A4.4
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION E

COLOR SCHEME 1



ELEVATION F

COLOR SCHEME 2



ELEVATION G

COLOR SCHEME 3



ELEVATION H

COLOR SCHEME 5

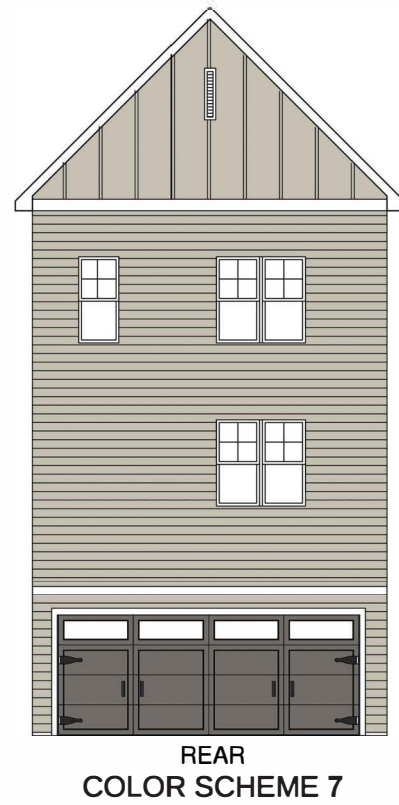
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 4

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A4.5
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ELEV D
DOOR STYLE 1
4 / 4 WINDOW GRID
COLOR SCHEME 17

ELEV E
DOOR STYLE 3
4 / CLEAR WINDOW GRID
COLOR SCHEME 25

ELEV G
DOOR STYLE 4
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 1

ELEV B
DOOR STYLE 5
2 / 2 WINDOW GRID
COLOR SCHEME 16

ELEV C
DOOR STYLE 1
9 / 9 WINDOW GRID
COLOR SCHEME 20

ELEV H
DOOR STYLE 2
4 / CLEAR WINDOW GRID
COLOR SCHEME 18

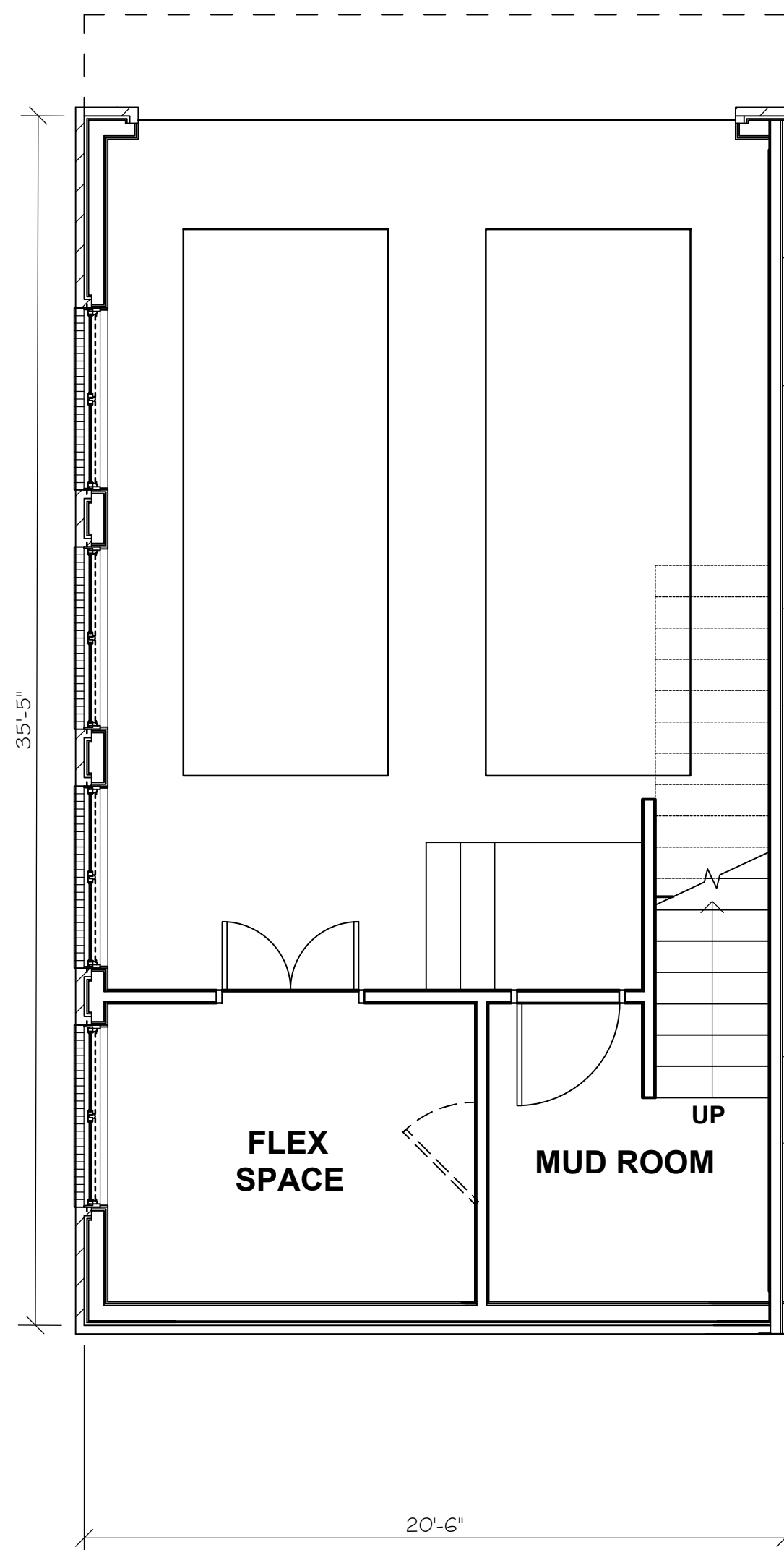
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 4

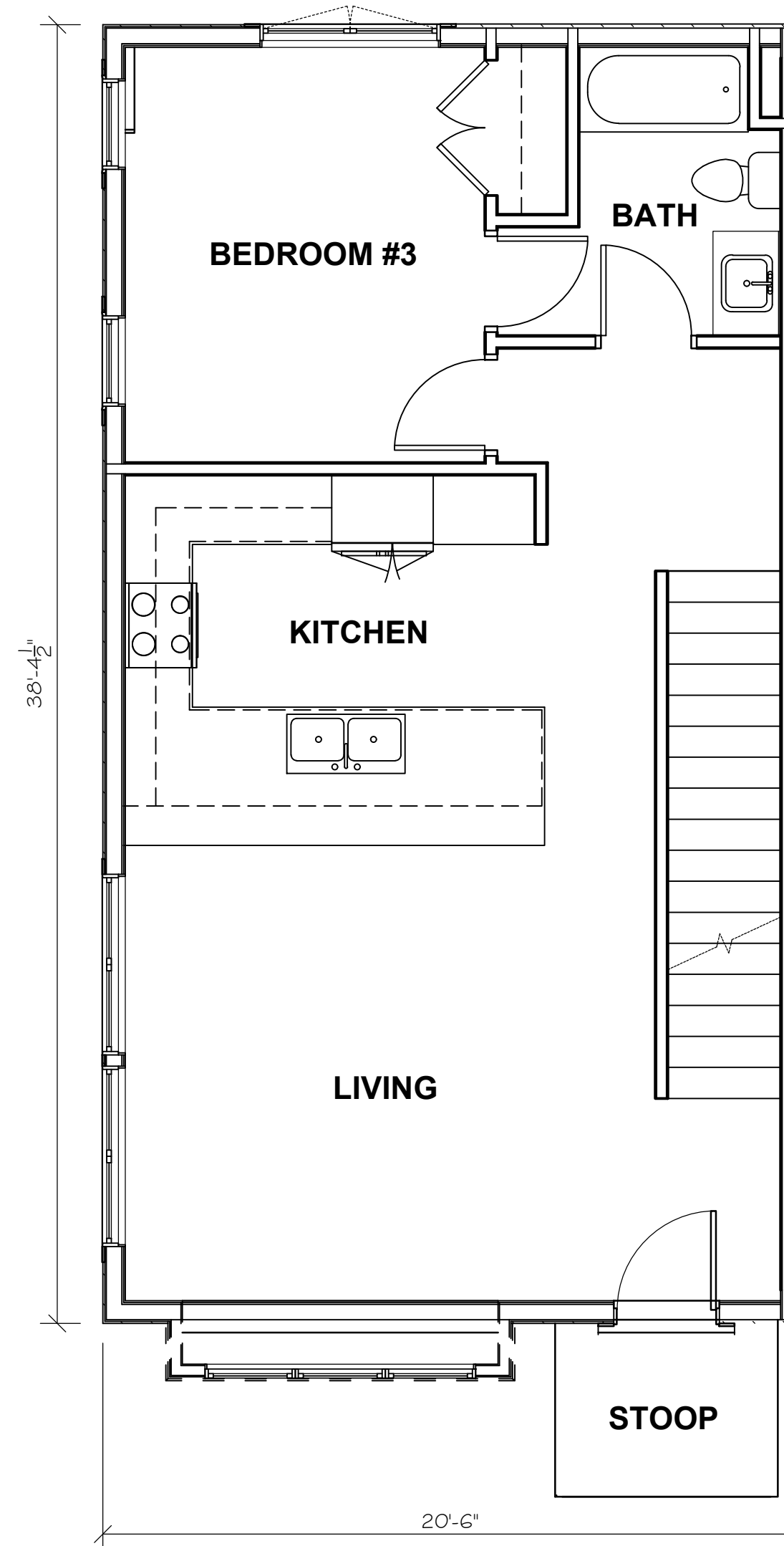
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

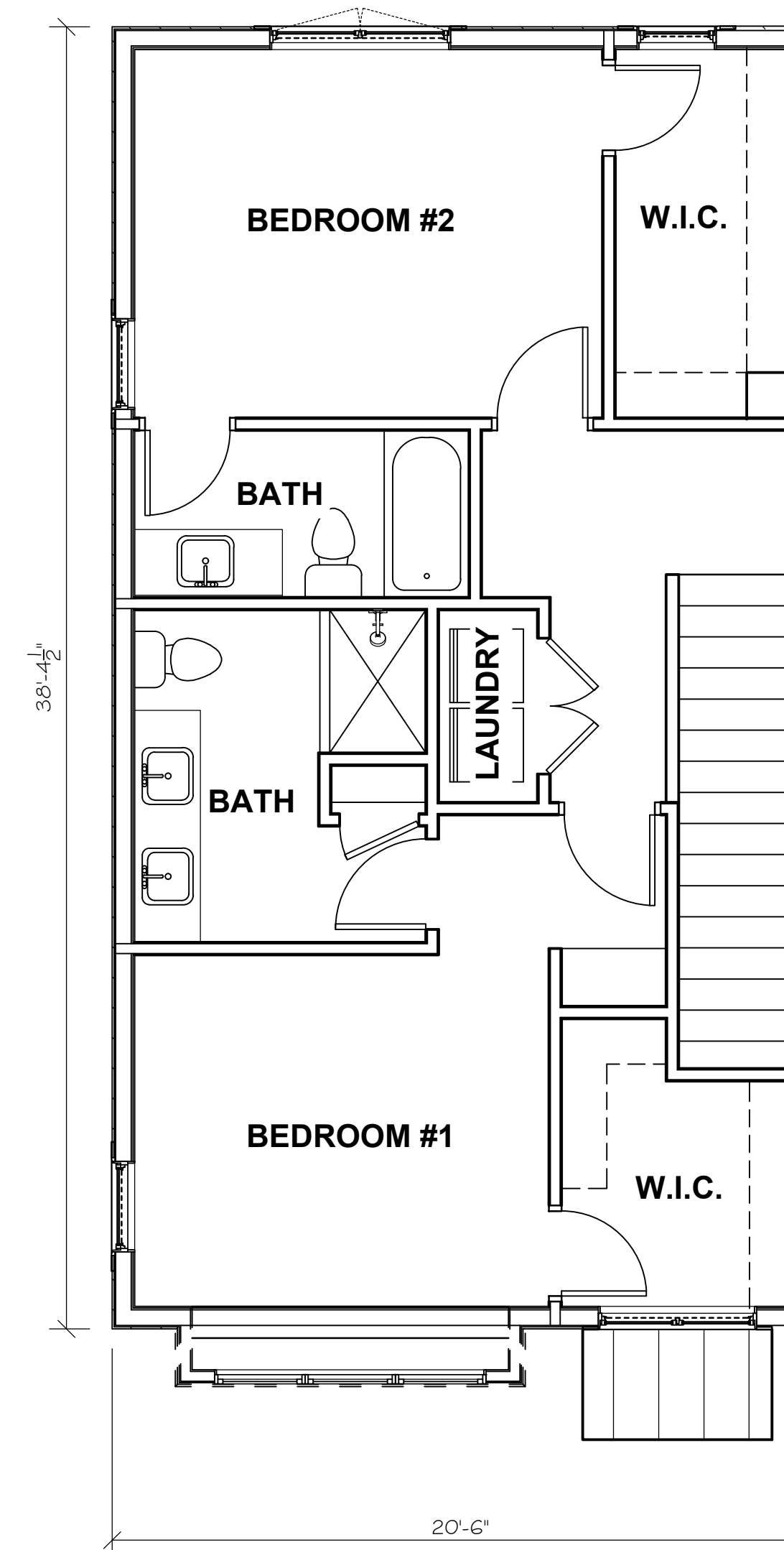
A4.7
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FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

PLAN 5 FLOOR PLAN
SCALE: NTS



HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 5

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A5.1

NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION A

COLOR SCHEME 8



ELEVATION B

COLOR SCHEME 13



ELEVATION C

COLOR SCHEME 4



ELEVATION D

COLOR SCHEME 18

HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 5

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A5.2
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION A

COLOR SCHEME 21



ELEVATION B

COLOR SCHEME 23



ELEVATION C

COLOR SCHEME 2



ELEVATION D

COLOR SCHEME 22

HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 5

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A5.3
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



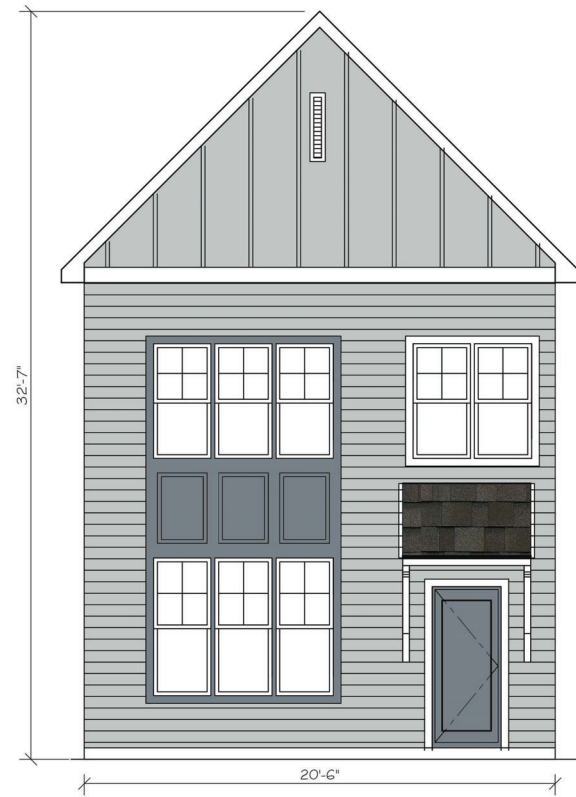
ELEVATION E

COLOR SCHEME 27



ELEVATION F

COLOR SCHEME 5



ELEVATION G

COLOR SCHEME 14



ELEVATION H

COLOR SCHEME 15

**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

PLAN 5

SUBDIVISION:
HONEY FARMS
MUNICIPALITY:
COLUMBIA,
TENNESSEE

A5.4
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NOTE: TYPICAL FACADE CONFIGURATION SHOWN. WINDOWS, FRONT DOORS, TRIM & COLUMNS VARY PER APPLICATION



ELEVATION E

COLOR SCHEME 25



ELEVATION F

COLOR SCHEME 2



ELEVATION G

COLOR SCHEME 10



ELEVATION H

COLOR SCHEME 6

HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 5

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A5.5
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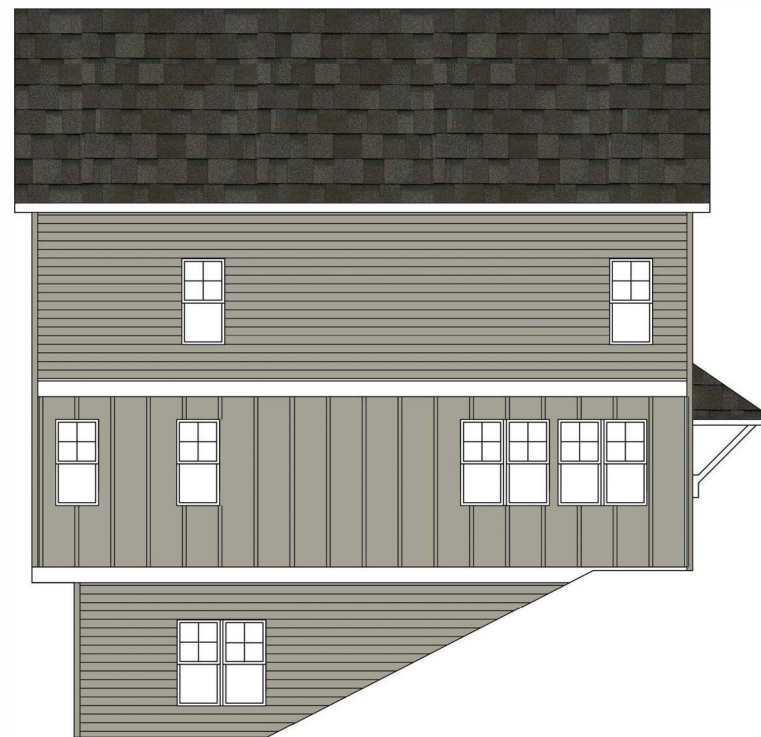
FRONT
COLOR SCHEME 12



RIGHT
COLOR SCHEME 12



REAR
COLOR SCHEME 12



LEFT
COLOR SCHEME 12



ELEV G
DOOR STYLE 3
4 / 4 WINDOW GRID
COLOR SCHEME 3

ELEV D
DOOR STYLE 2
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 19

ELEV H
DOOR STYLE 1
2 / 2 WINDOW GRID
COLOR SCHEME 5

ELEV C
DOOR STYLE 4
4 / CLEAR WINDOW GRID
COLOR SCHEME 22

ELEV B
DOOR STYLE 5
9 / CLEAR WINDOW GRID
COLOR SCHEME 6

ELEV E
DOOR STYLE 2
CLEAR / CLEAR WINDOW GRID
COLOR SCHEME 21

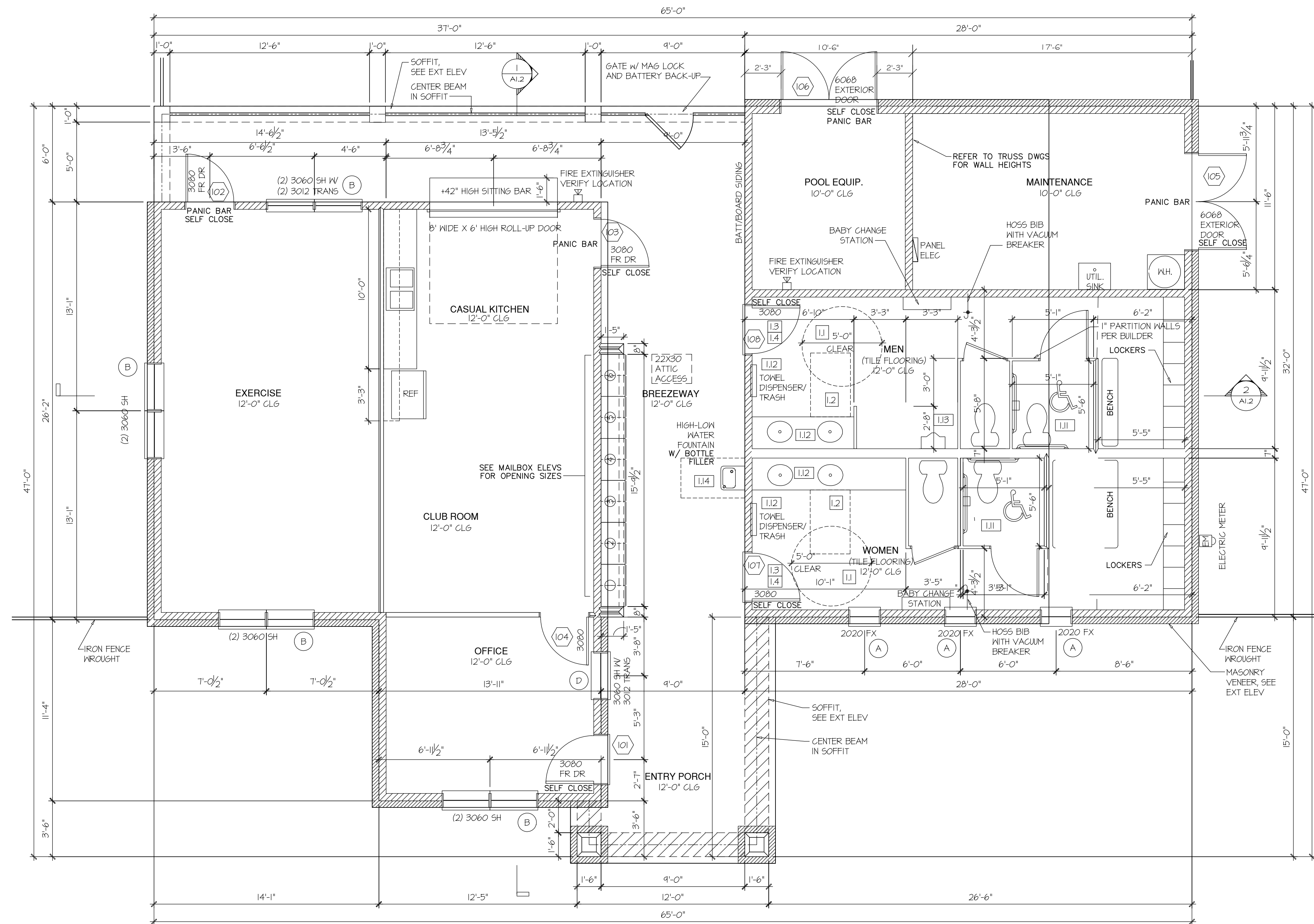
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

PLAN 5

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A5.7
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**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

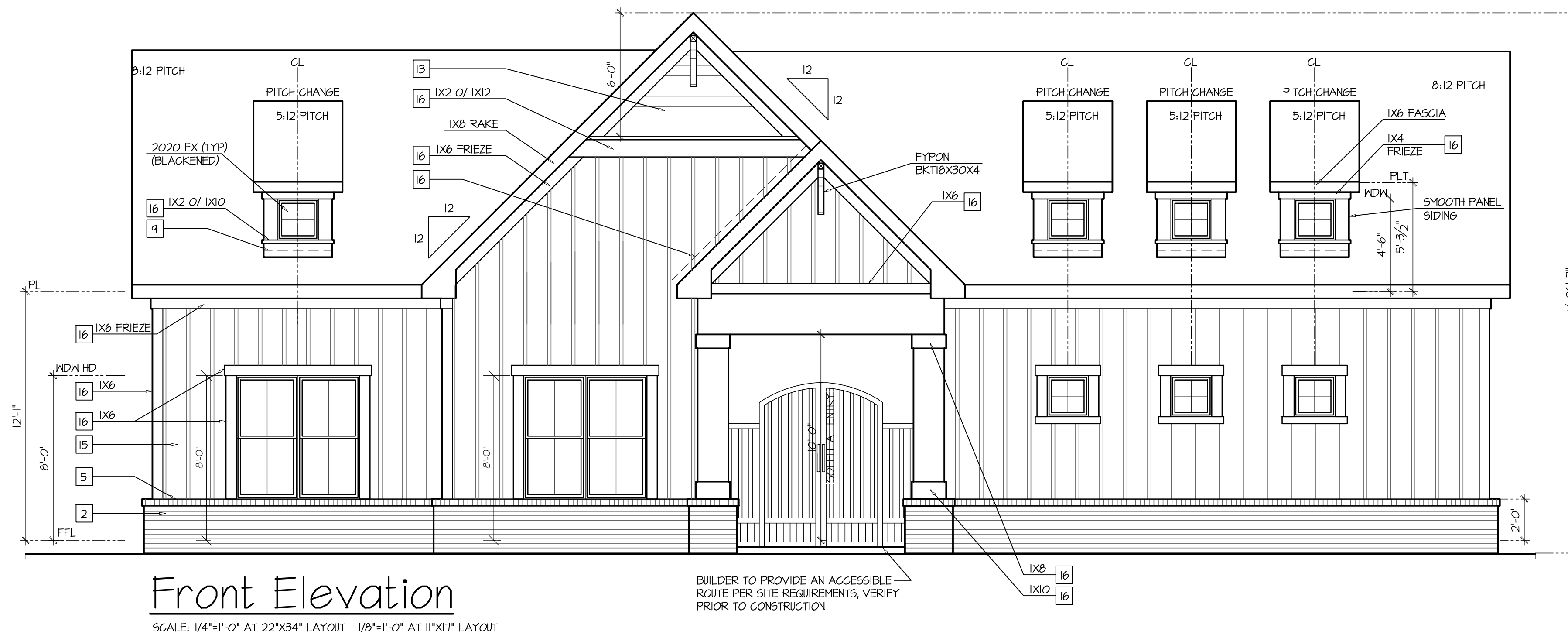
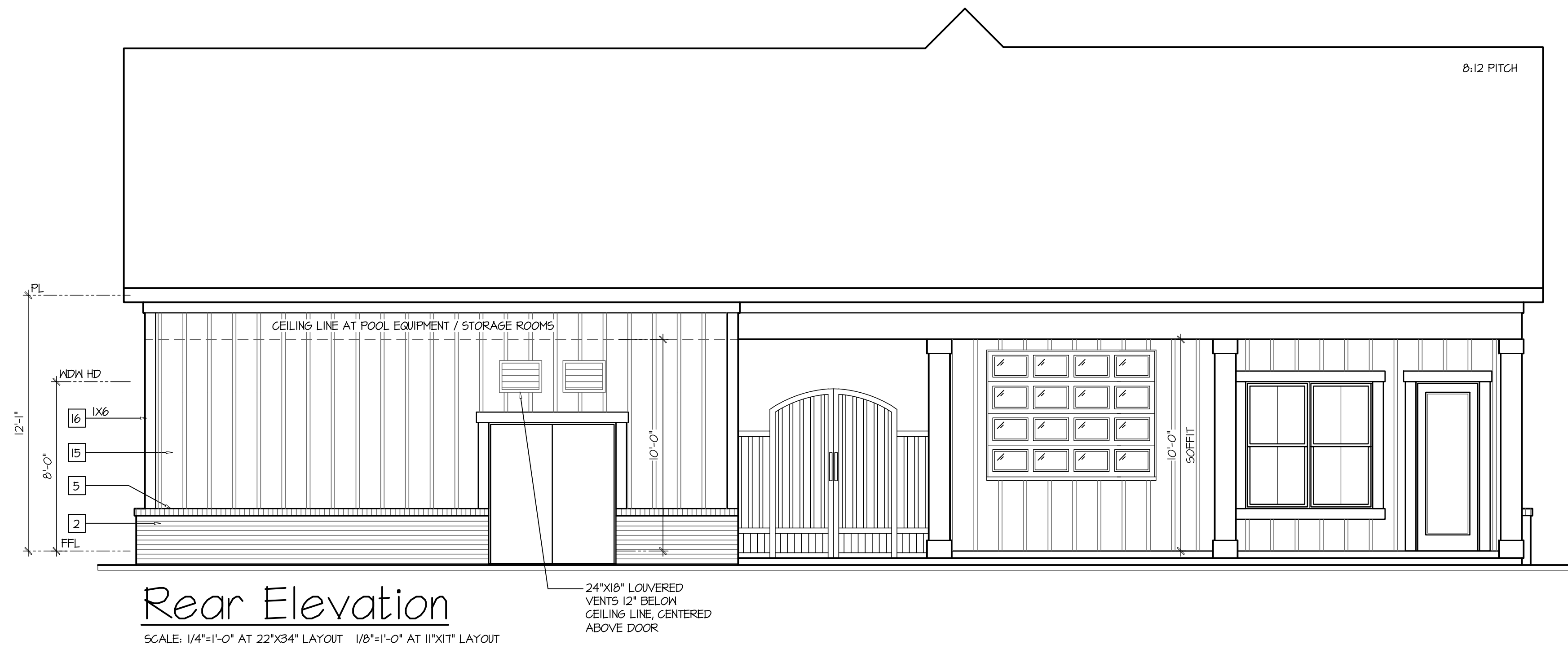
CLUBHOUSE

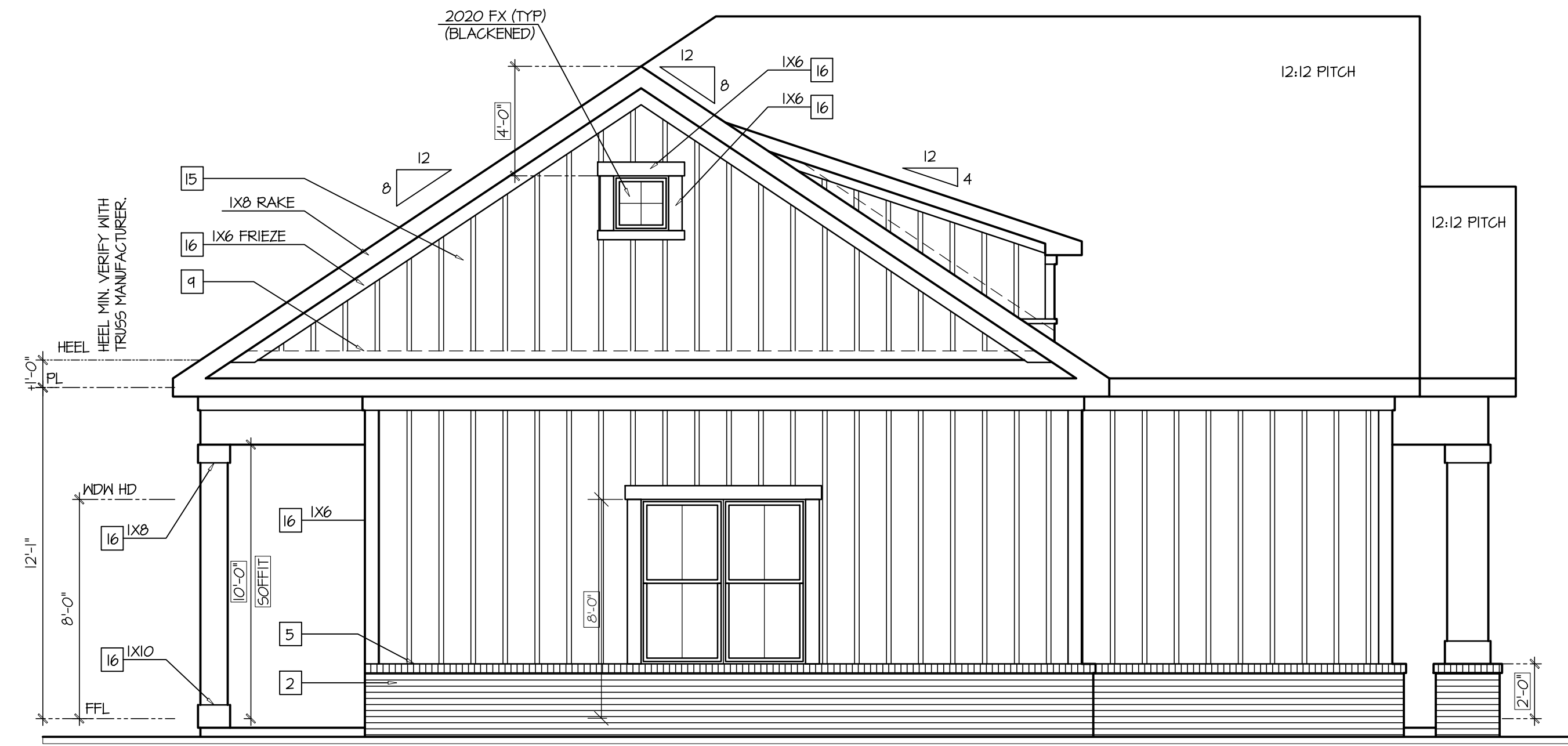
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A6.1

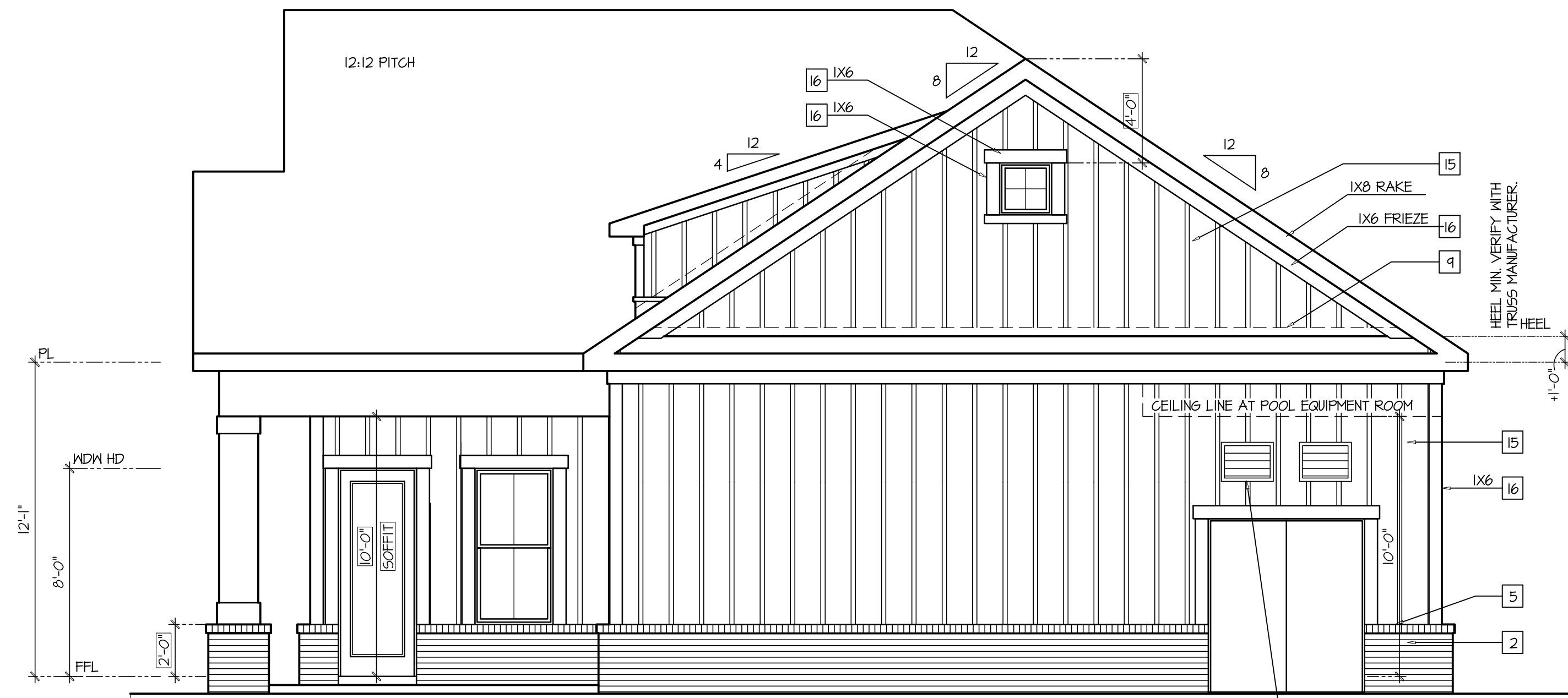
CLUBHOUSE FLOORPLAN
SCALE: NTS





Left Elevation

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Right Elevation

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

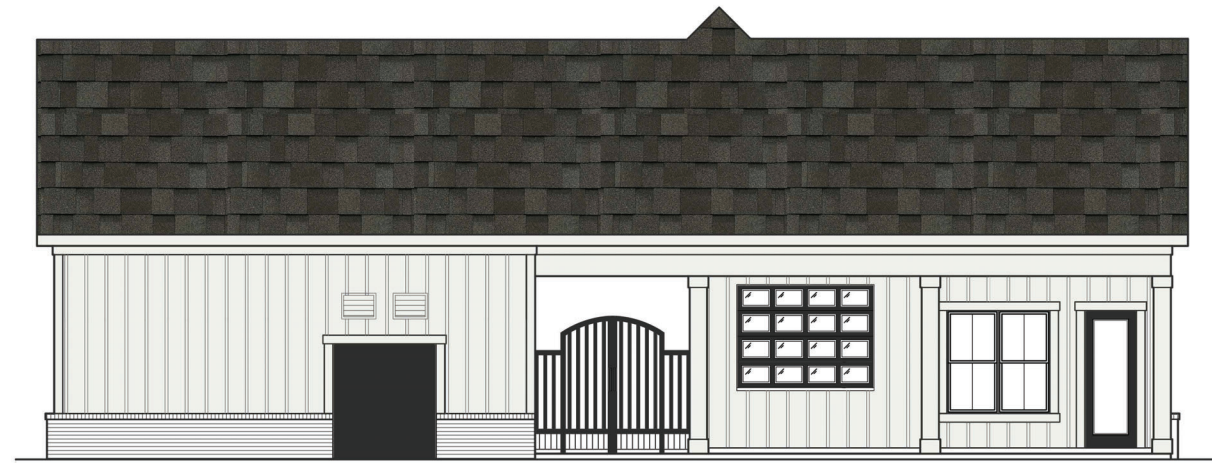
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

CLUBHOUSE

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A6.3



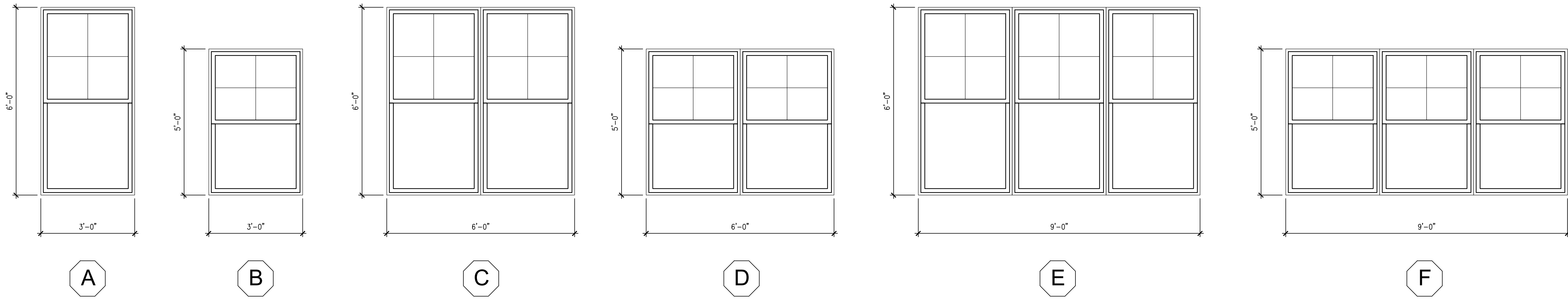
HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL

CLUBHOUSE

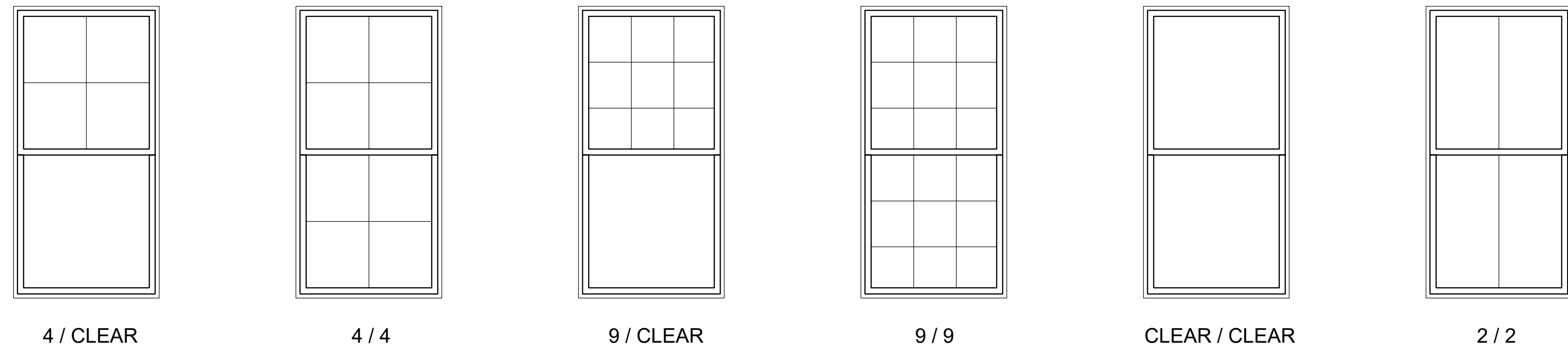
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

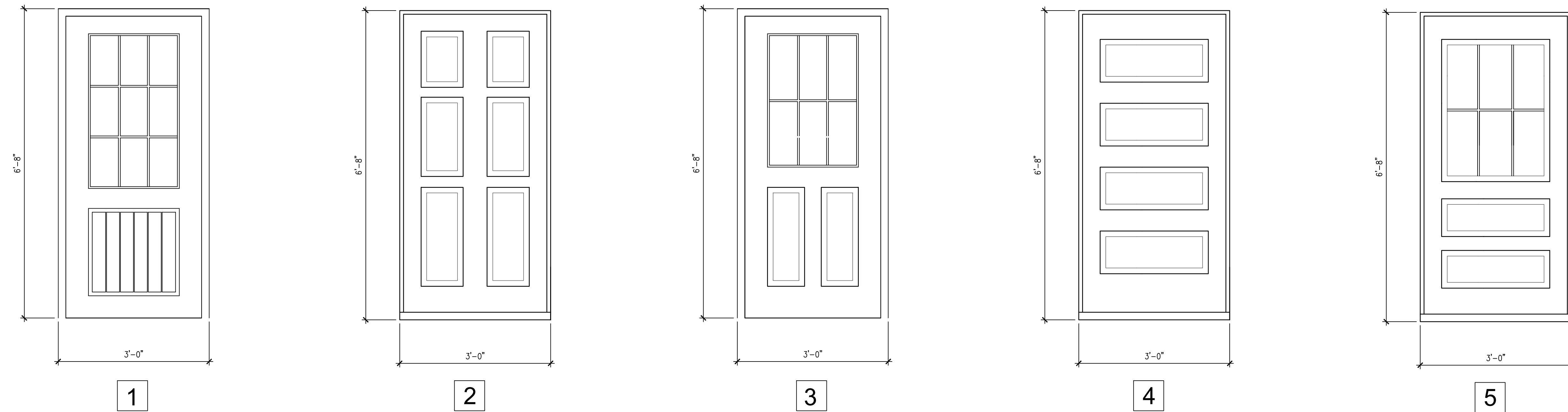
WINDOW SCHEDULE: (NO TWO ADJACENT UNITS TO HAVE THE SAME WINDOW RHYTHM OR GRID PATTERN)



GRID PATTERNS:



FRONT DOOR SCHEDULE: (NO TWO ADJACENT UNITS TO HAVE THE SAME FRONT DOOR STYLE)



**HONEY FARMS TOWNHOMES:
ARCH. REVIEW SUBMITTAL**

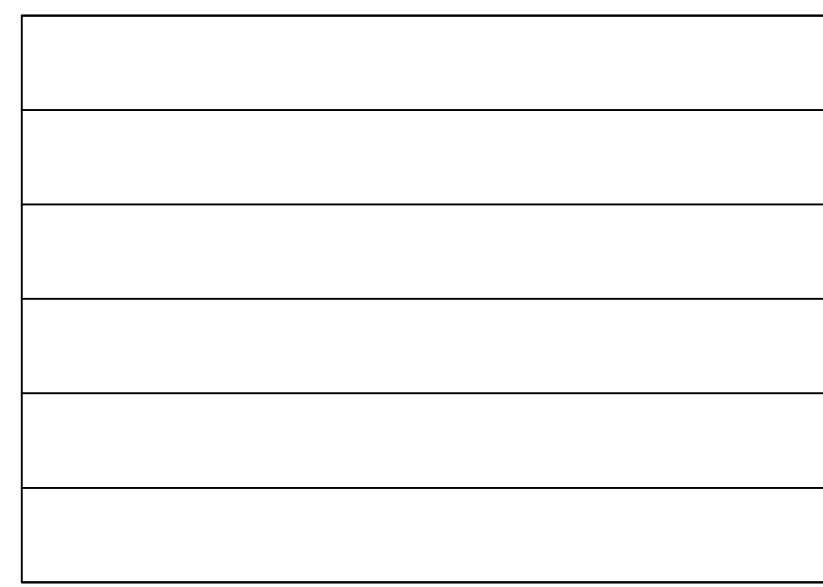
WIN. & DOOR
SCHEDULE

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A7.1

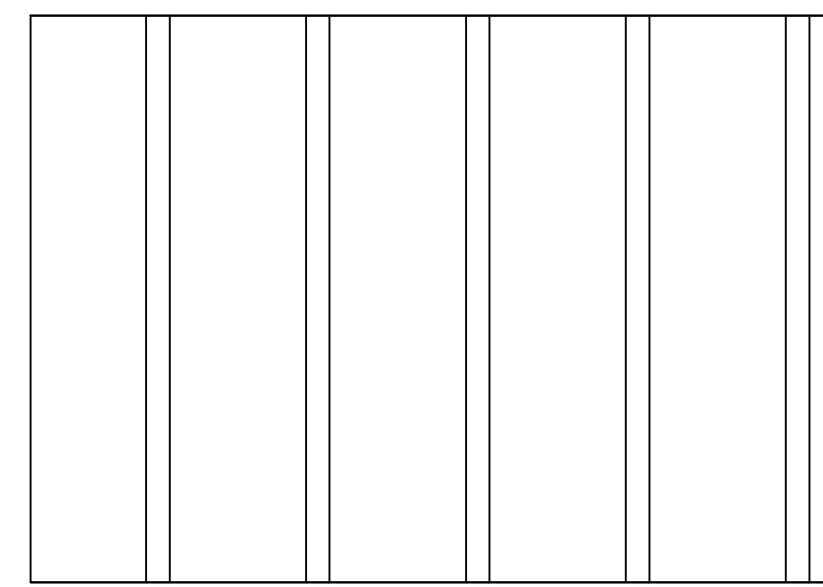
FACADE MATERIALS:



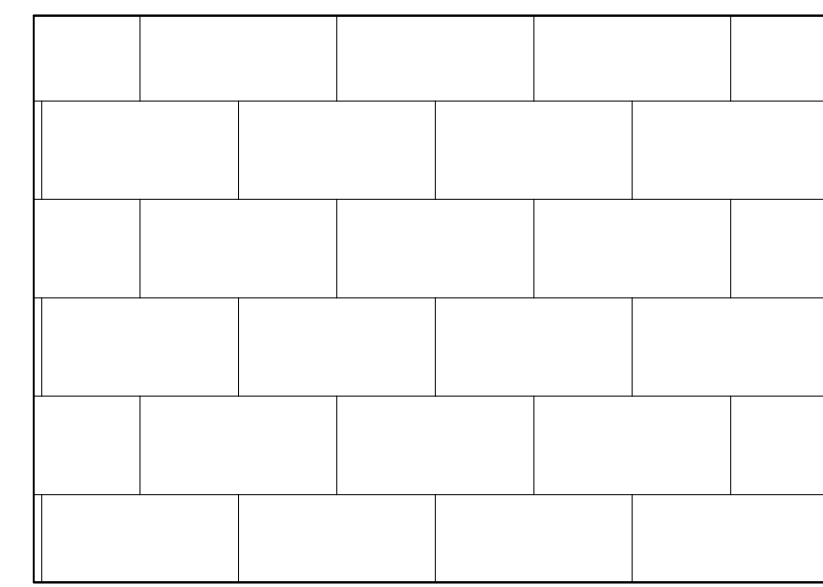
7.25" HARDIE CEDARMILL
LAP SIDING



12" HARDIE CEDARMILL
LAP SIDING



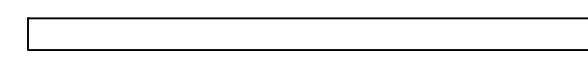
HARDIE BOARD & BATTEN



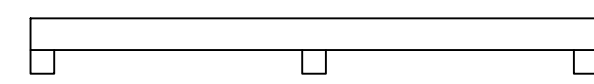
PAINTED BRICK



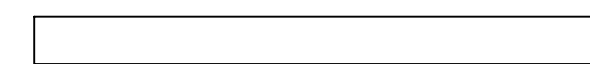
HORIZONTAL TRIM ELEMENTS:



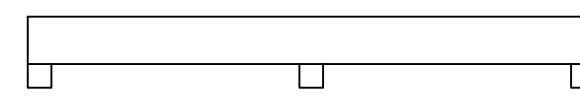
1"x8" HARDIE



1"x8" HARDIE
W/ CORBELS



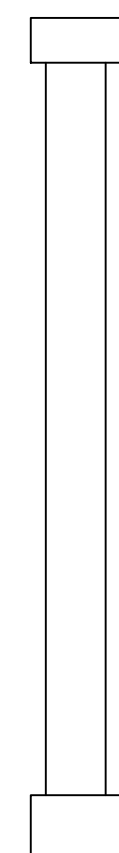
1"x12" HARDIE



1"x12" HARDIE
W/ CORBELS



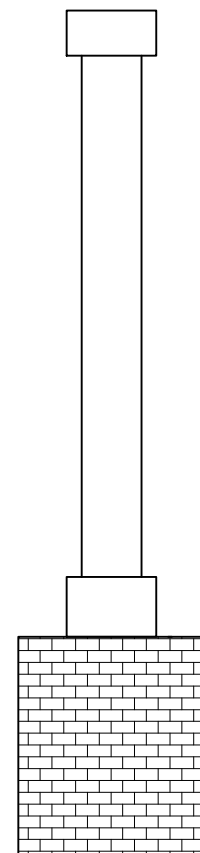
FRONT COLUMNS:



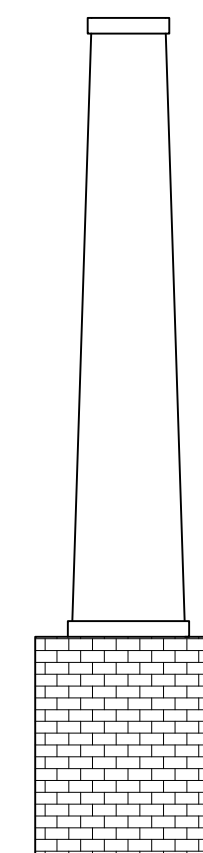
8"x8" HARDIE WRAPPED



8"x8" WHITE PINE



HARDIE COLUMN
W/ BRICK BASE



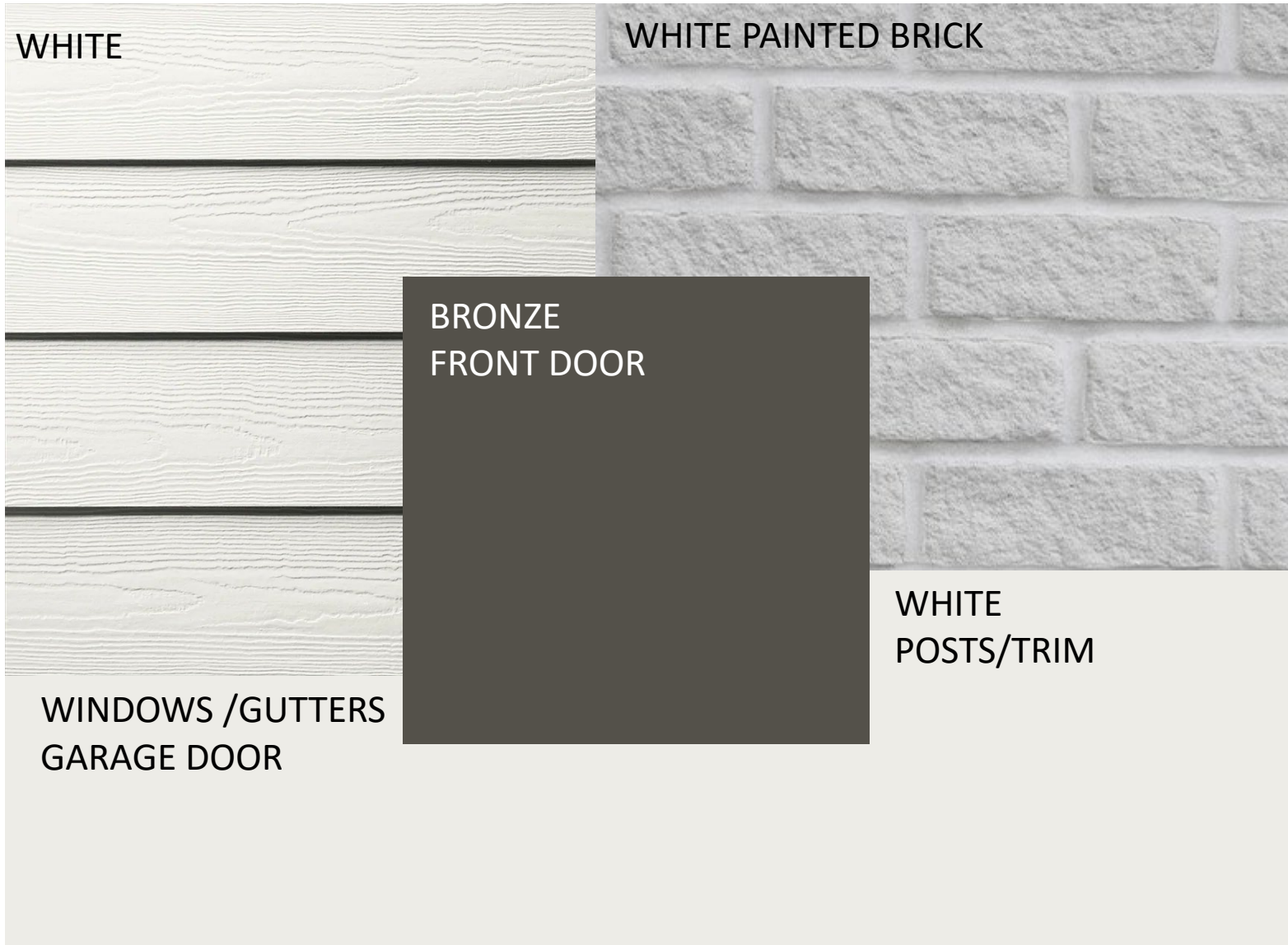
TAPERED COLUMN
W/ BRICK BASE



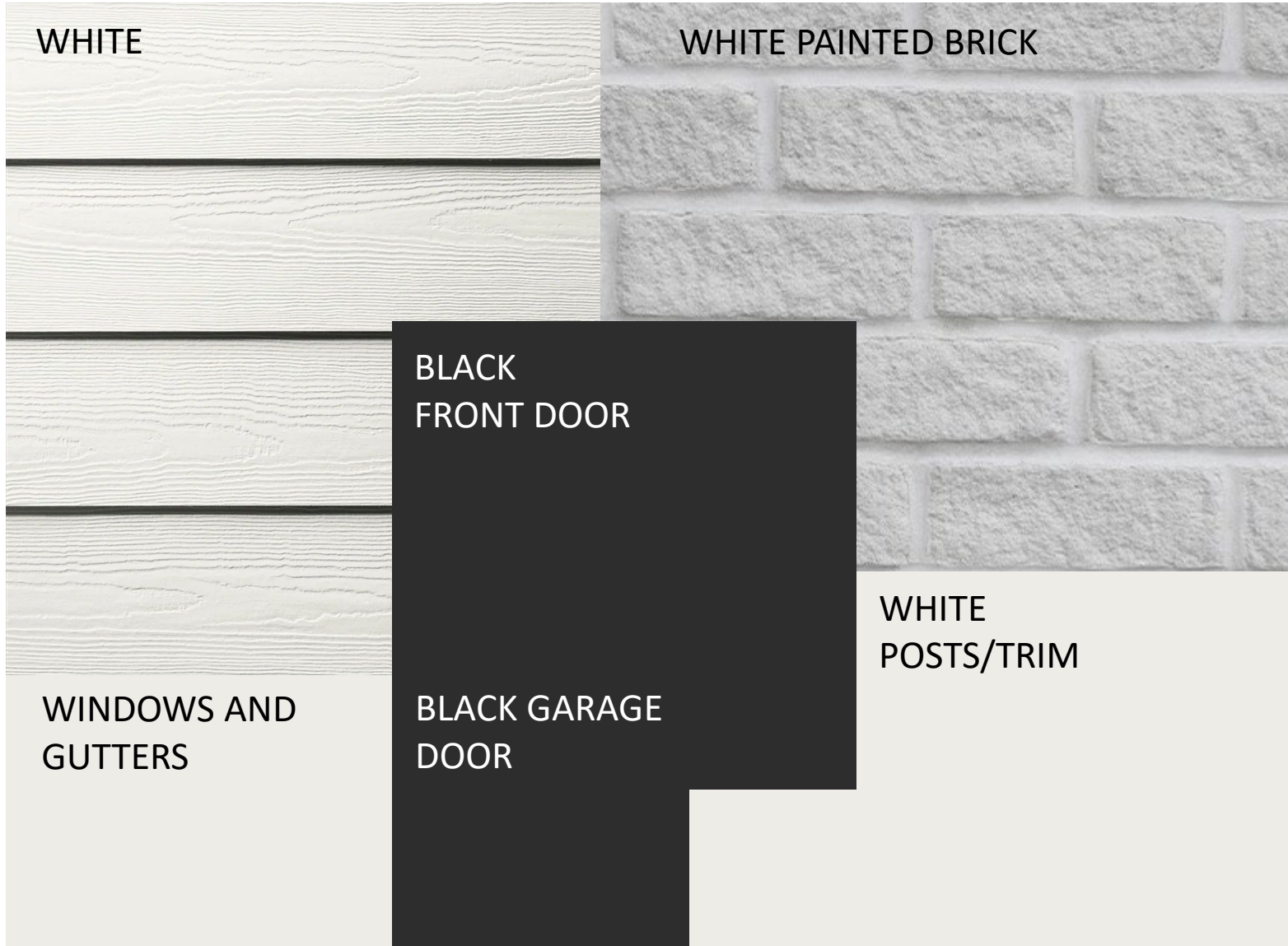
Columbia, TN - Elevations & Exterior Color Schemes

PLAN 1

SCHEME 1



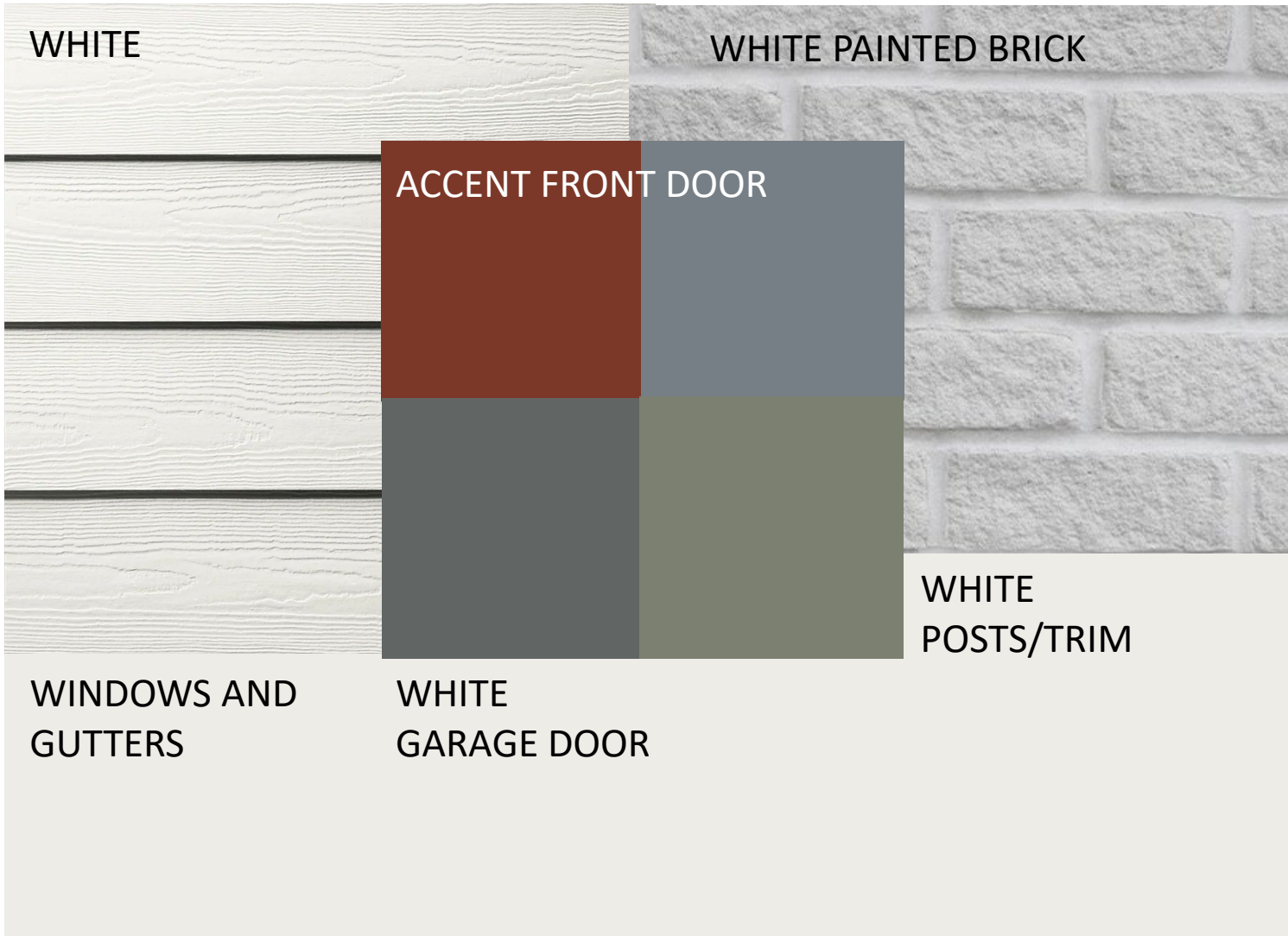
SCHEME 2



SCHEME 3

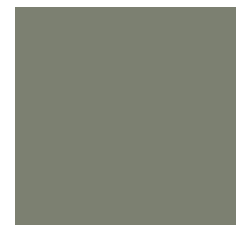
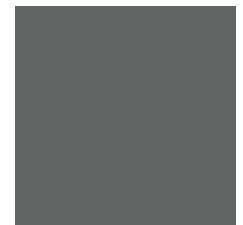
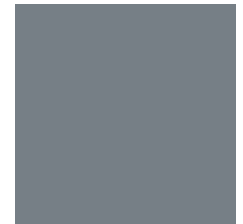


SCHEME 4

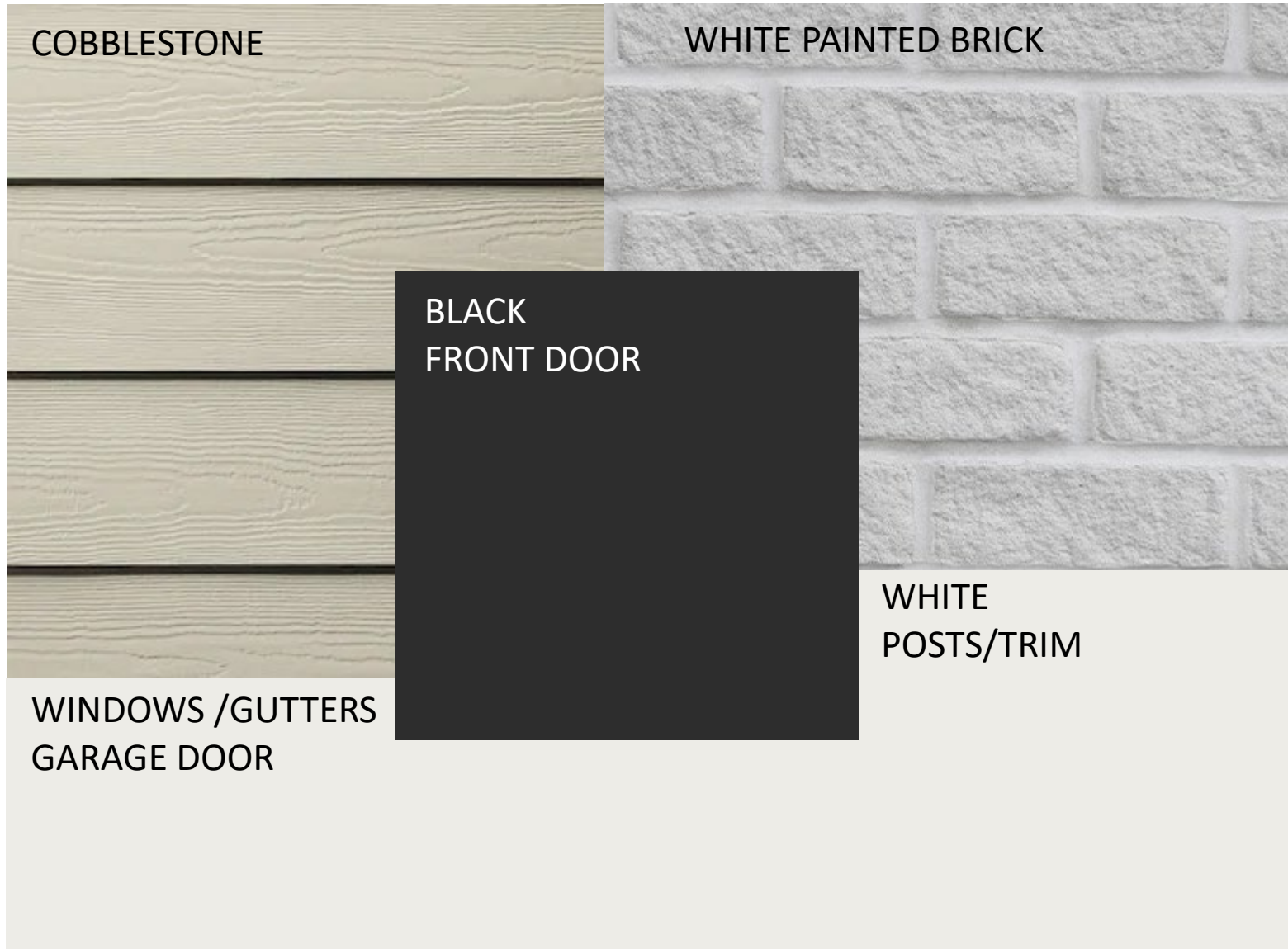


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME

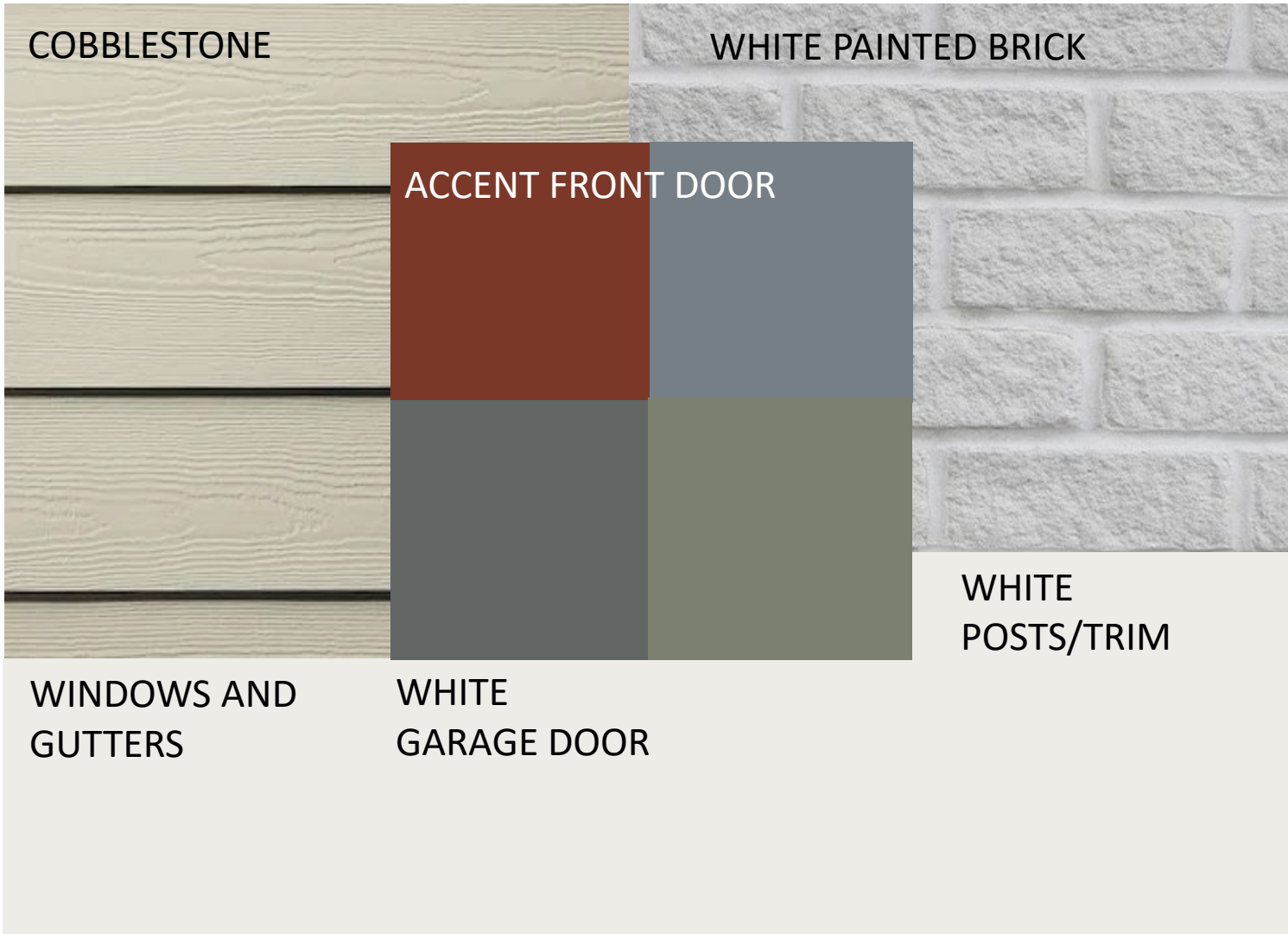


SCHEME 5



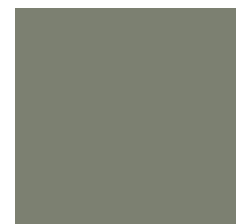
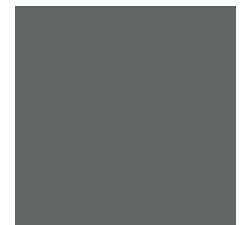
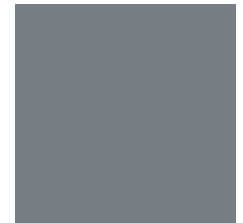
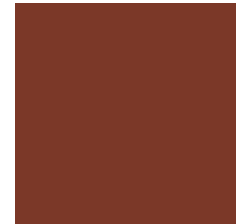
*Exterior color package may not be available depending on selections for neighboring lots

SCHEME 6



ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



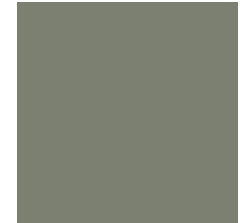
SCHEME 7



SCHEME 8



ACCENT FRONT DOOR
• SW DRIED THYME



SCHEME 9

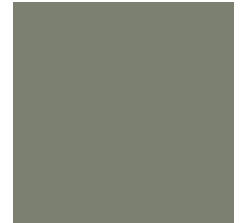


SCHEME 10

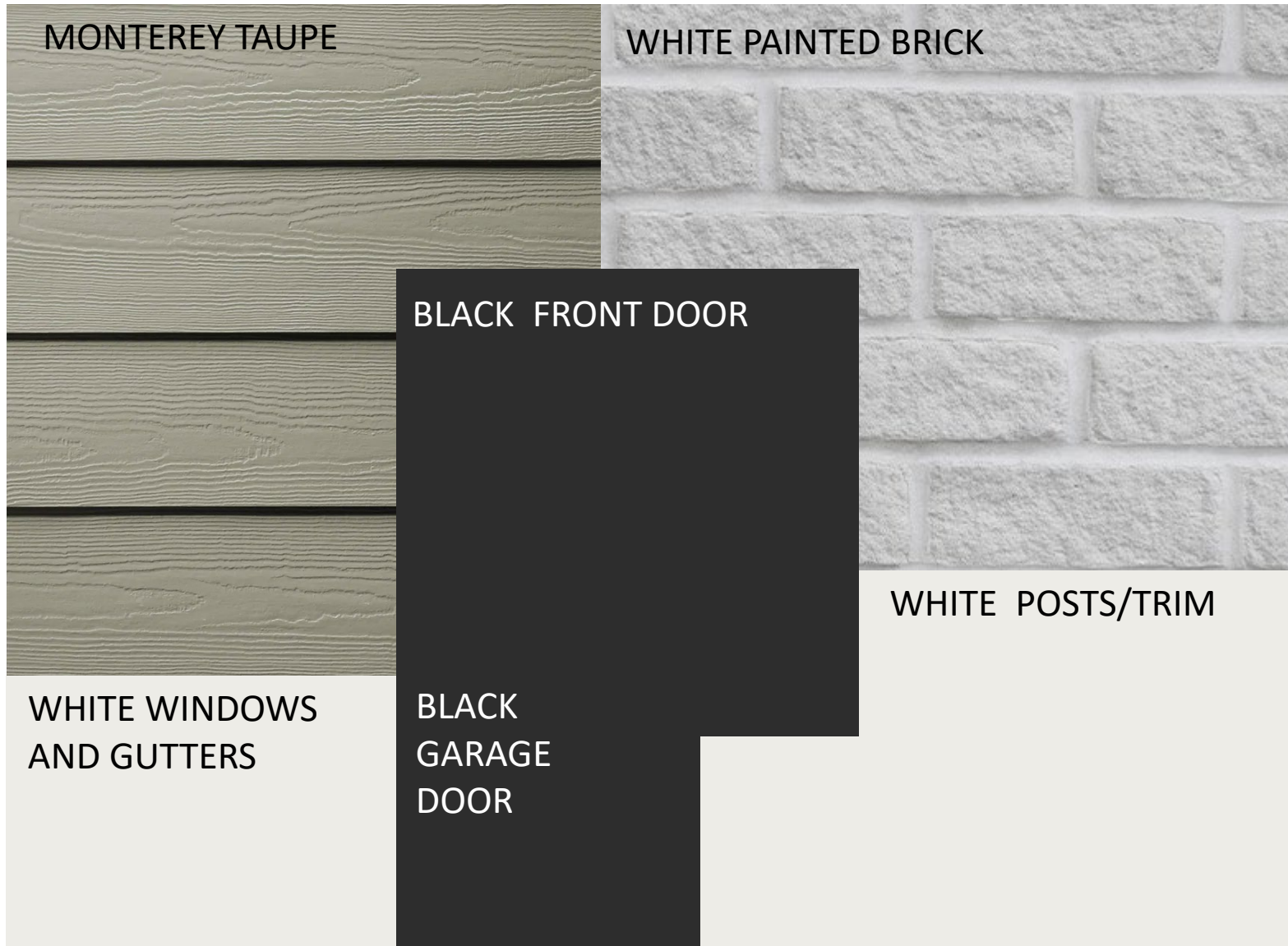


ACCENT DOOR OPTIONS

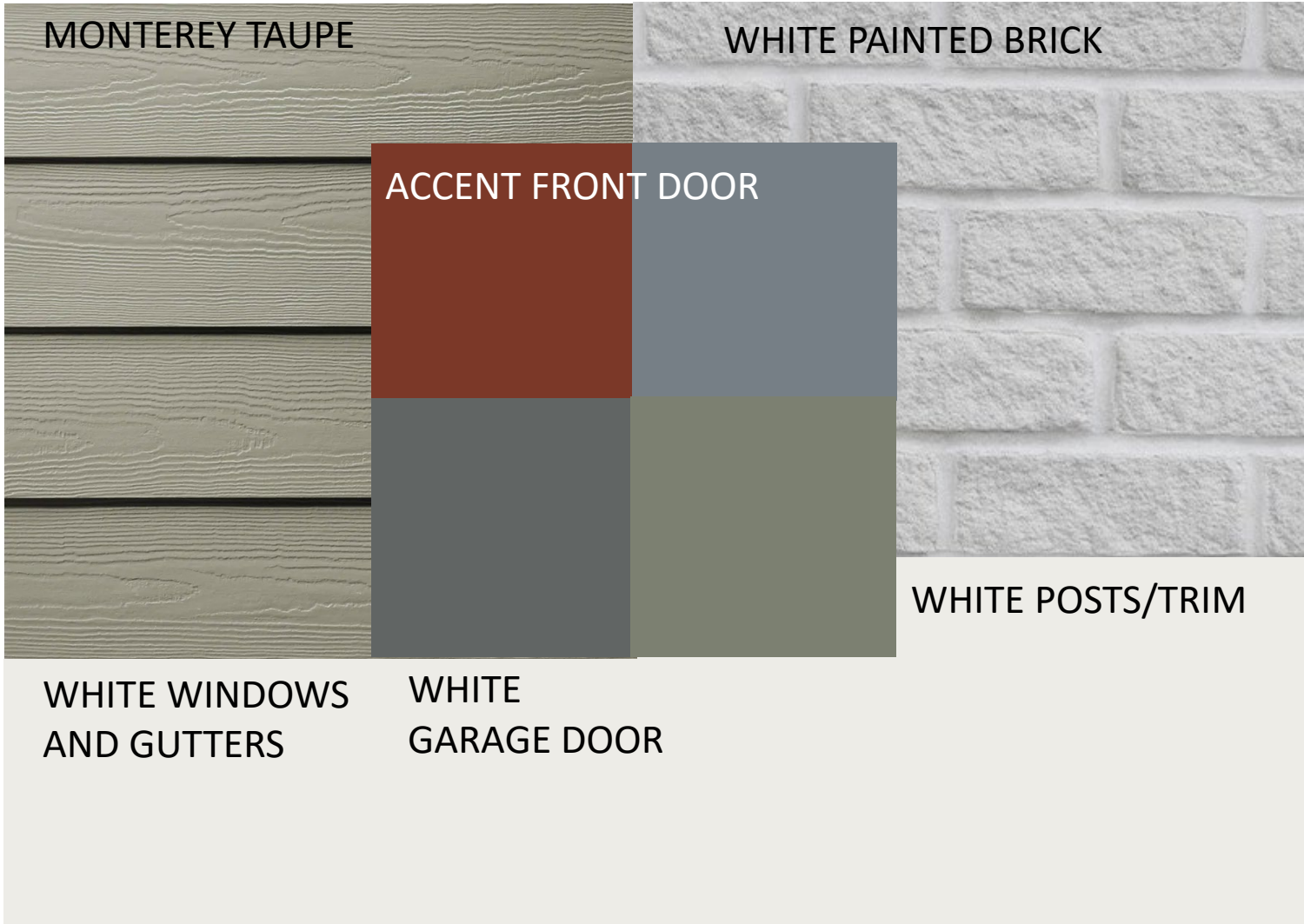
- SW DRIED THYME



SCHEME 11

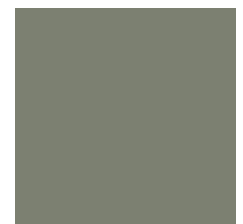
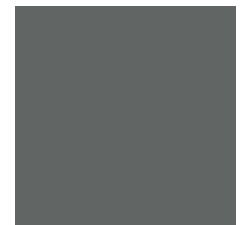
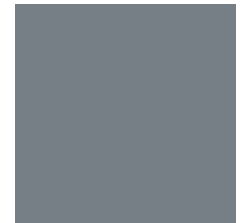
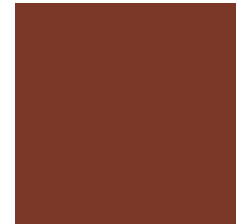


SCHEME 12

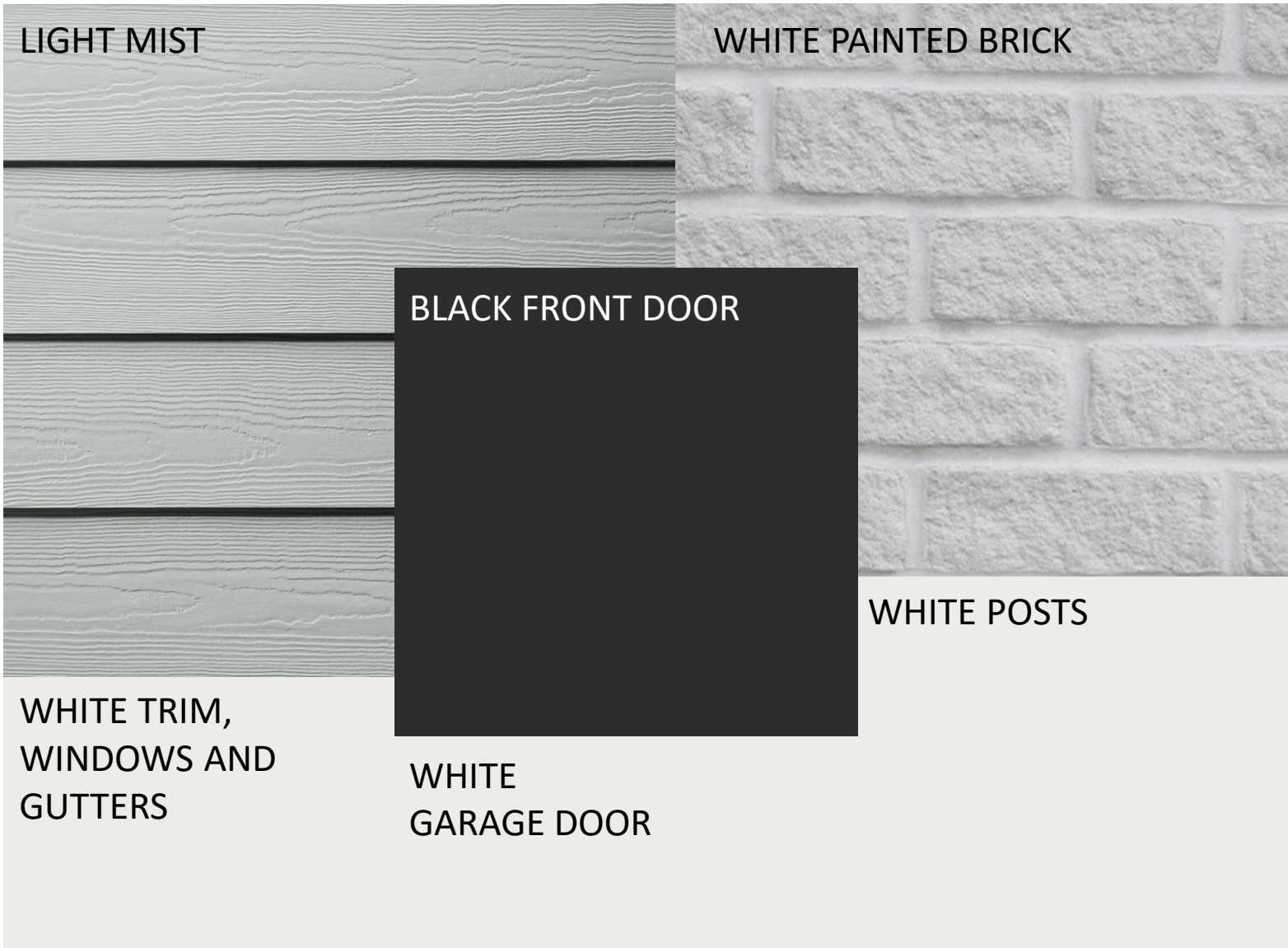


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13



LIGHT MIST

WHITE PAINTED BRICK

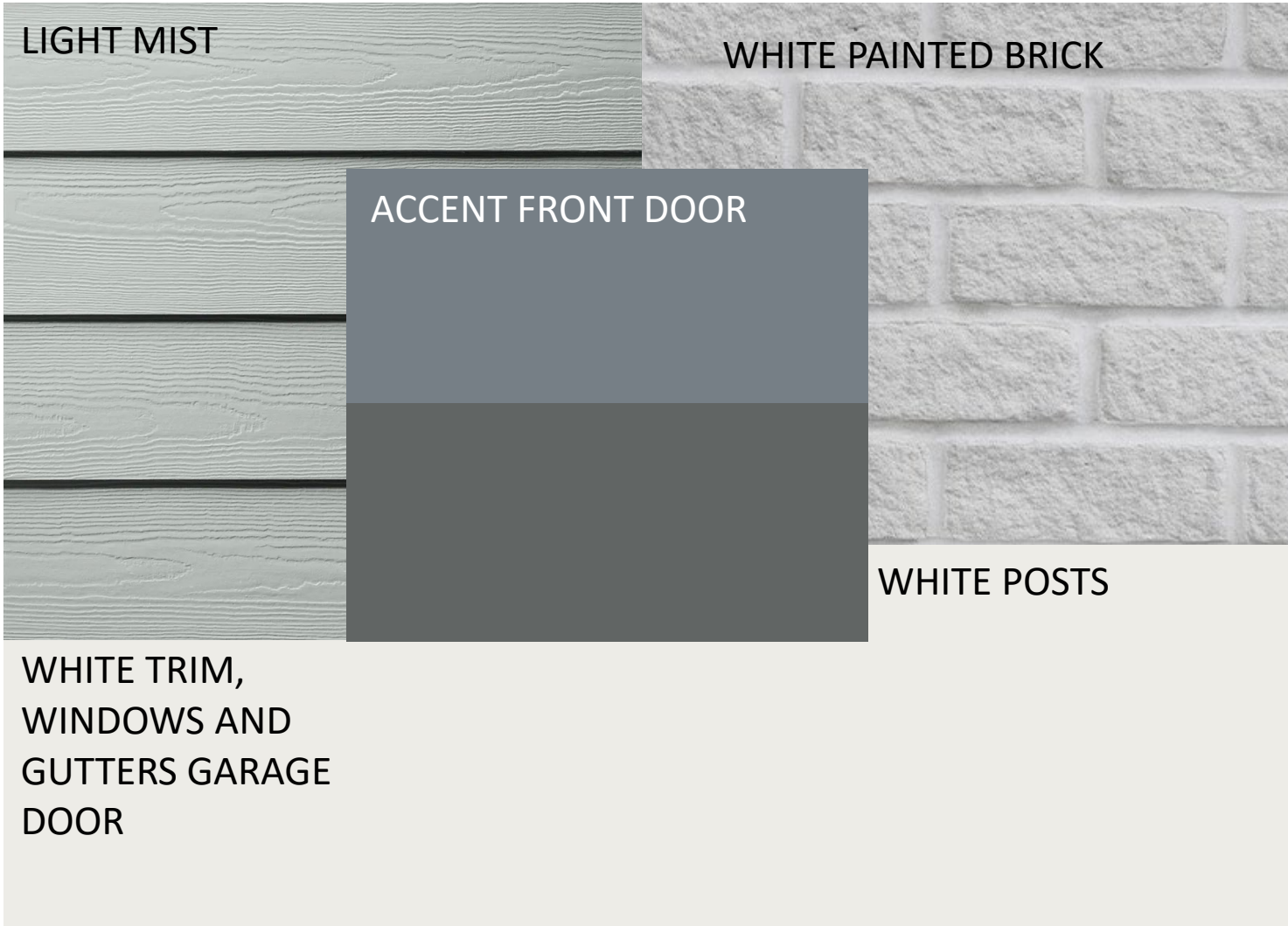
BLACK FRONT DOOR

WHITE TRIM,
WINDOWS AND
GUTTERS

WHITE
GARAGE DOOR

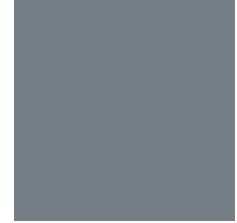
WHITE POSTS

SCHEME 14

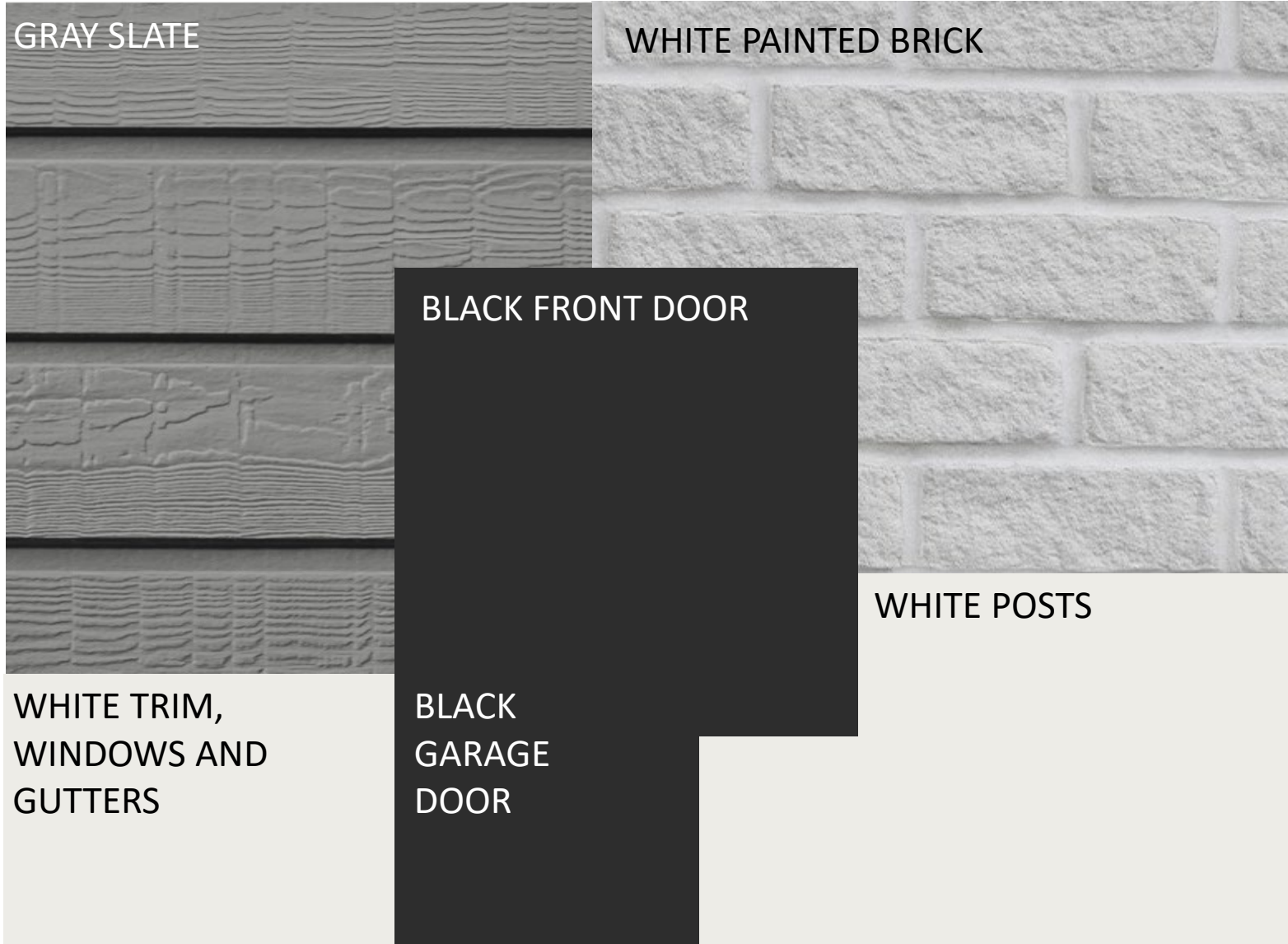


ACCENT DOOR OPTIONS

- SW DOWNING SLATE
- SW ROYCROFT PEWTER



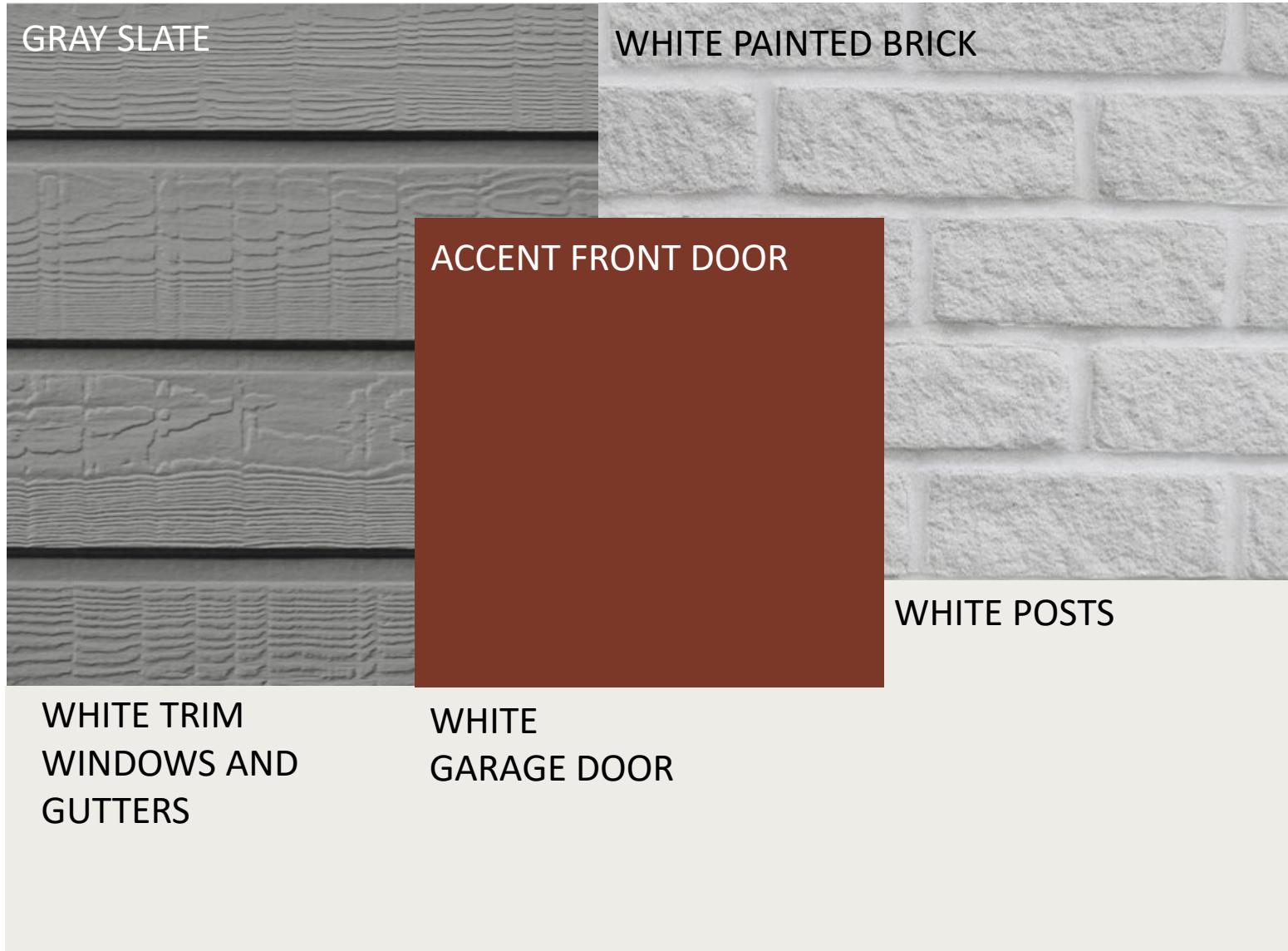
SCHEME 15



SCHEME 16



SCHEME 17

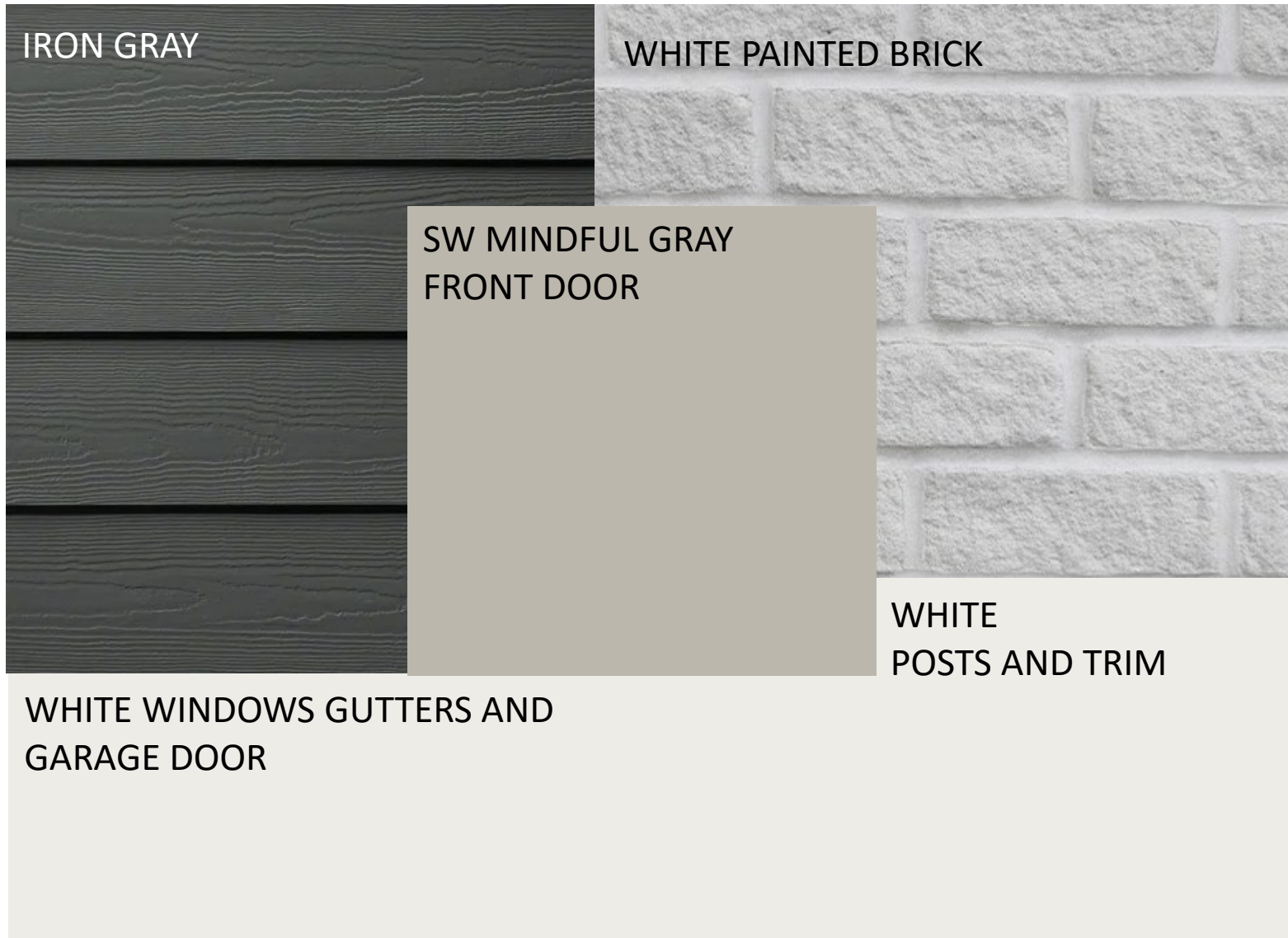


ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



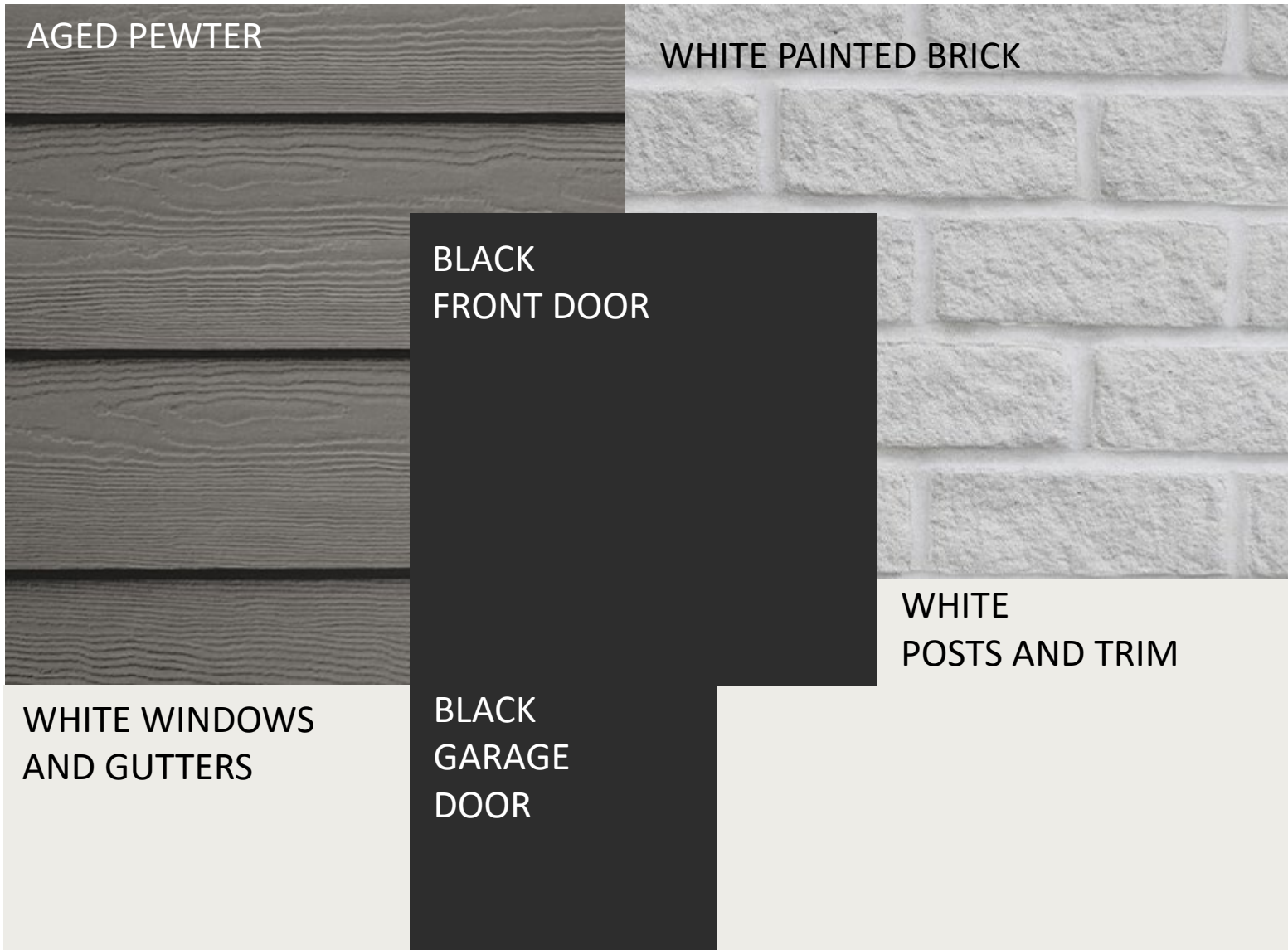
SCHEME 18



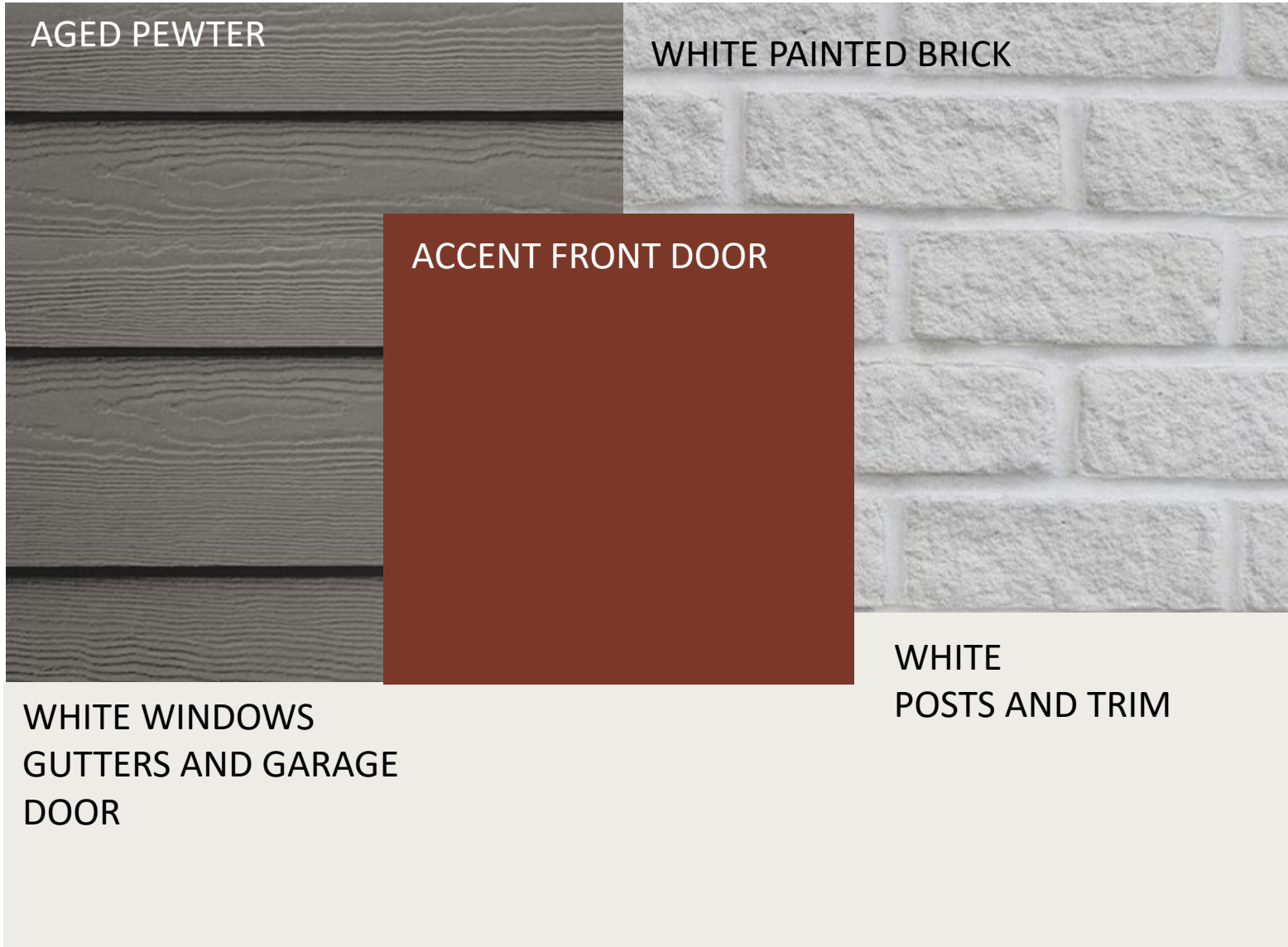
SCHEME 19



SCHEME 20

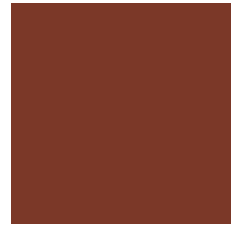


SCHEME 21



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



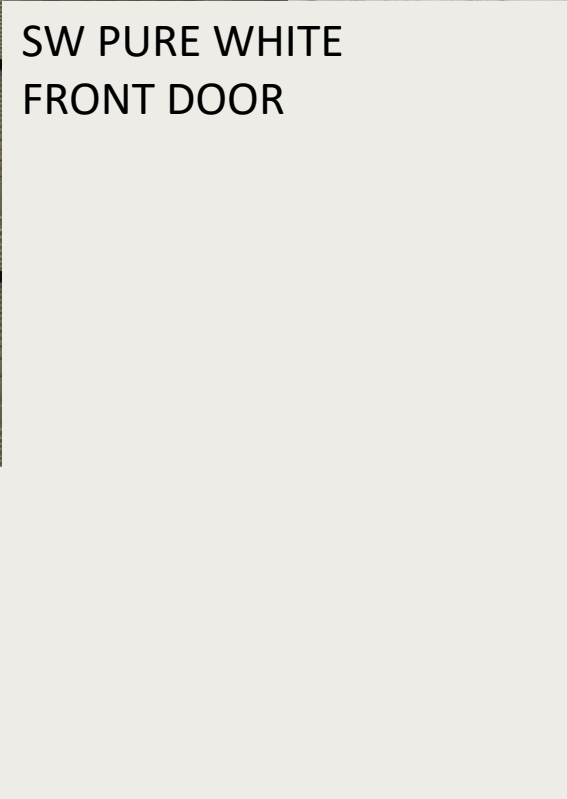
SCHEME 22



TIMBER BARK



WHITE PAINTED BRICK



SW PURE WHITE
FRONT DOOR

WHITE
POSTS AND TRIM

WHITE WINDOWS
GUTTERS

SCHEME 23



TIMBER BARK



WHITE PAINTED BRICK



MINDFUL GRAY
FRONT DOOR

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

WHITE
POSTS AND TRIM

SCHEME 24



TIMBER BARK

WHITE PAINTED BRICK

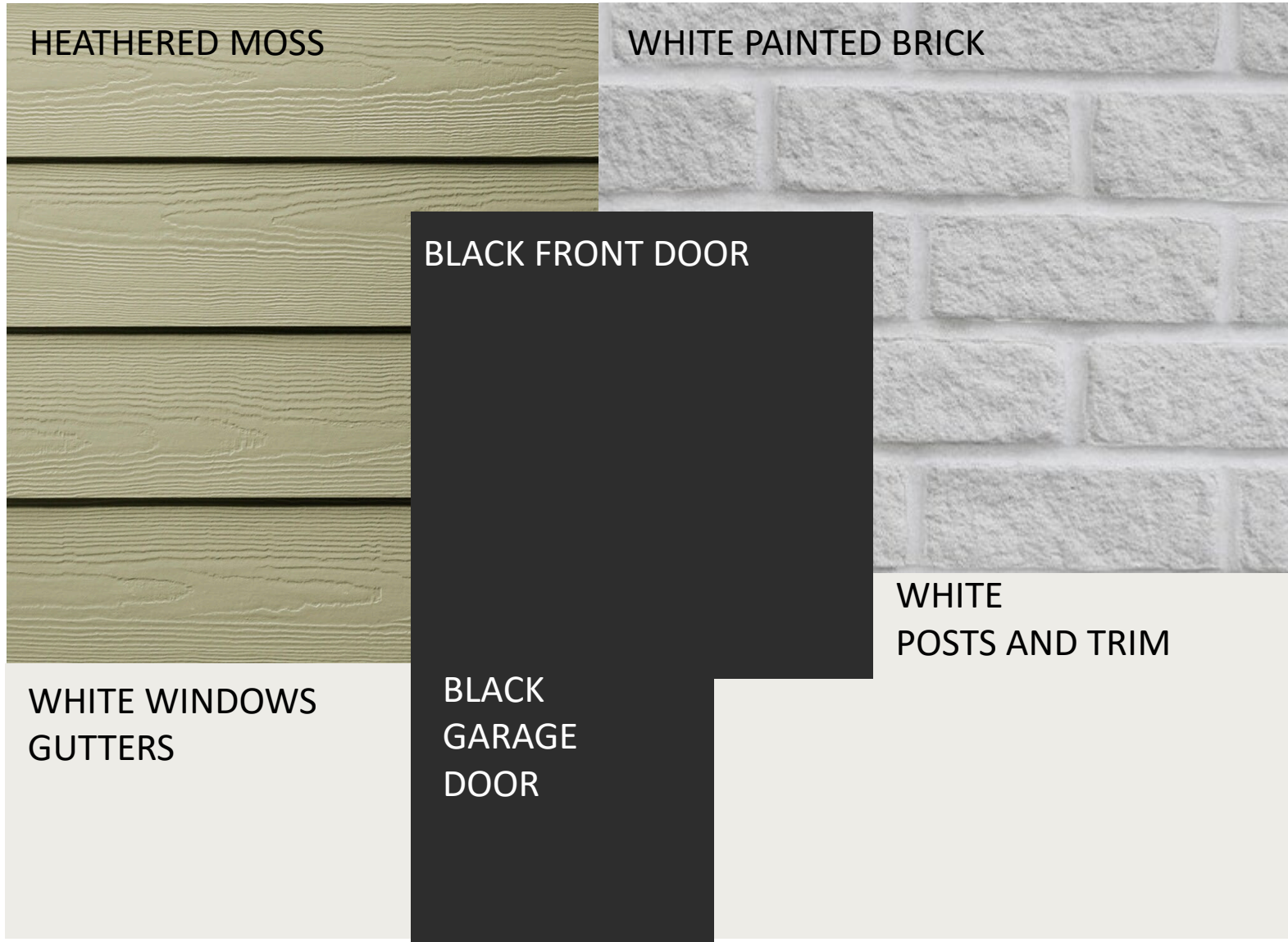
BRONZE
FRONT DOOR

WHITE WINDOWS
GUTTERS

BRONZE
GARAGE
DOOR

WHITE
POSTS AND TRIM

SCHEME 25



SCHEME 26



HEATHERED MOSS



WHITE PAINTED BRICK

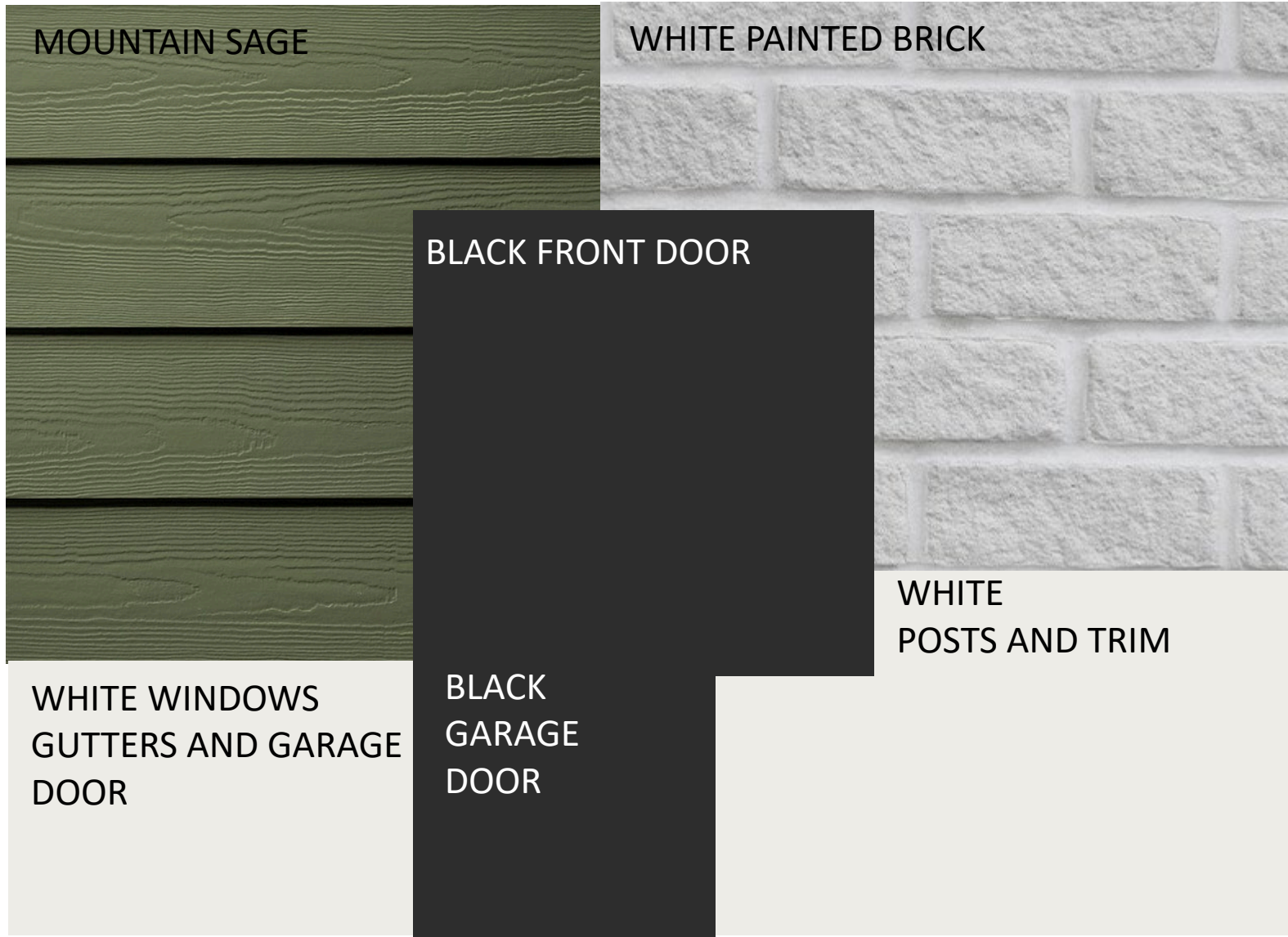


WHITE FRONT DOOR

WHITE
POSTS AND TRIM

WHITE WINDOWS
GUTTERS

SCHEME 27



SCHEME 28



MOUNTAIN SAGE



WHITE PAINTED BRICK



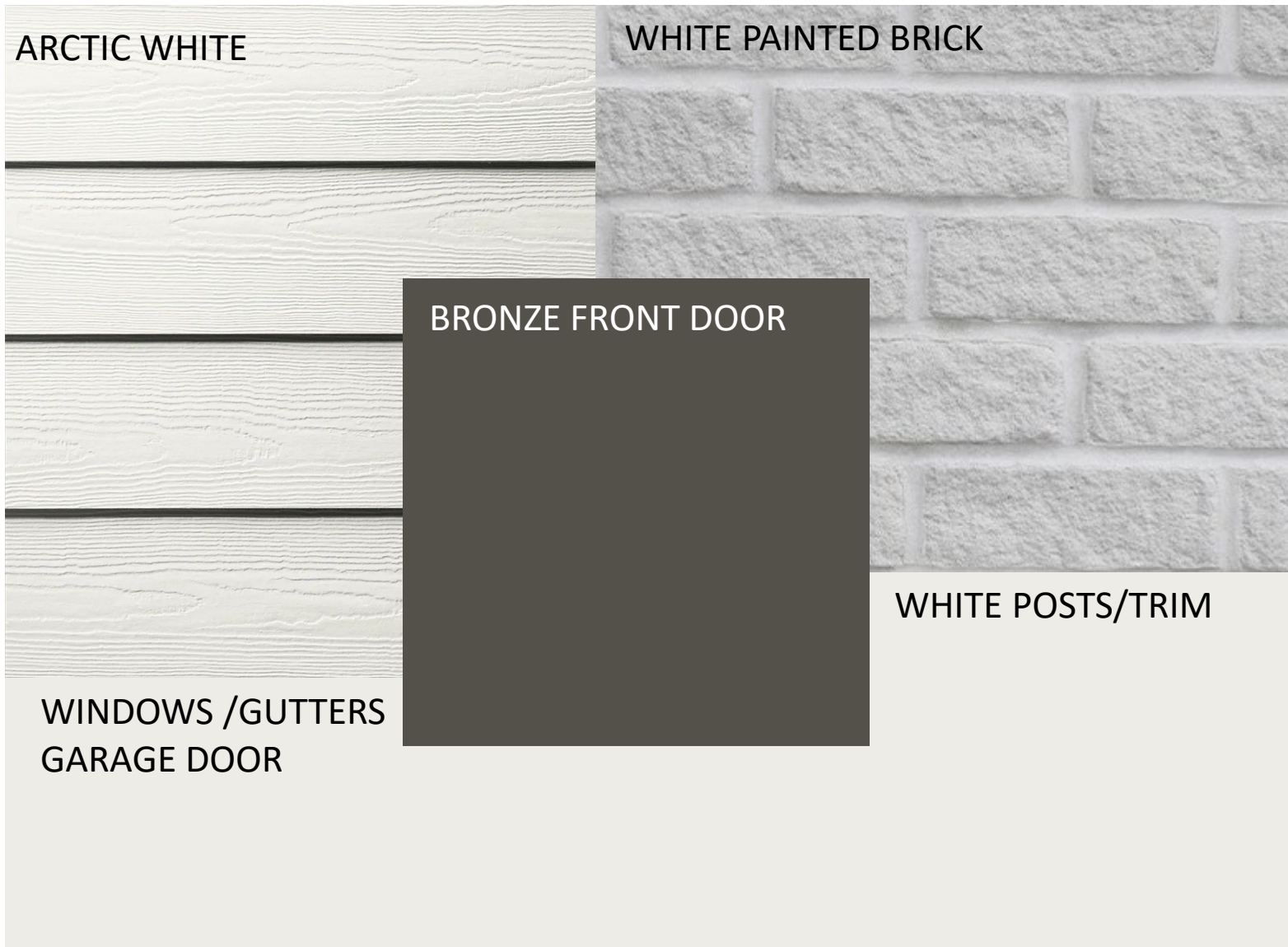
WHITE FRONT DOOR

WHITE
POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND GARAGE
DOOR

PLAN 2 (Formerly 2B)

SCHEME 1



SCHEME 2

ARCTIC WHITE

WHITE PAINTED BRICK

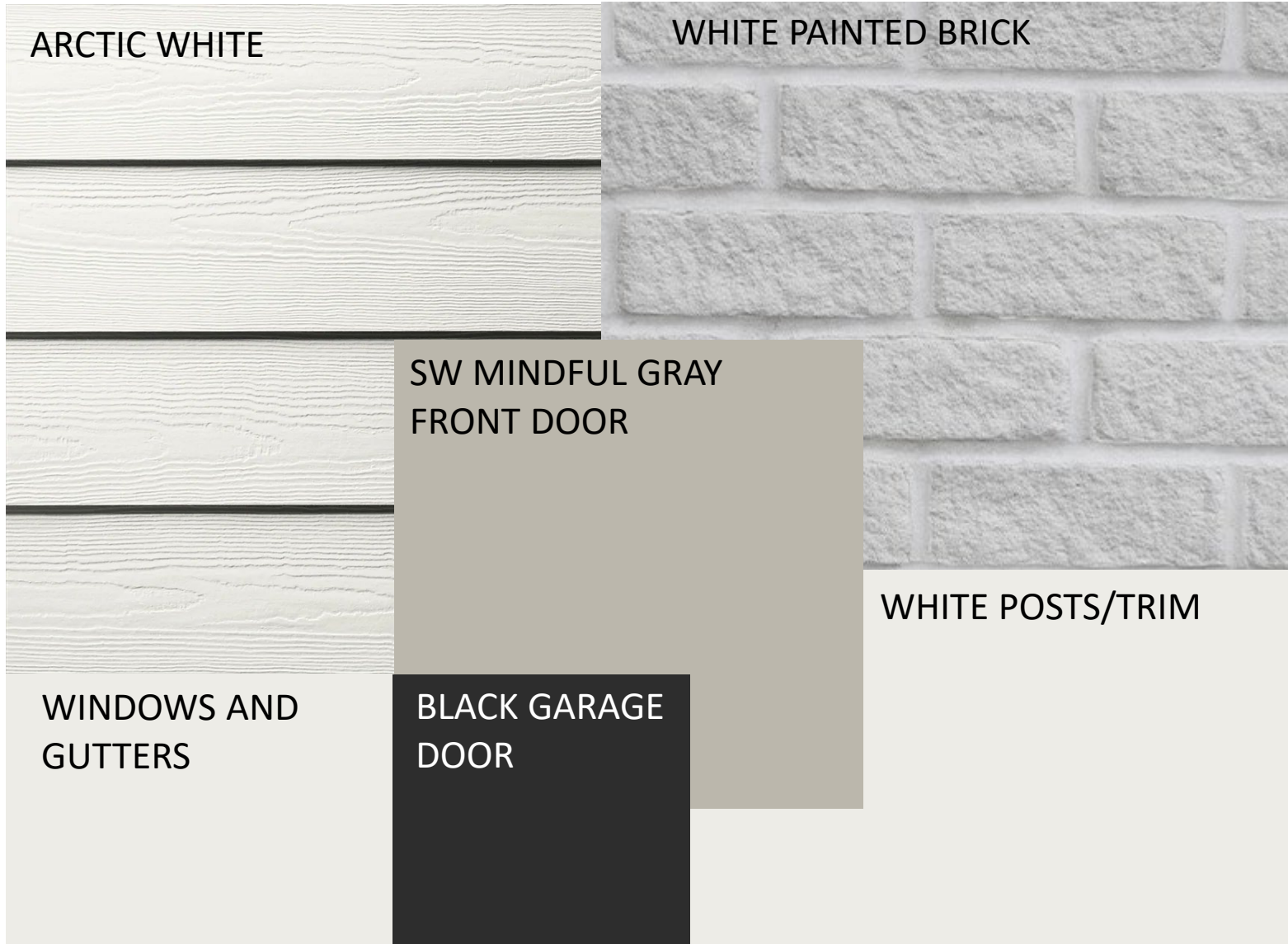
BLACK FRONT DOOR

WINDOWS AND
GUTTERS

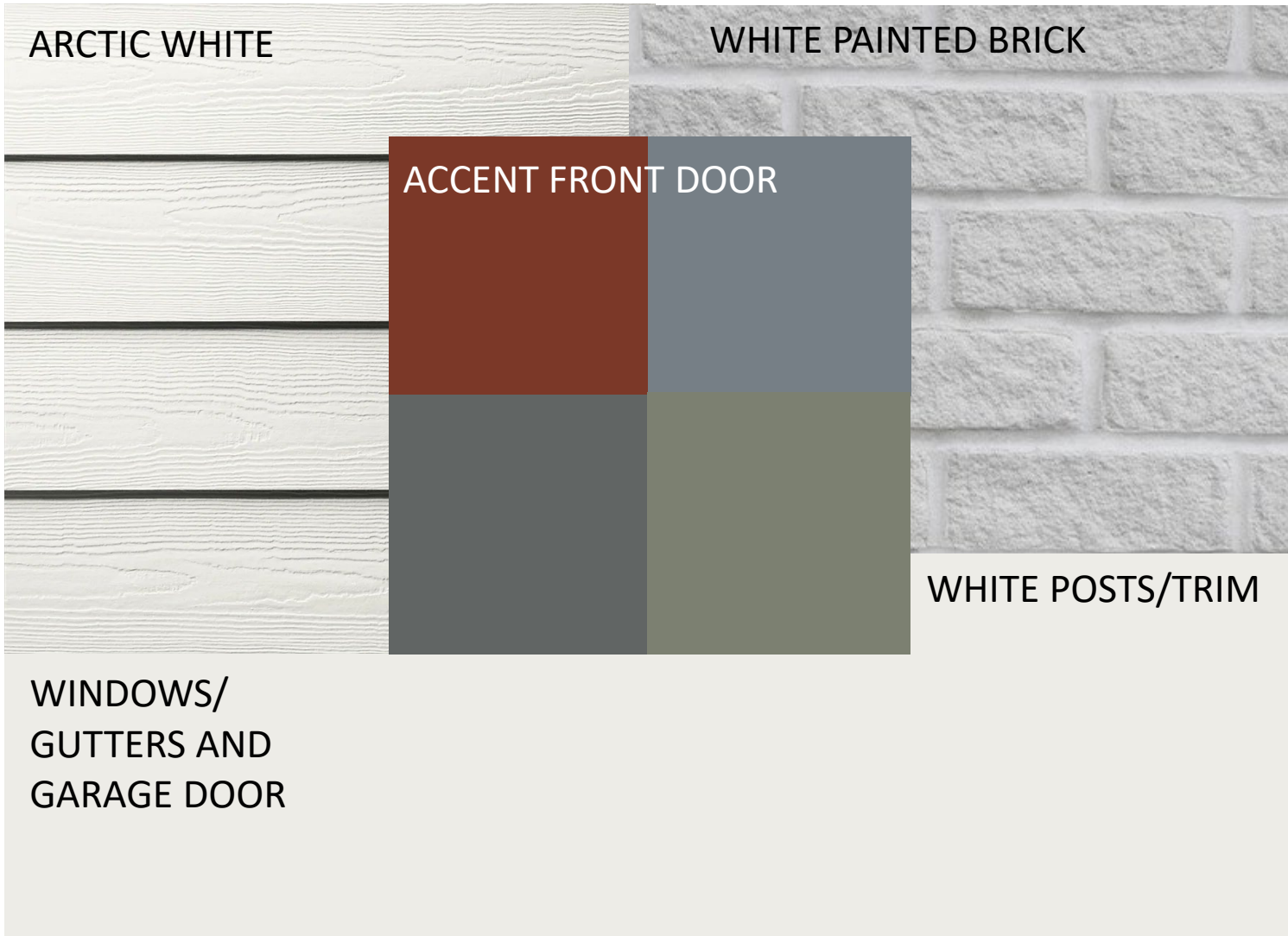
BLACK GARAGE
DOOR

WHITE POSTS/TRIM

SCHEME 3

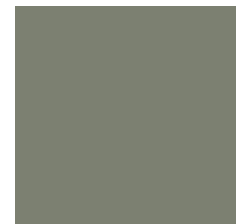
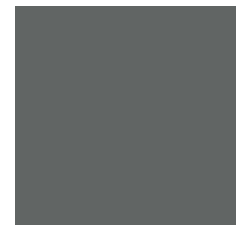
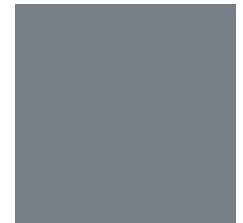
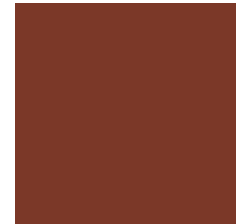


SCHEME 4



ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 5

COBBLESTONE

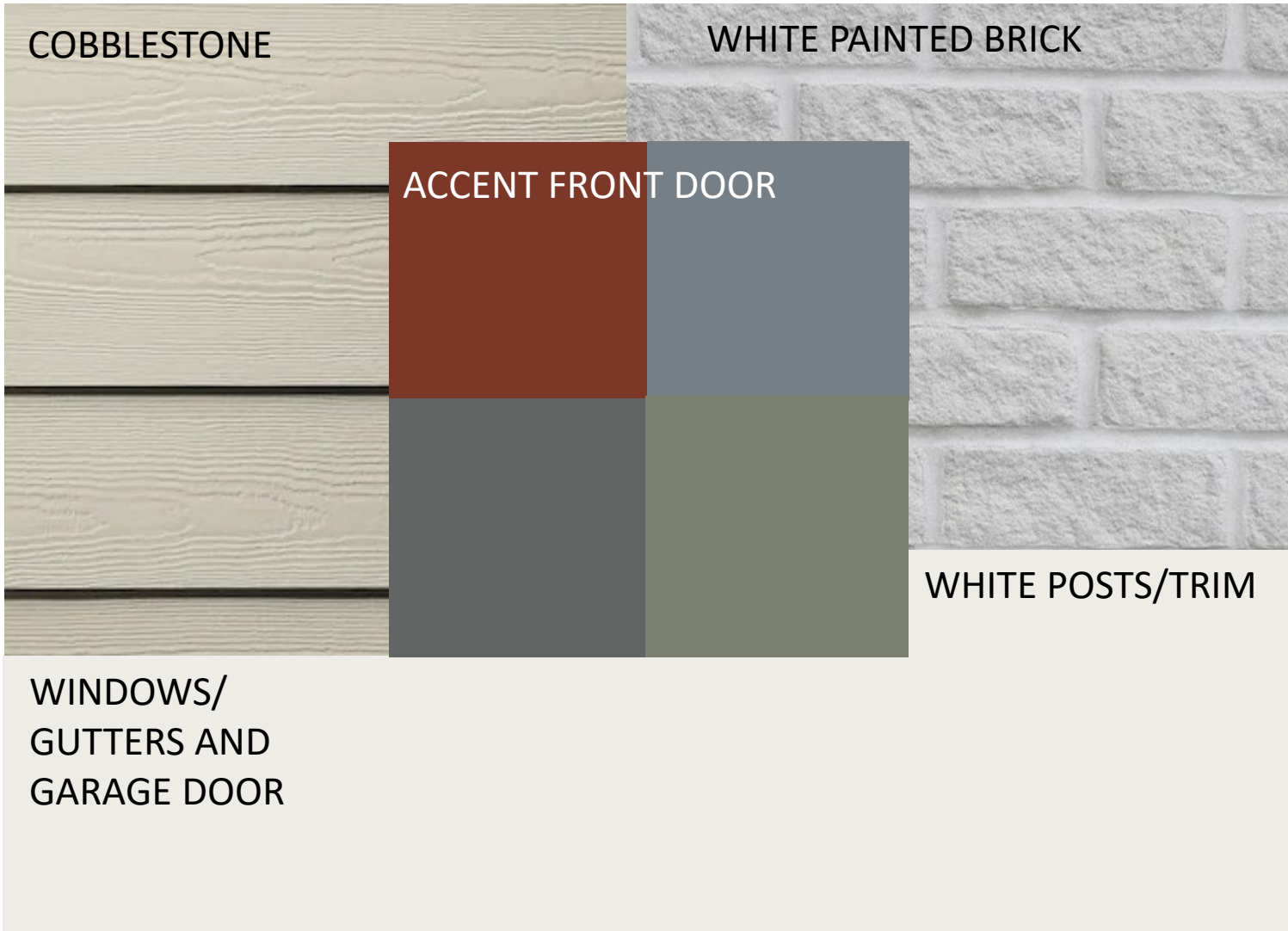
WHITE PAINTED BRICK

BLACK FRONT DOOR

WHITE POSTS/TRIM

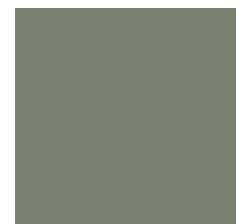
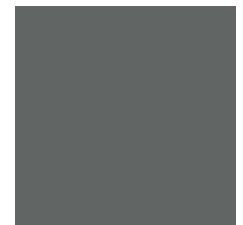
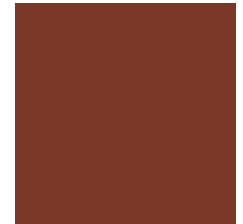
WINDOWS /GUTTERS
GARAGE DOOR

SCHEME 6

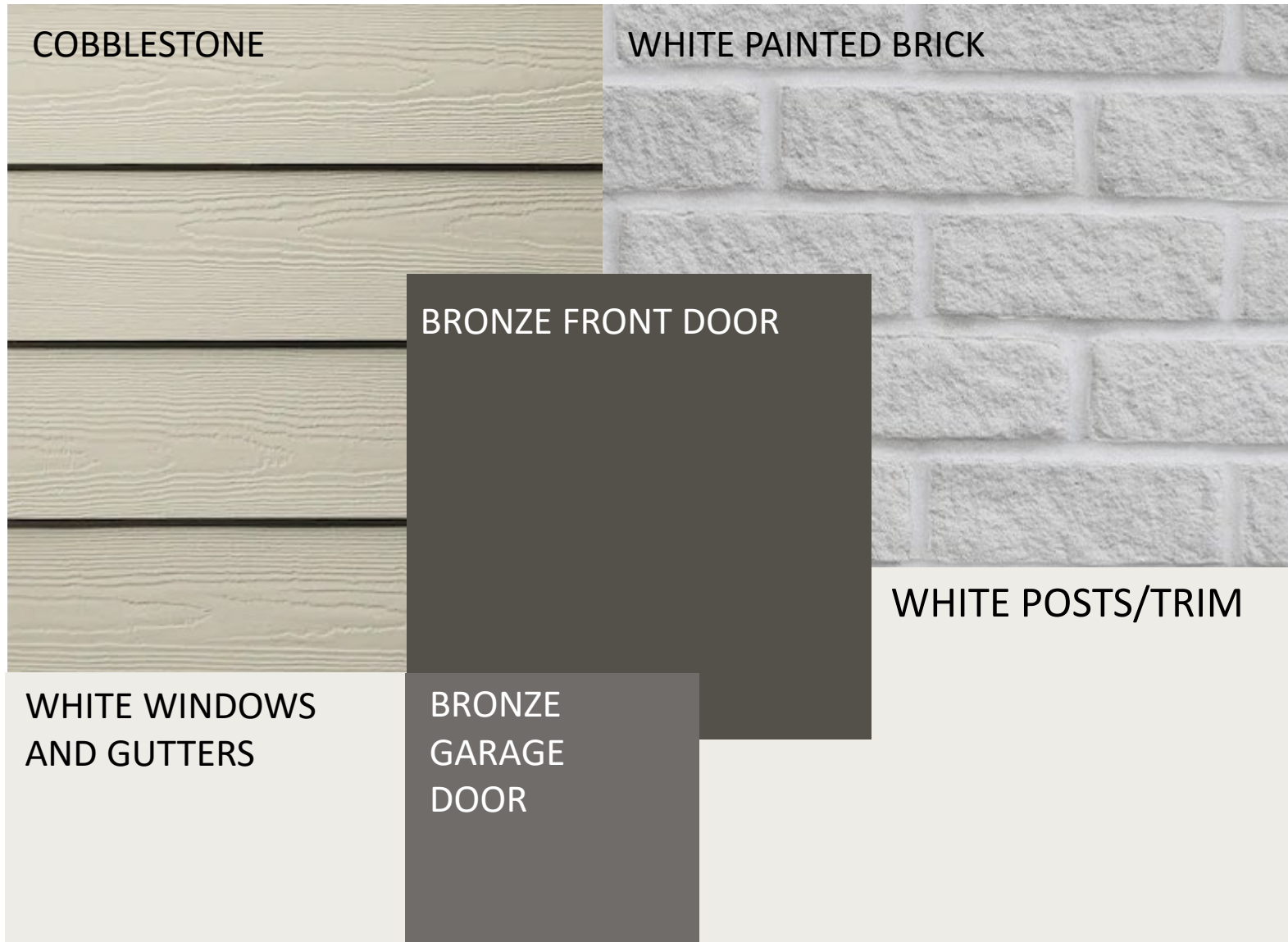


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



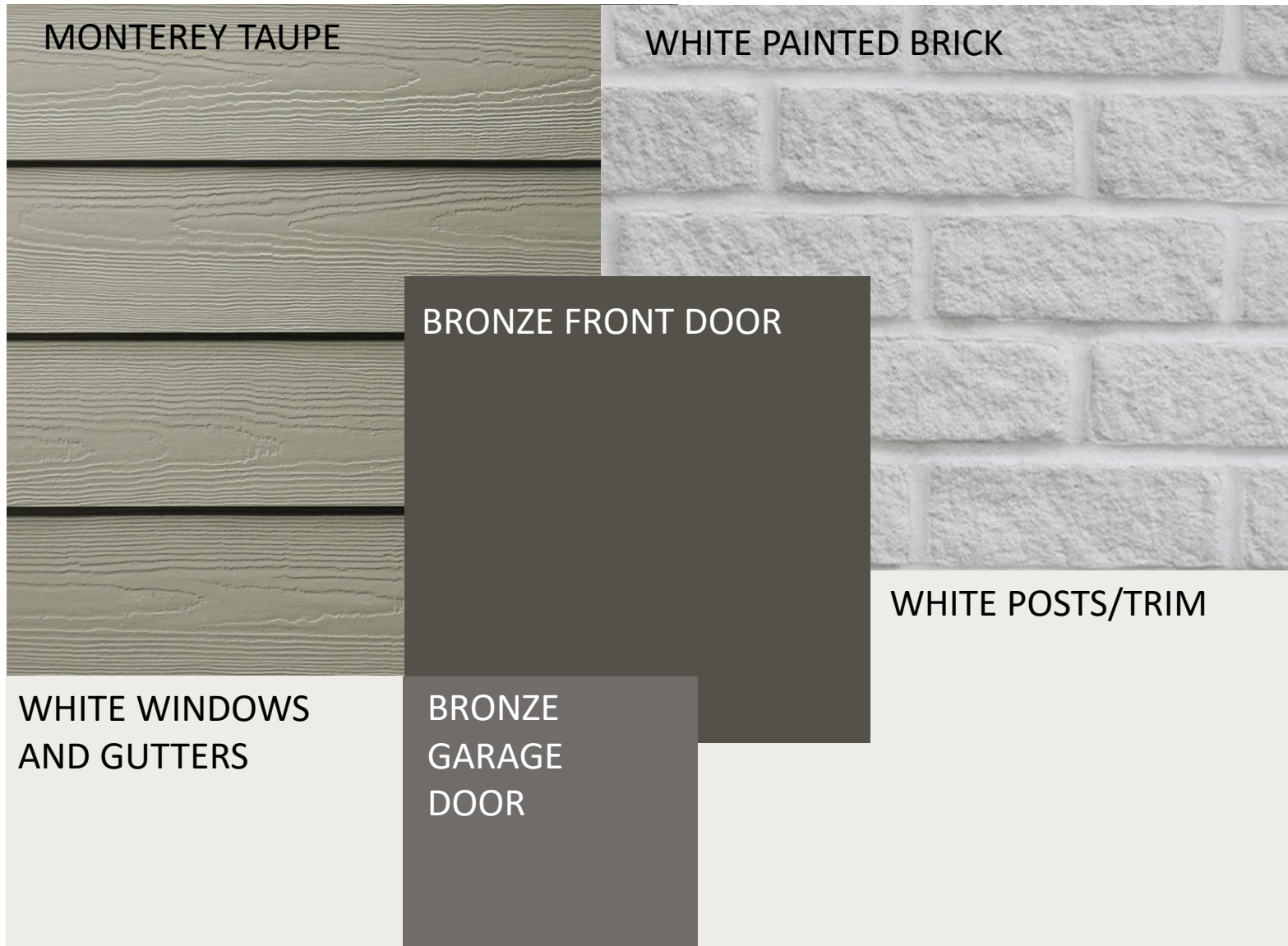
SCHEME 7



SCHEME 8



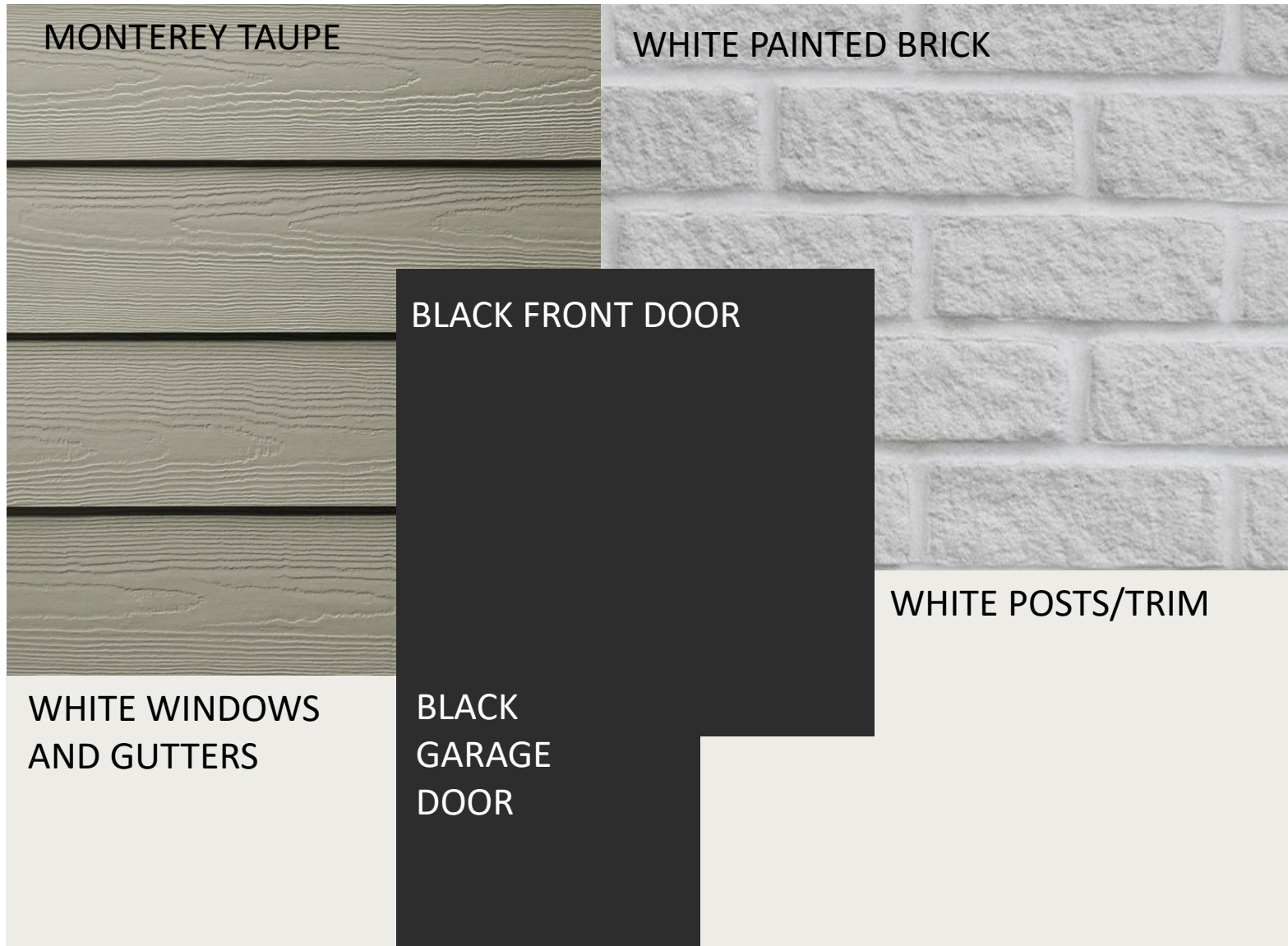
SCHEME 9



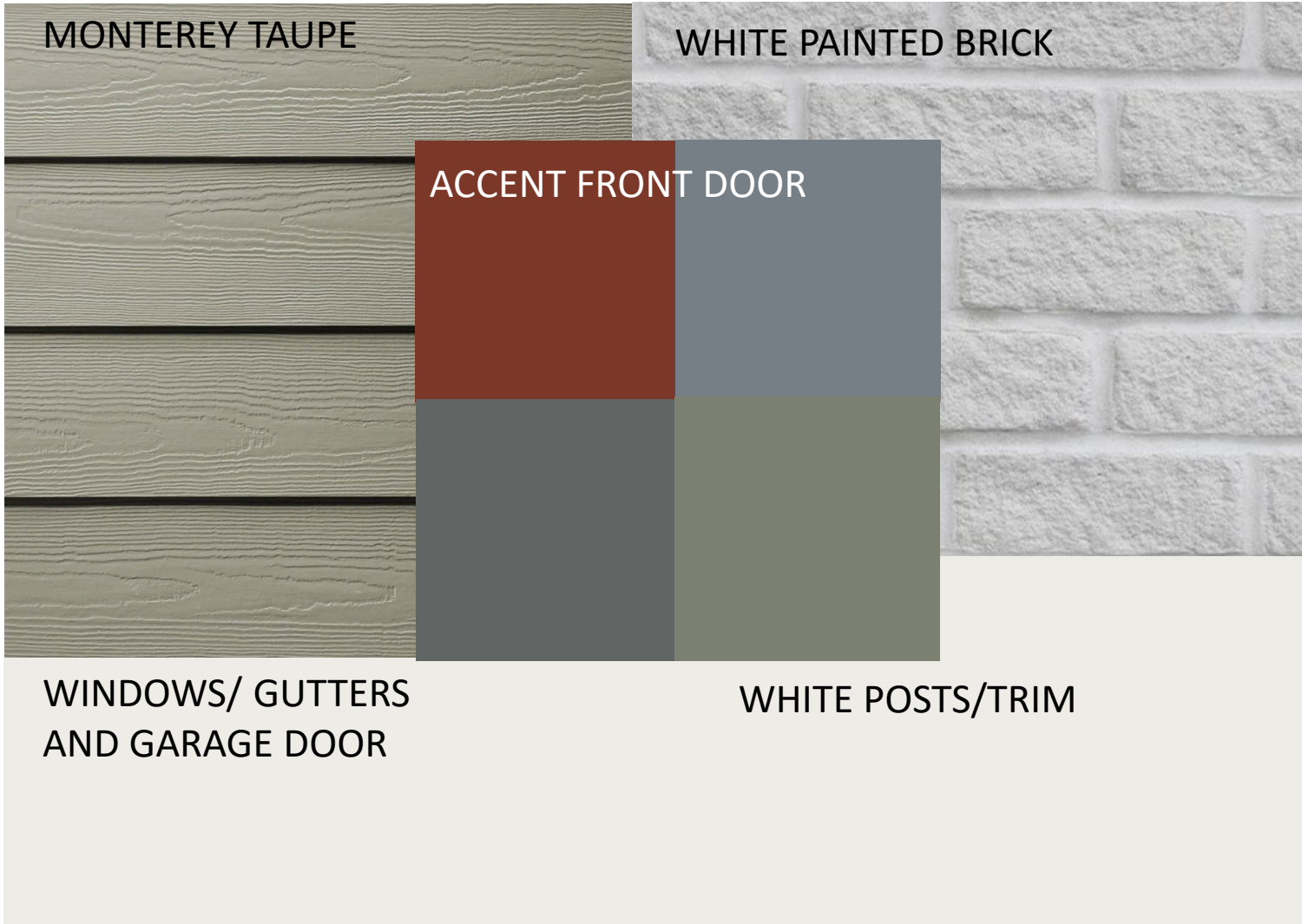
SCHEME 10



SCHEME 11

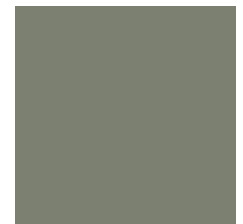
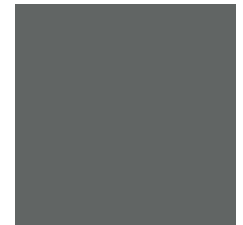


SCHEME 12

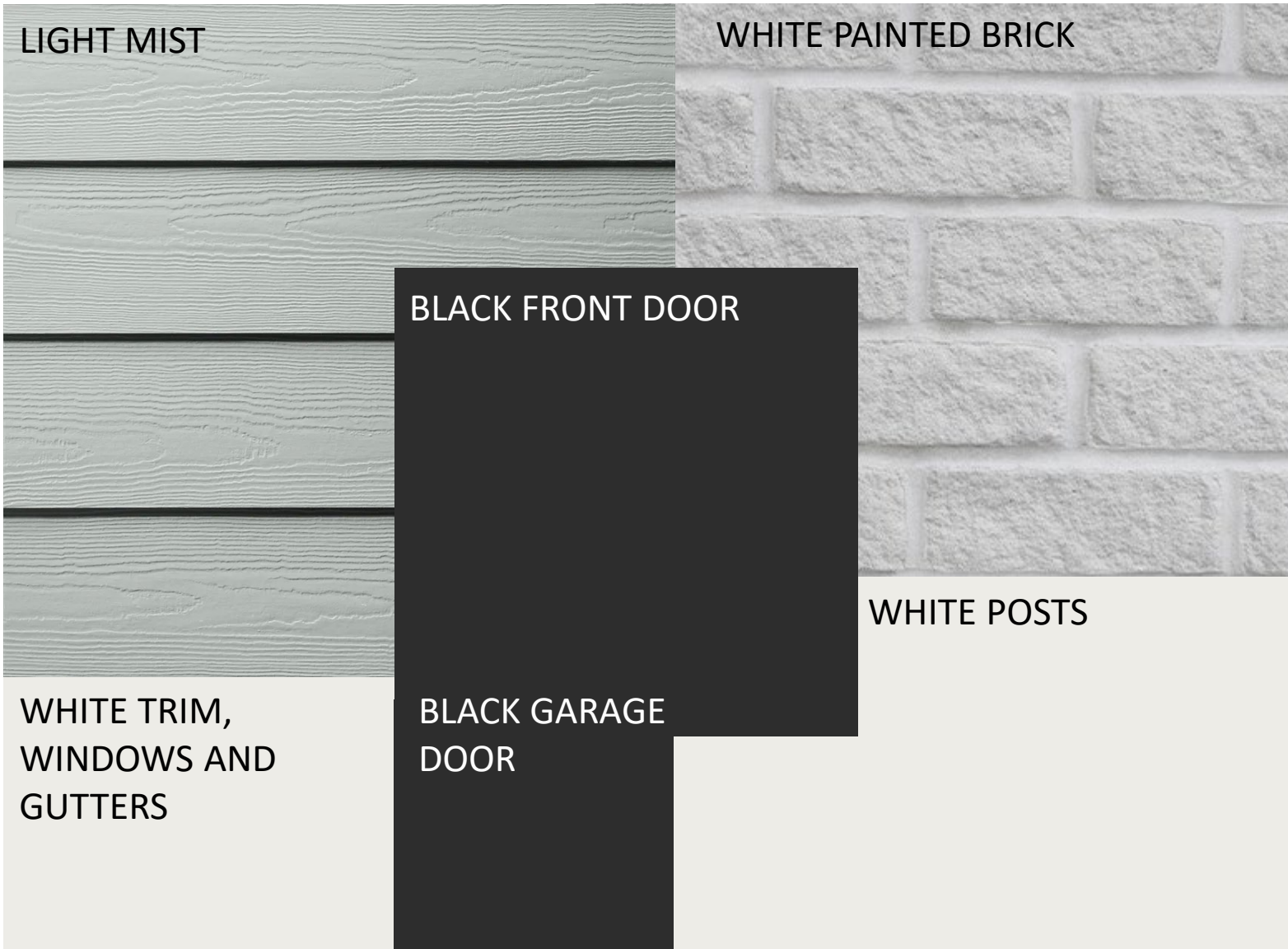


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13



LIGHT MIST

WHITE PAINTED BRICK

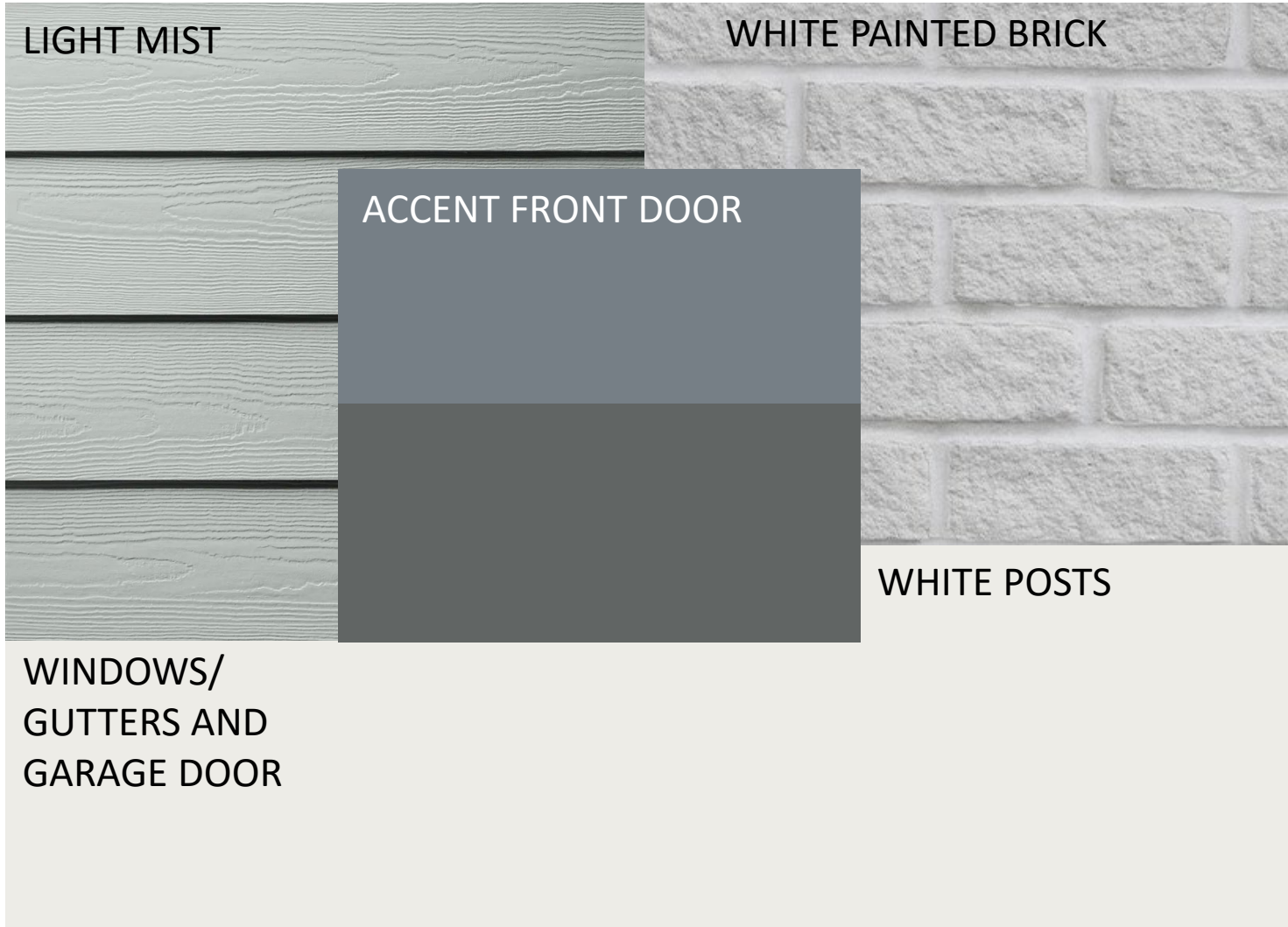
BLACK FRONT DOOR

WHITE POSTS

WHITE TRIM,
WINDOWS AND
GUTTERS

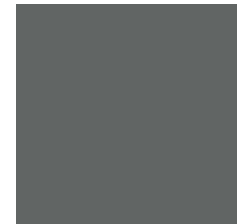
BLACK GARAGE
DOOR

SCHEME 14



ACCENT DOOR OPTIONS

- SW DOWNING SLATE
- SW ROYCROFT PEWTER



SCHEME 15

GRAY SLATE

WHITE PAINTED BRICK

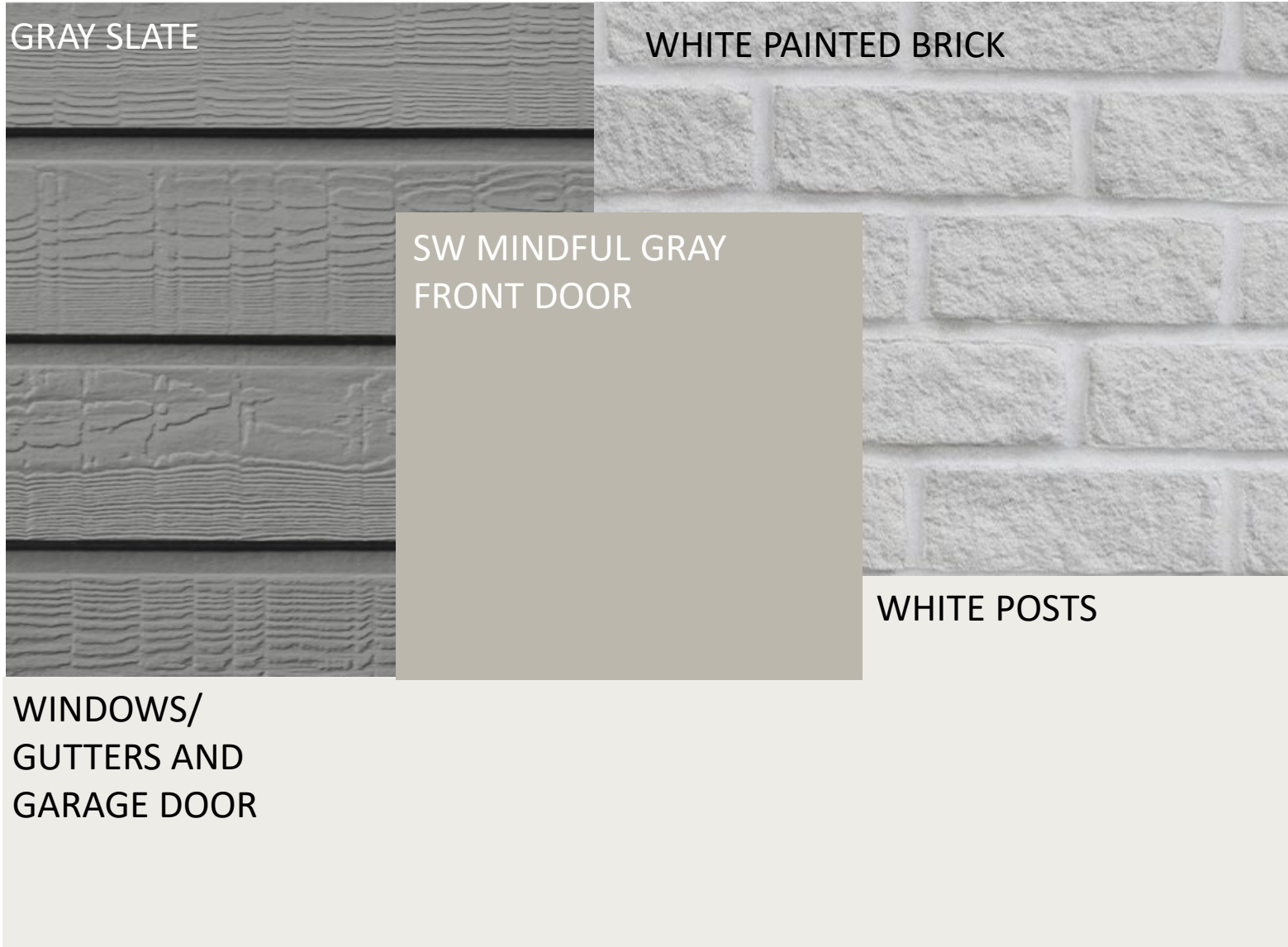
BLACK FRONT DOOR

WHITE POSTS

WHITE TRIM,
WINDOWS AND
GUTTERS

BLACK
GARAGE
DOOR

SCHEME 16

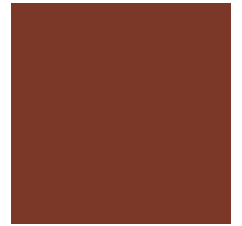


SCHEME 17



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



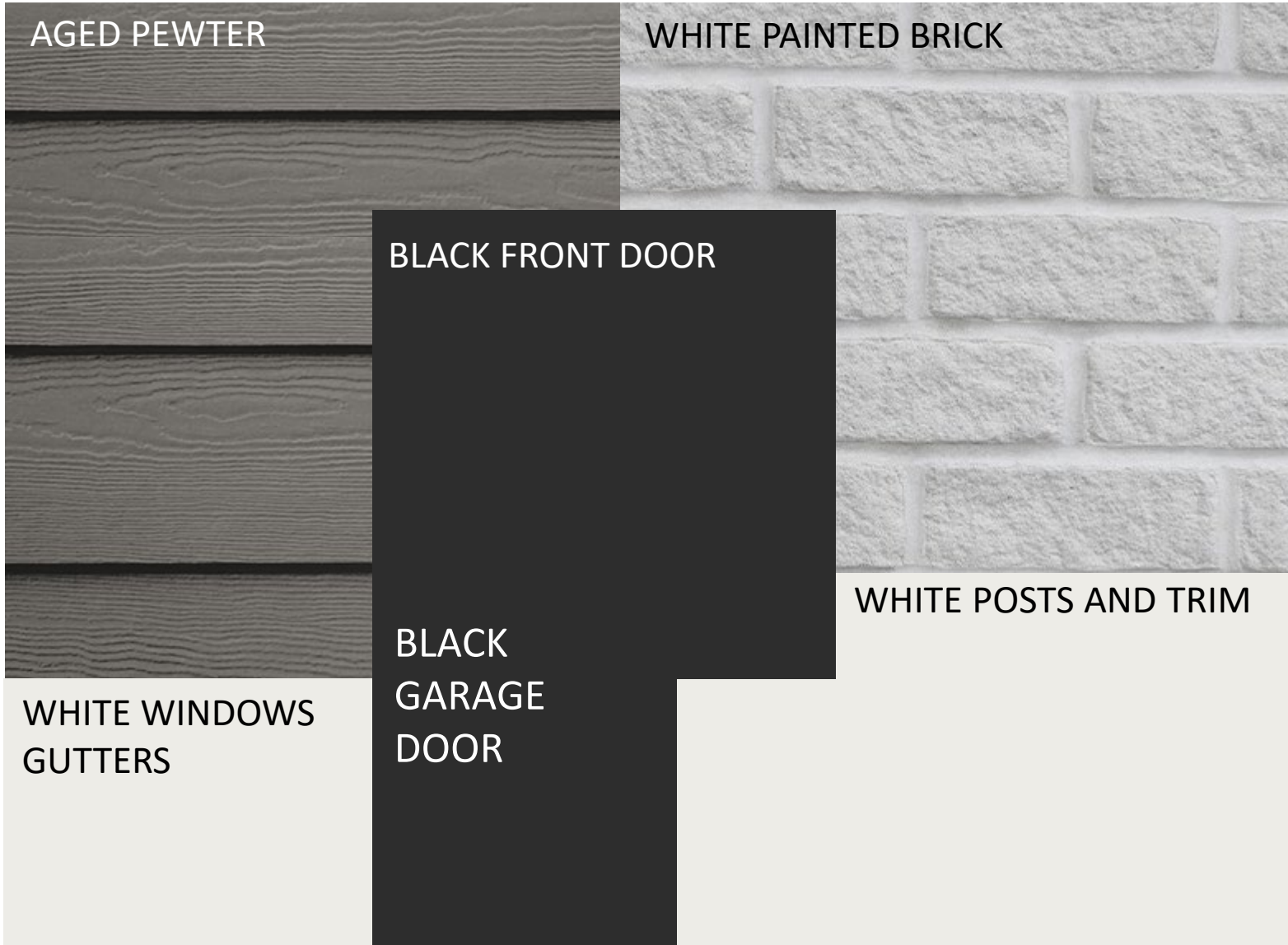
SCHEME 18



SCHEME 19



SCHEME 20



SCHEME 21



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



SCHEME 22



TIMBER BARK



WHITE PAINTED BRICK

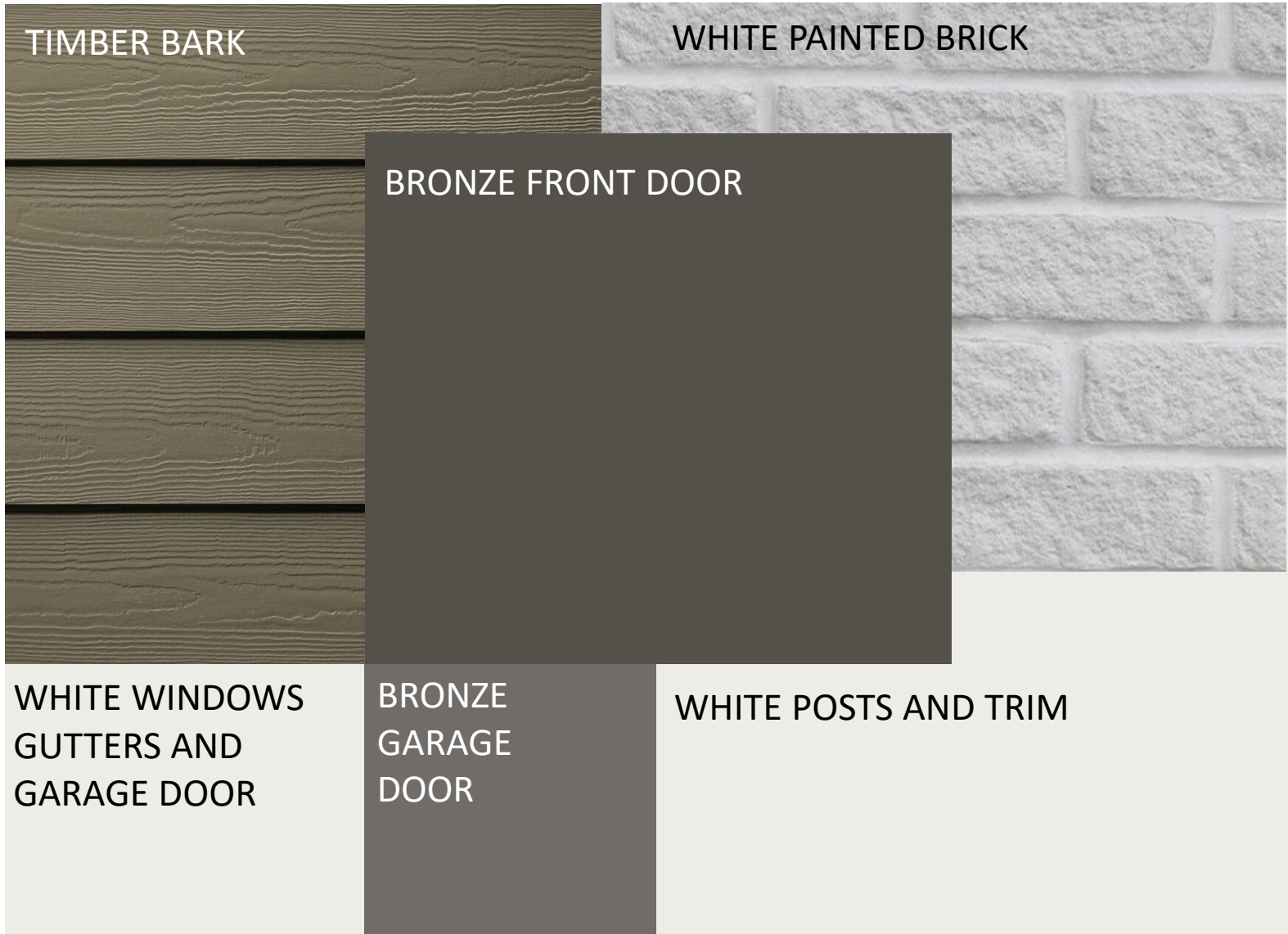


SW MINDFUL GRAY
FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

SCHEME 23



TIMBER BARK

WHITE PAINTED BRICK

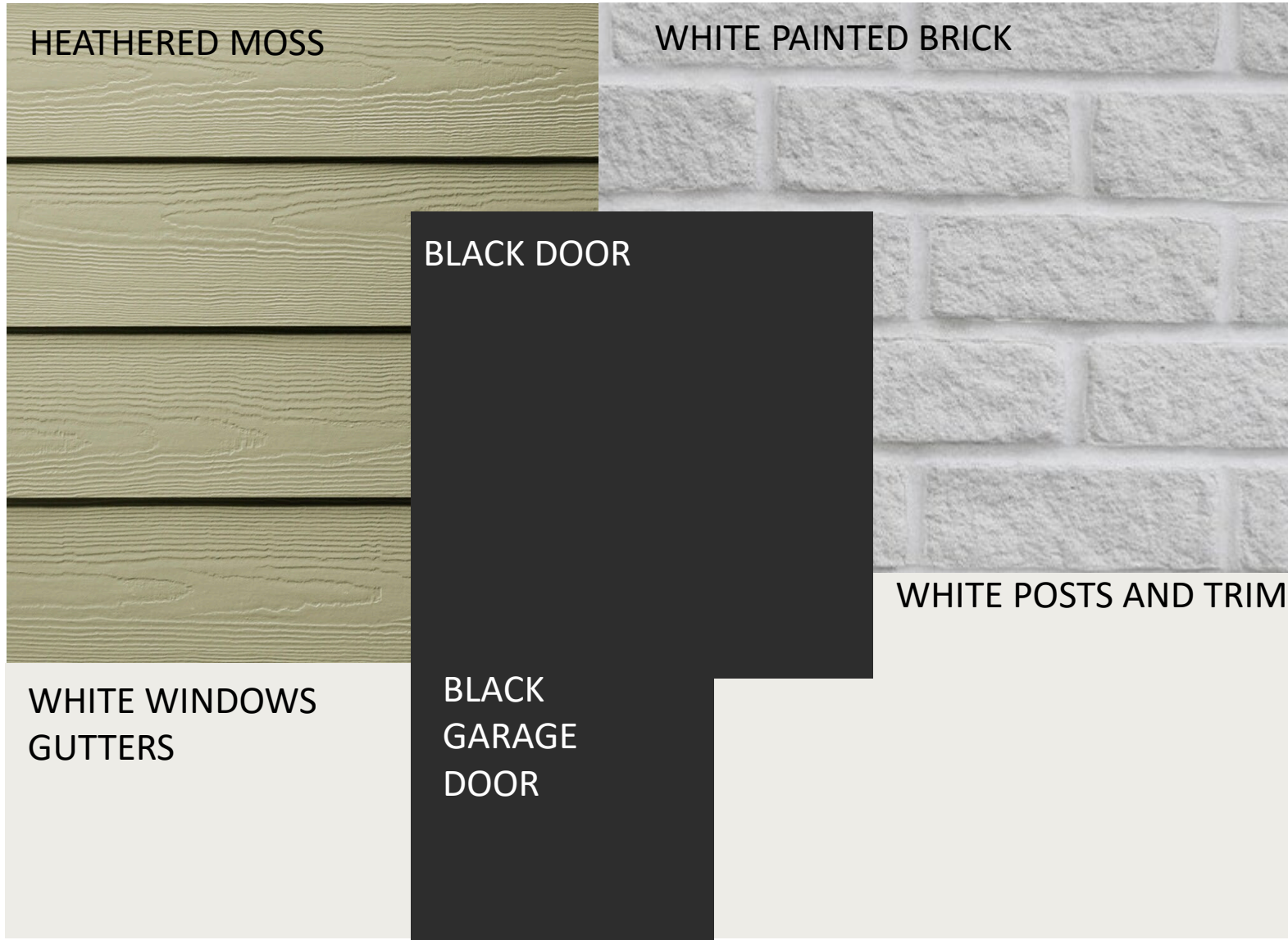
BRONZE FRONT DOOR

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

BRONZE
GARAGE
DOOR

WHITE POSTS AND TRIM

SCHEME 24



SCHEME 25

HEATHERED MOSS

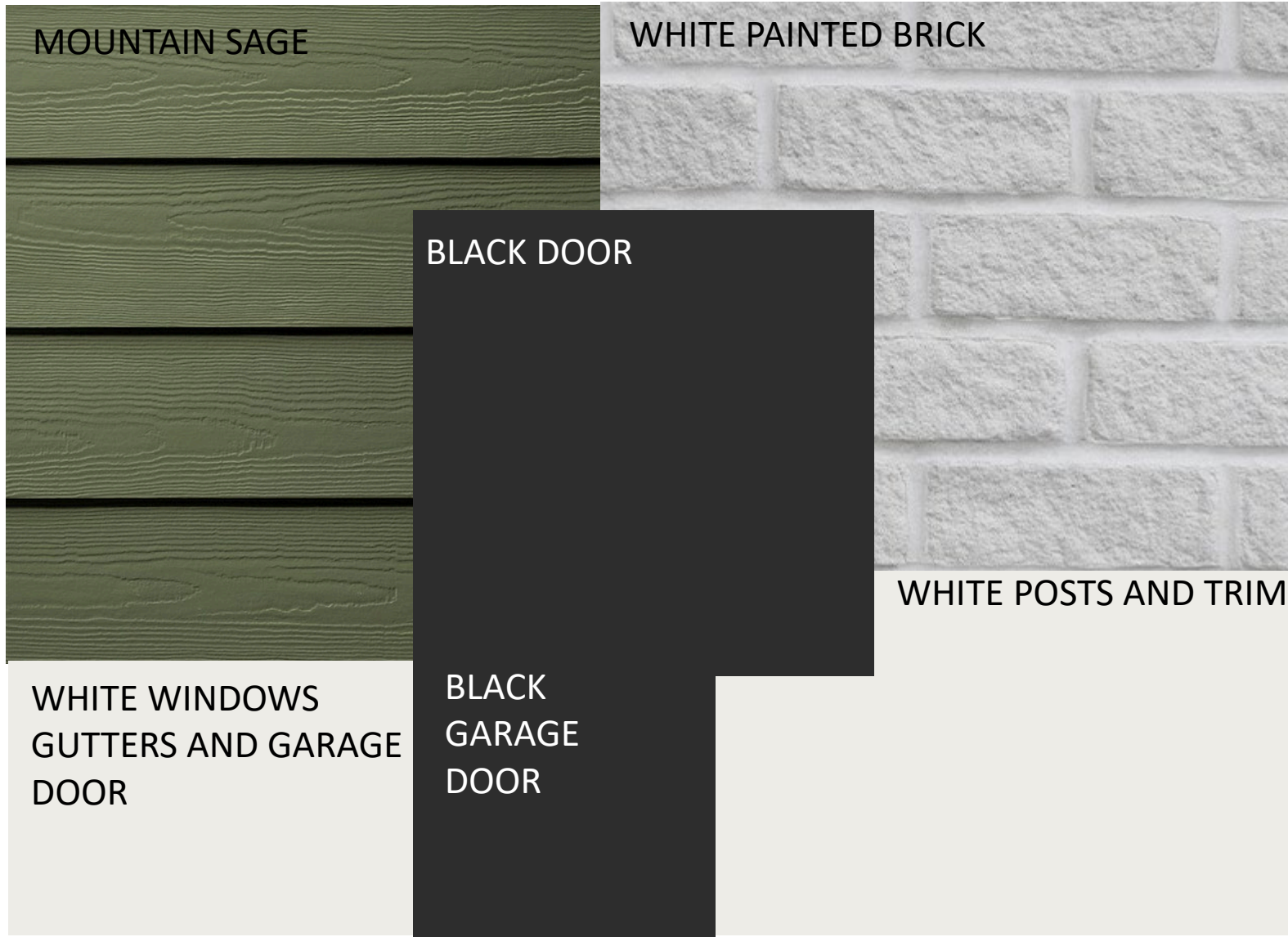
WHITE PAINTED BRICK

WHITE FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS

SCHEME 26



SCHEME 27



MOUNTAIN SAGE



WHITE PAINTED BRICK



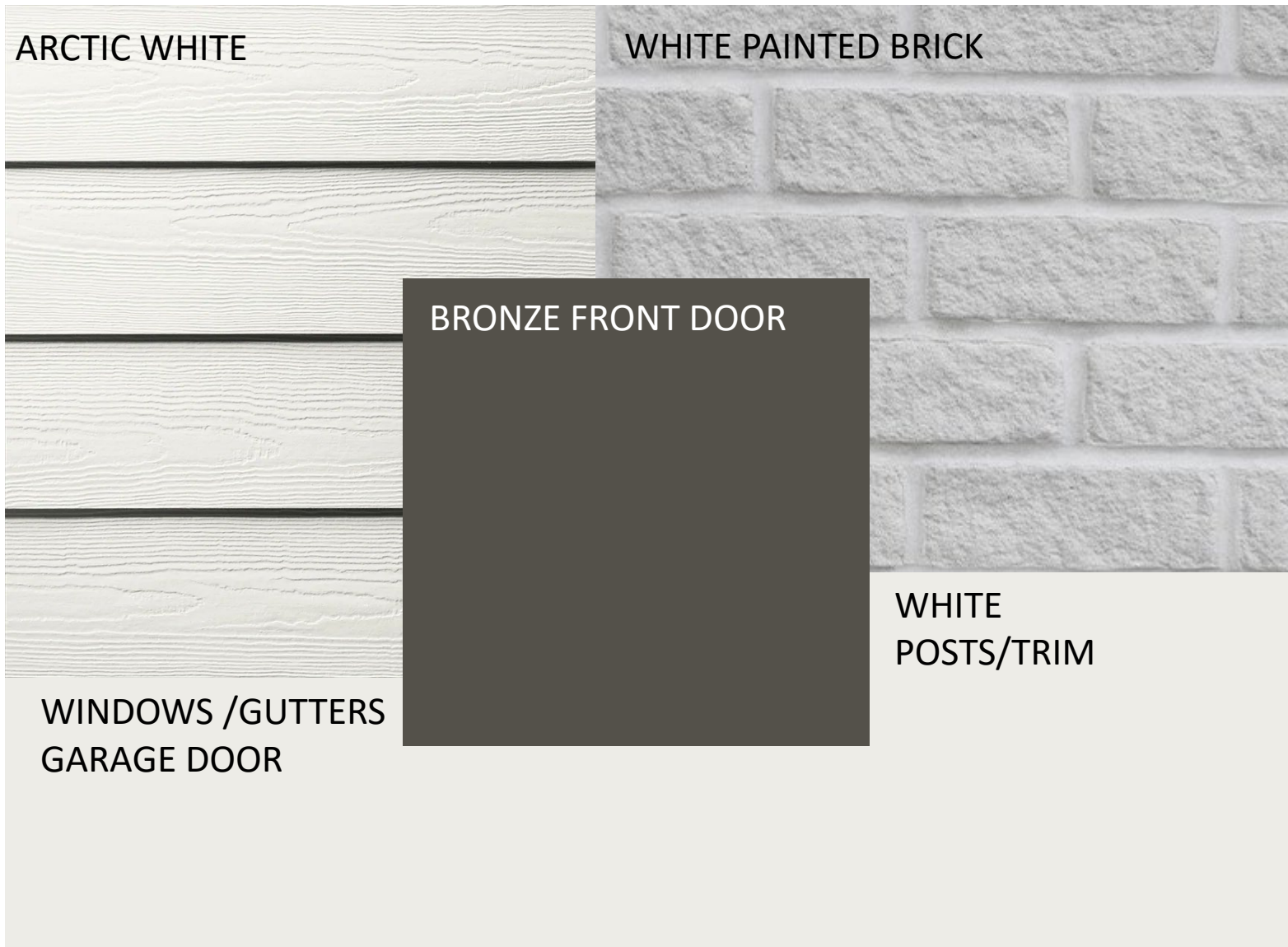
WHITE FRONT DOOR

WHITE POSTS AND TRIM

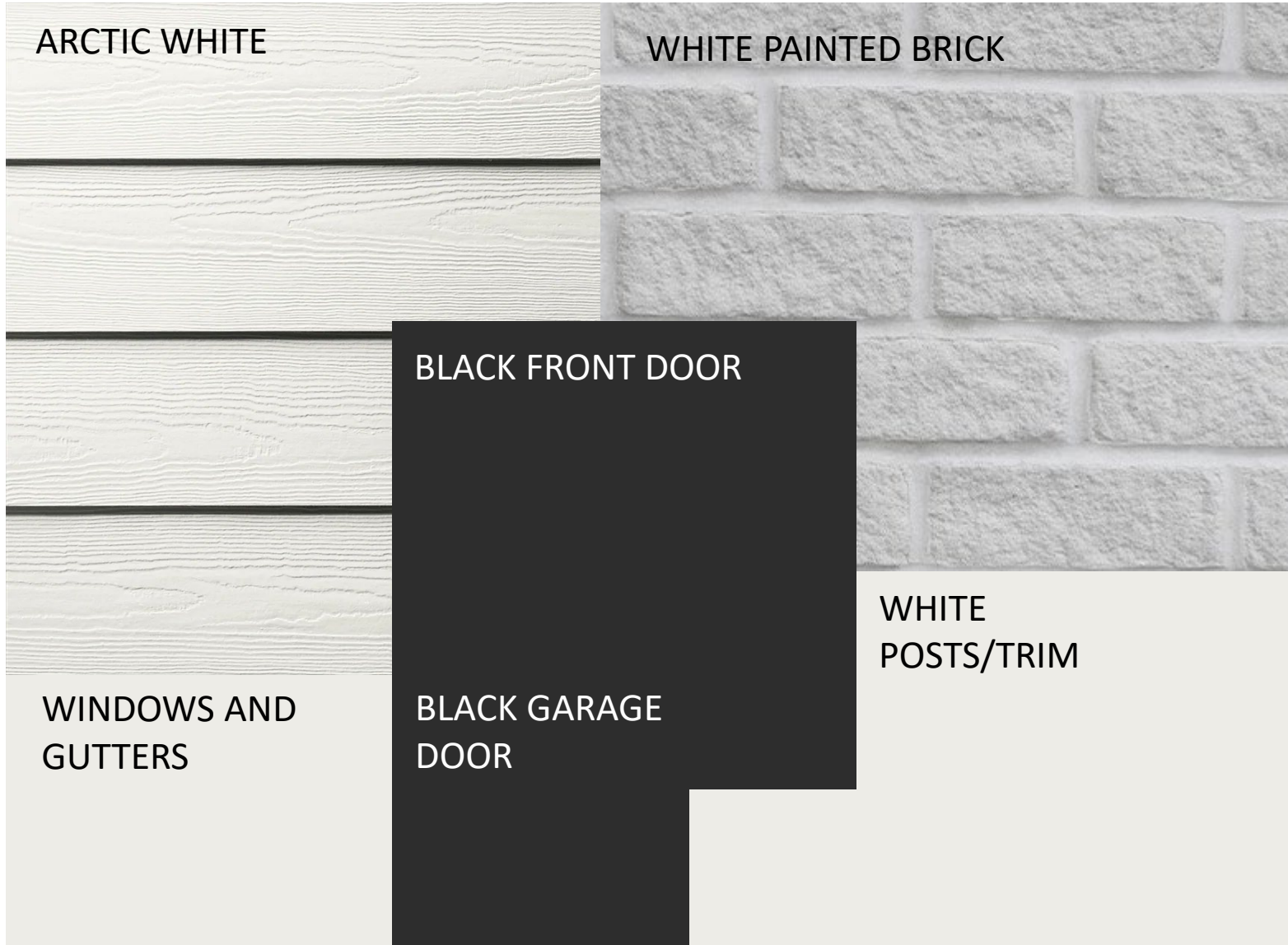
WHITE WINDOWS
GUTTERS AND GARAGE
DOOR

PLAN 3

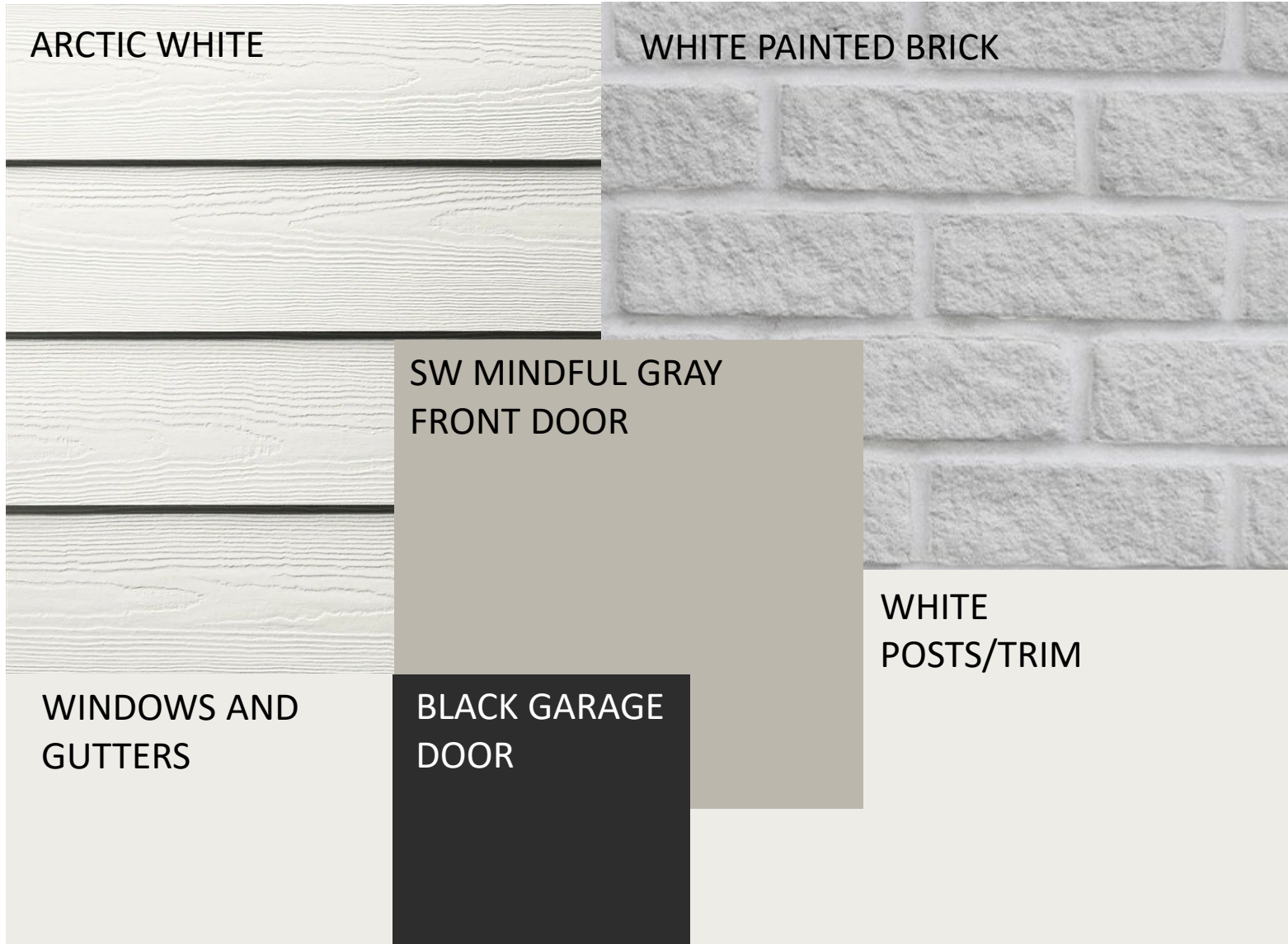
SCHEME 1



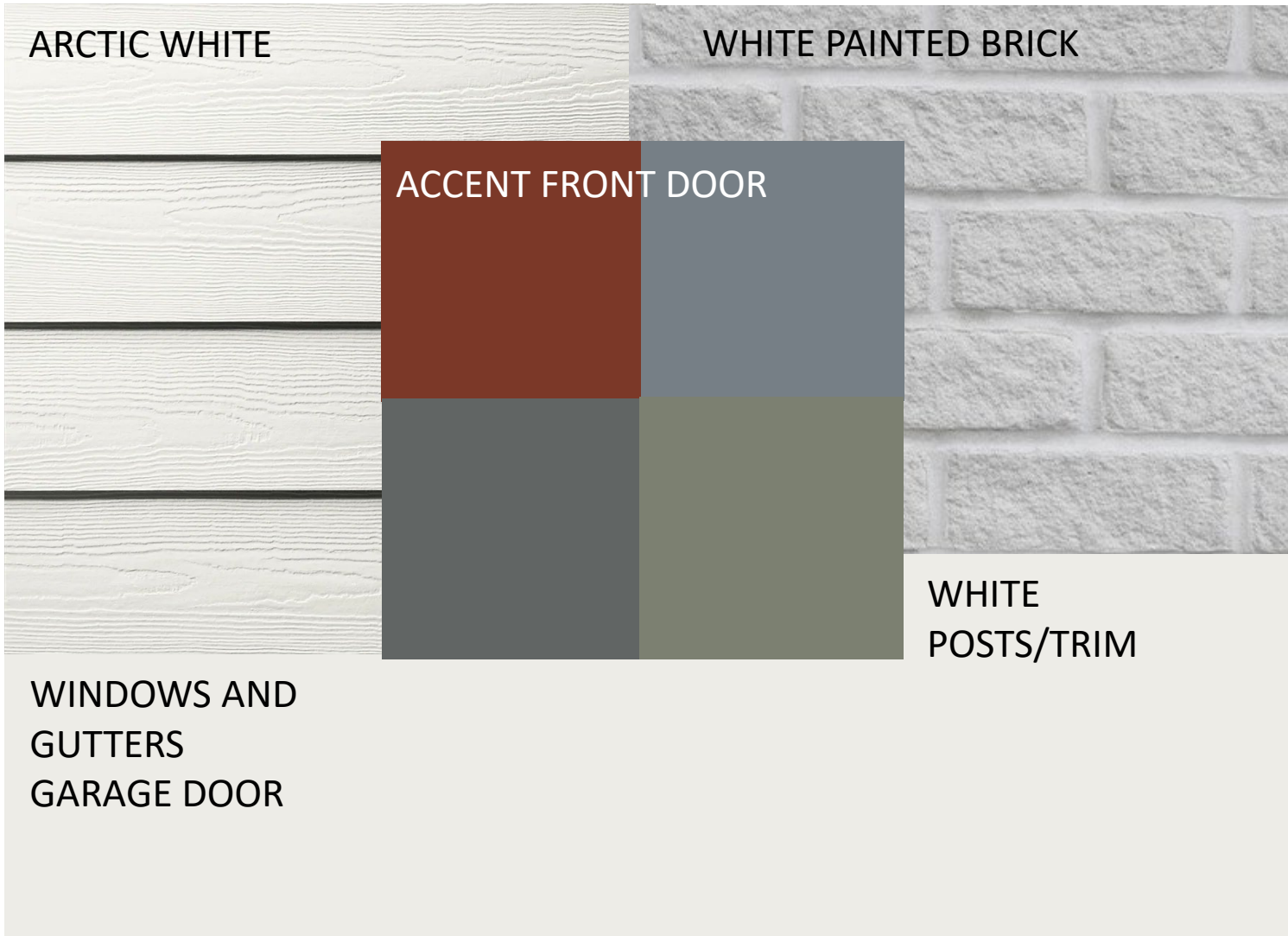
SCHEME 2



SCHEME 3

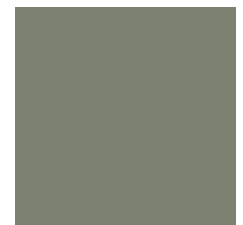
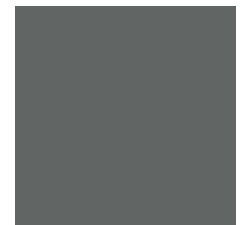
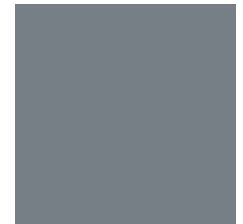


SCHEME 4

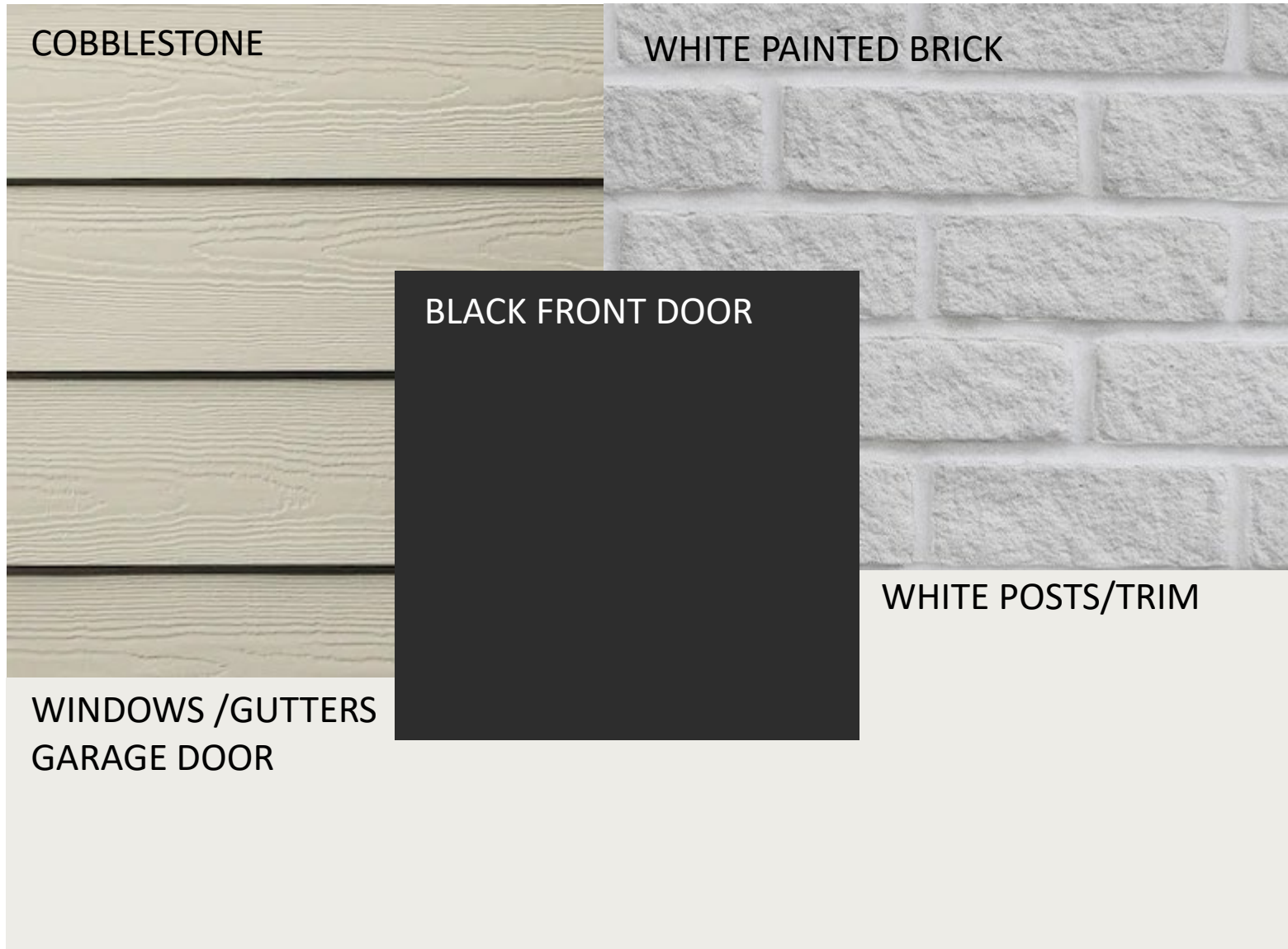


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME

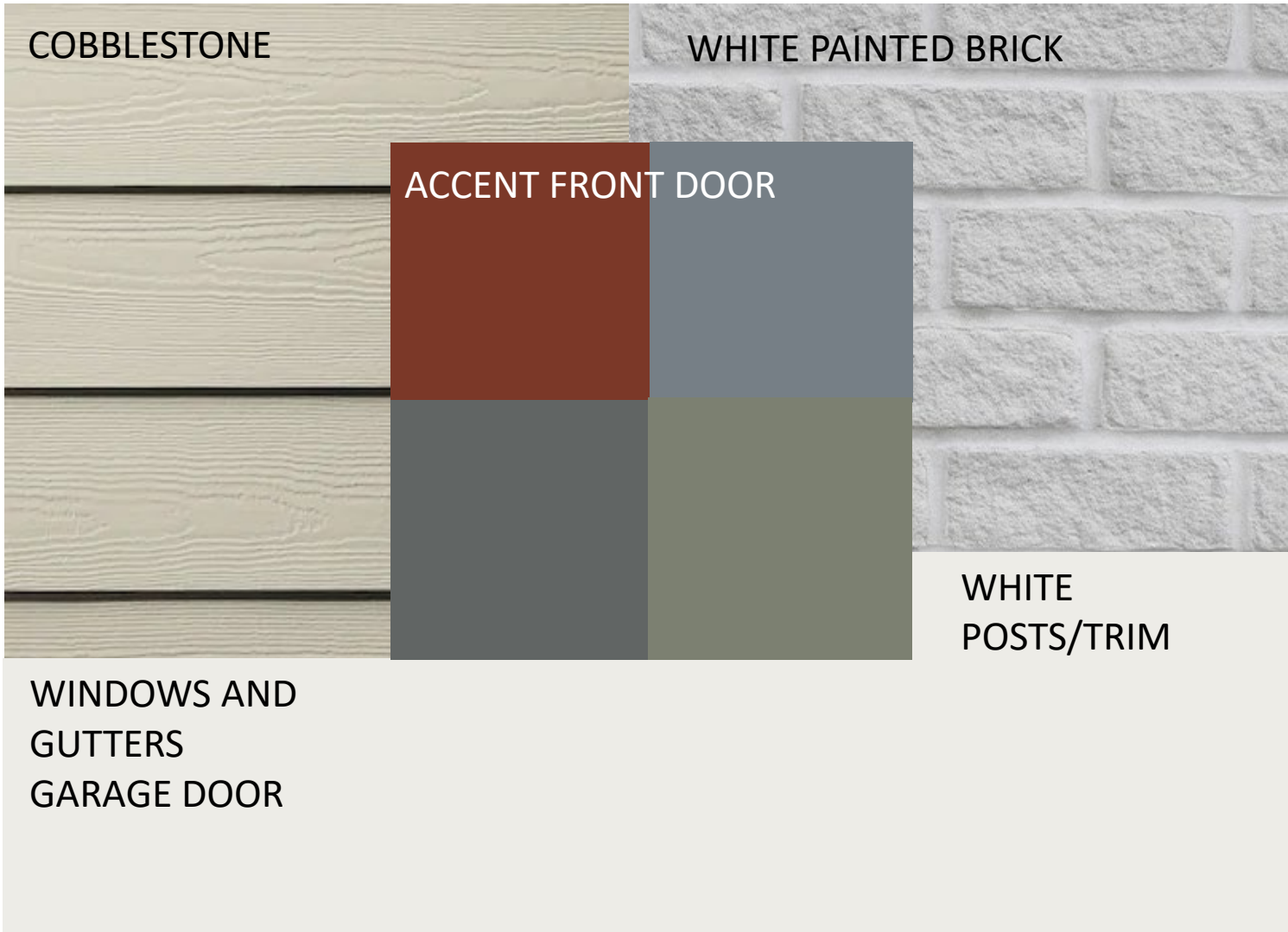


SCHEME 5



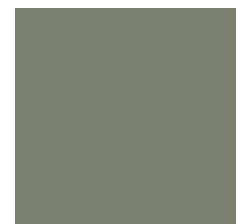
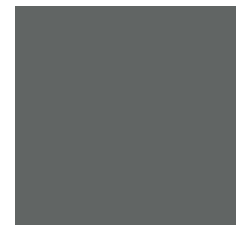
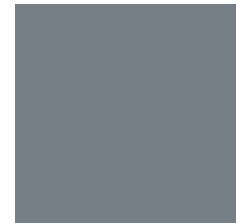
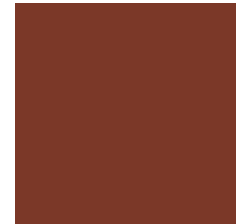
*Exterior color package may not be available depending on selections for neighboring lots

SCHEME 6



ACCENT DOOR OPTIONS

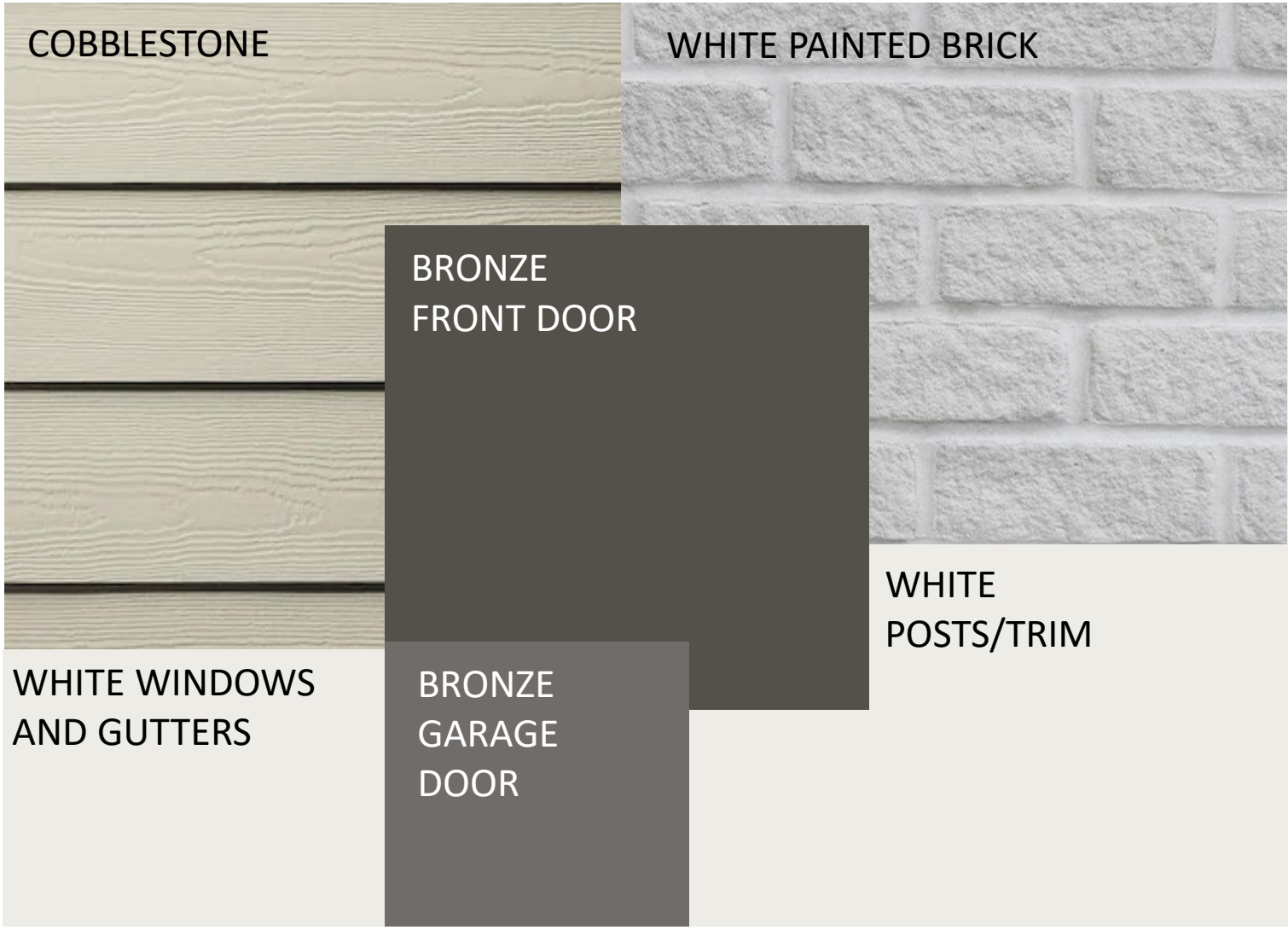
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 7



SCHEME 8



ACCENT FRONT DOOR
• SW DRIED THYME



SCHEME 9



SCHEME 10

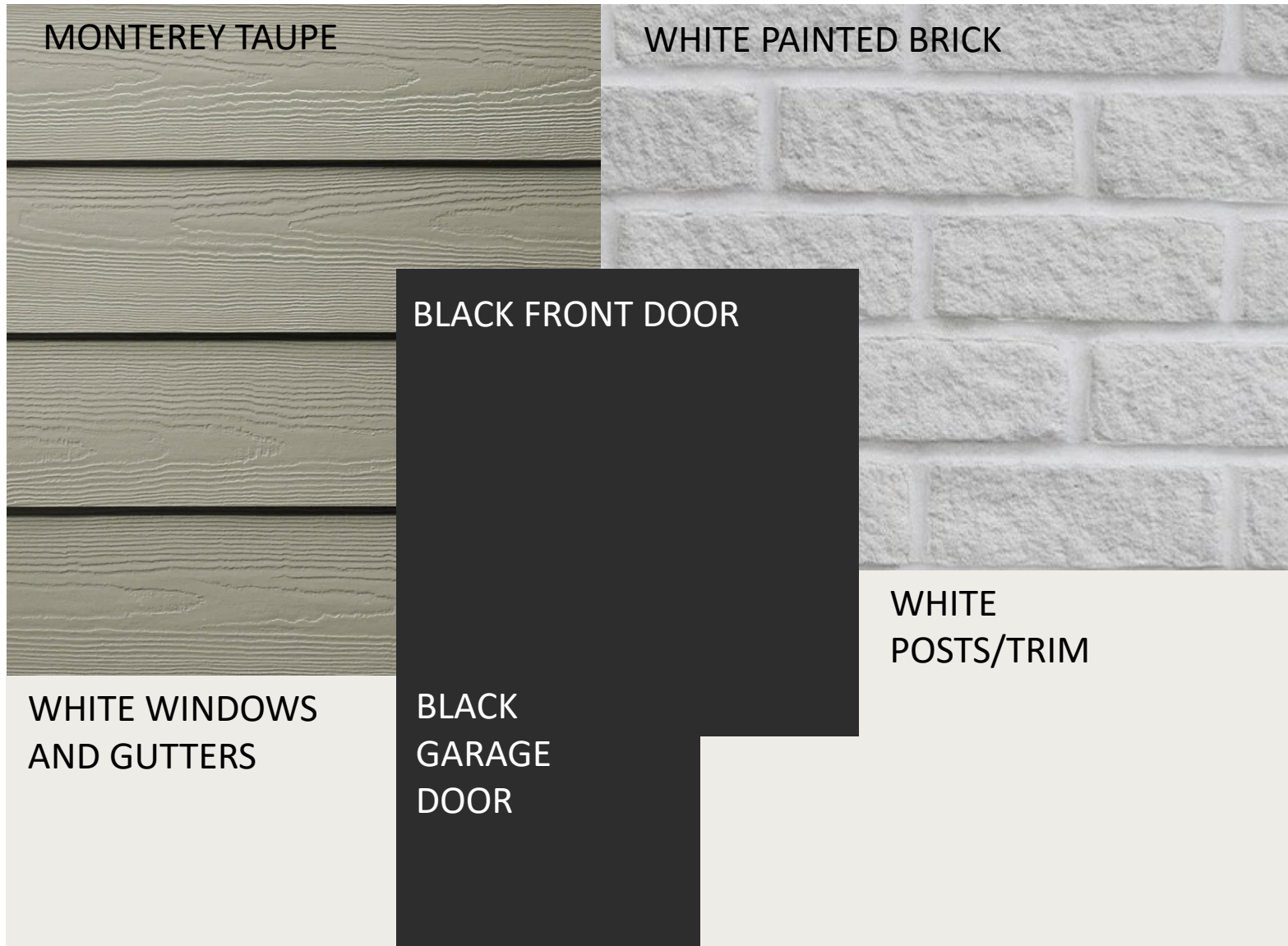


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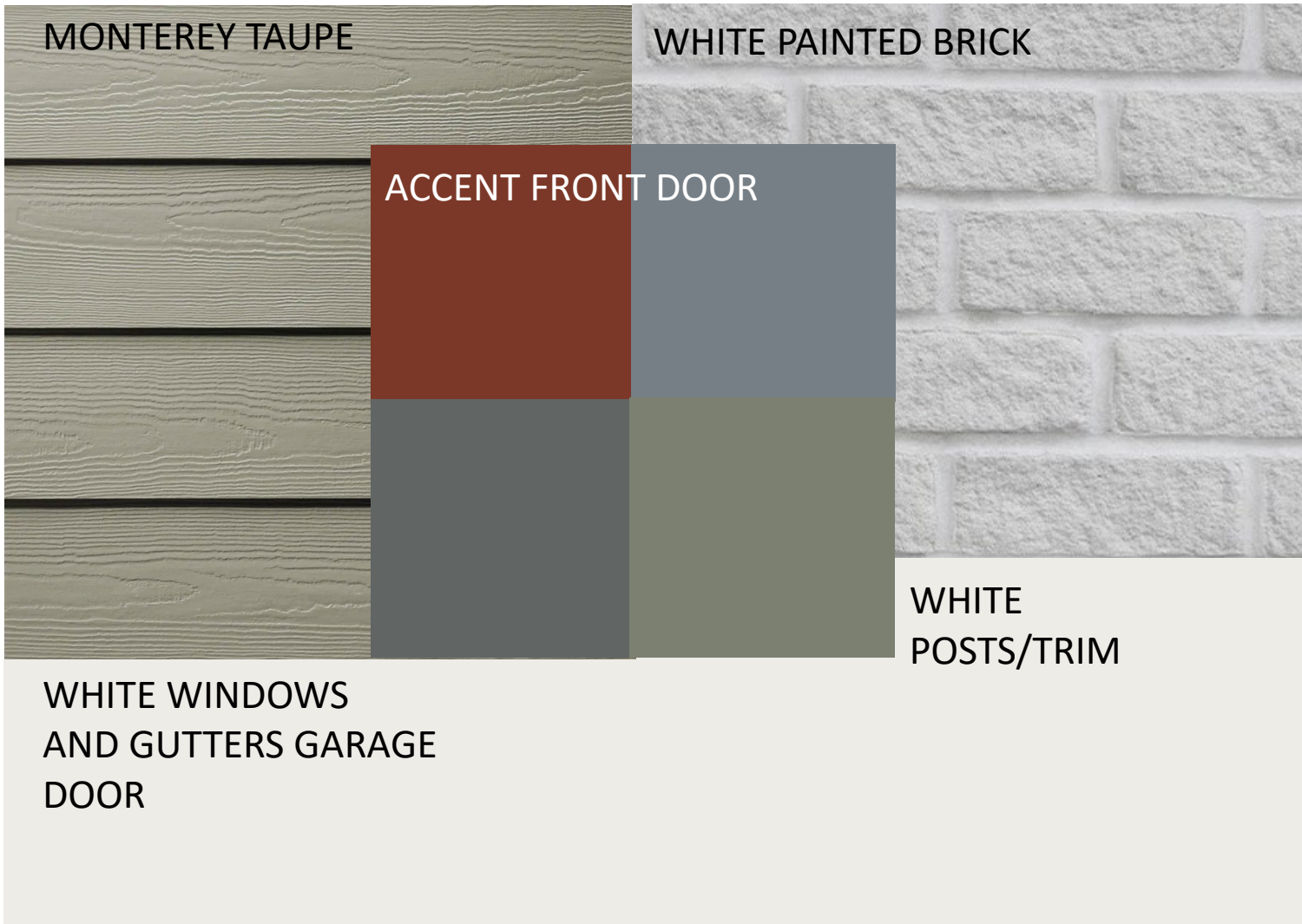
- SW DRIED THYME



SCHEME 11

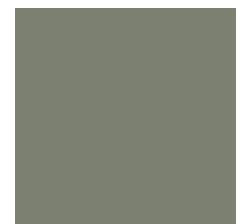
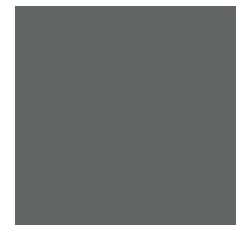
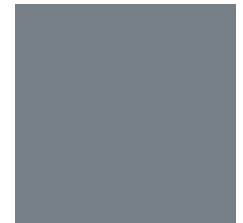
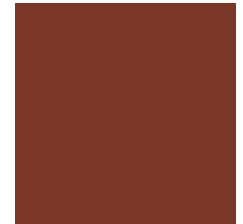


SCHEME 12

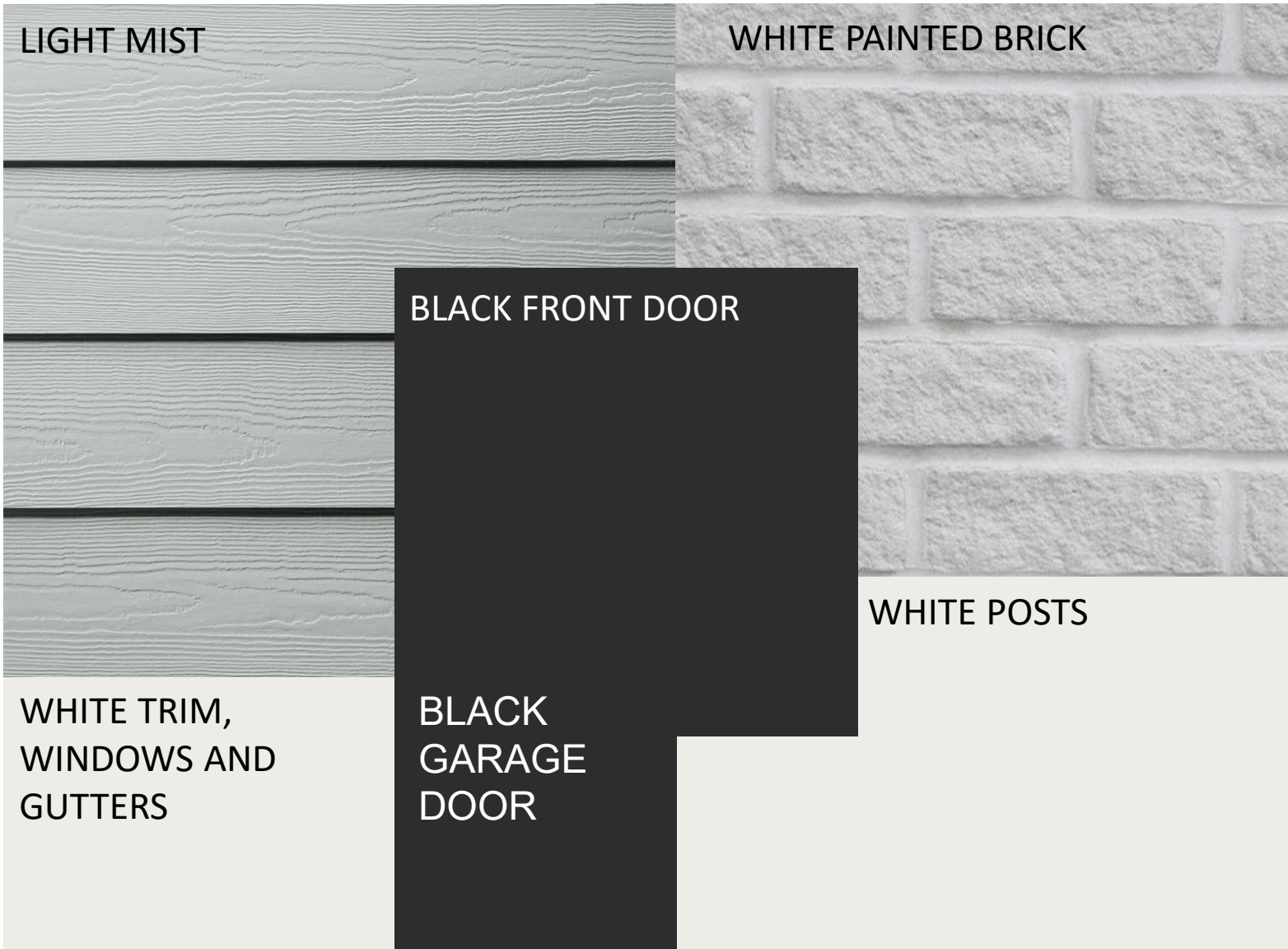


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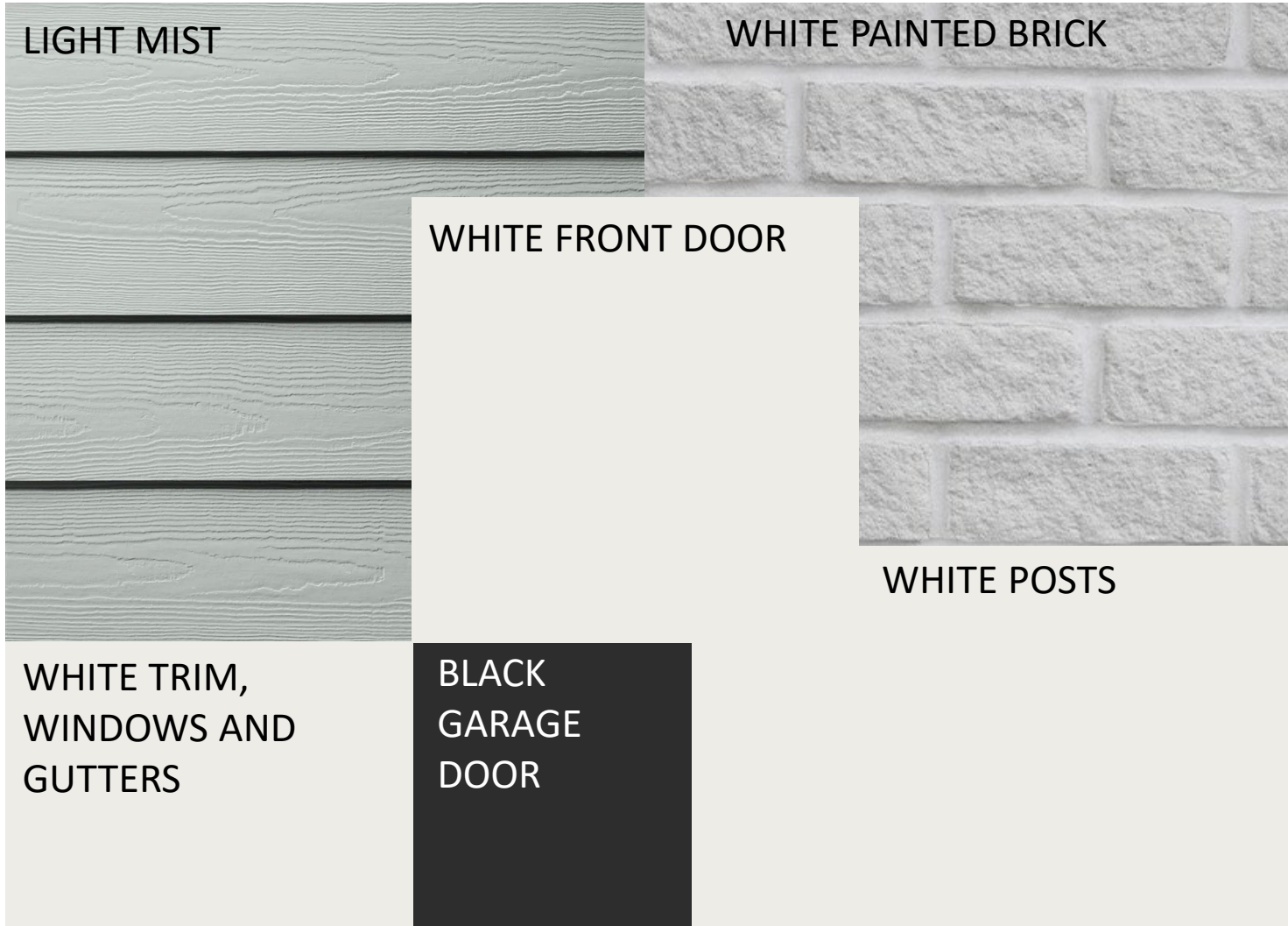
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13

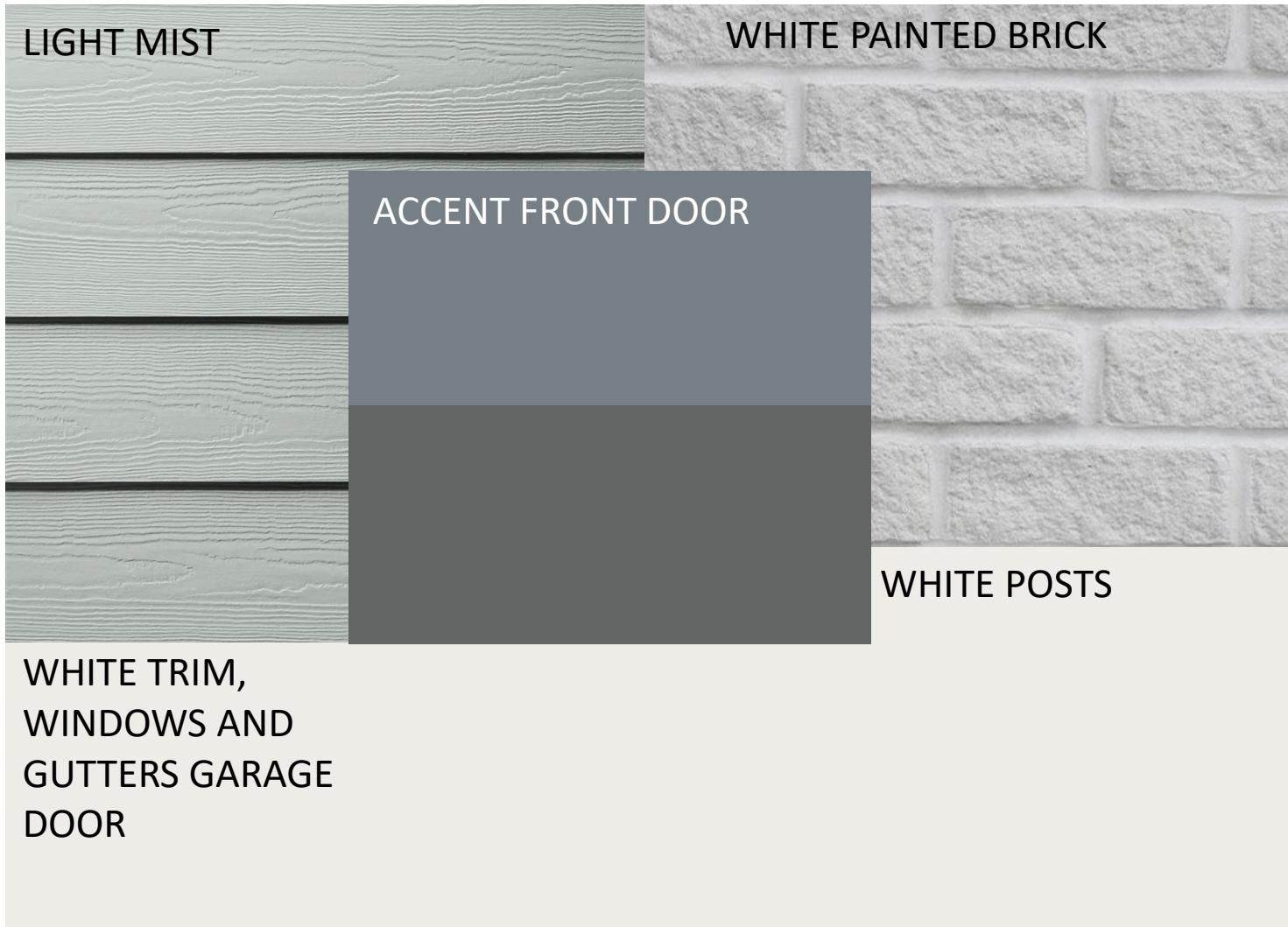


SCHEME 14



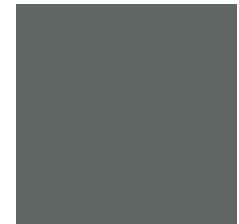
*LIKELY NOT APPLICABLE IF AROUND DOOR IS PAINTED WHITE BRICK

SCHEME 15

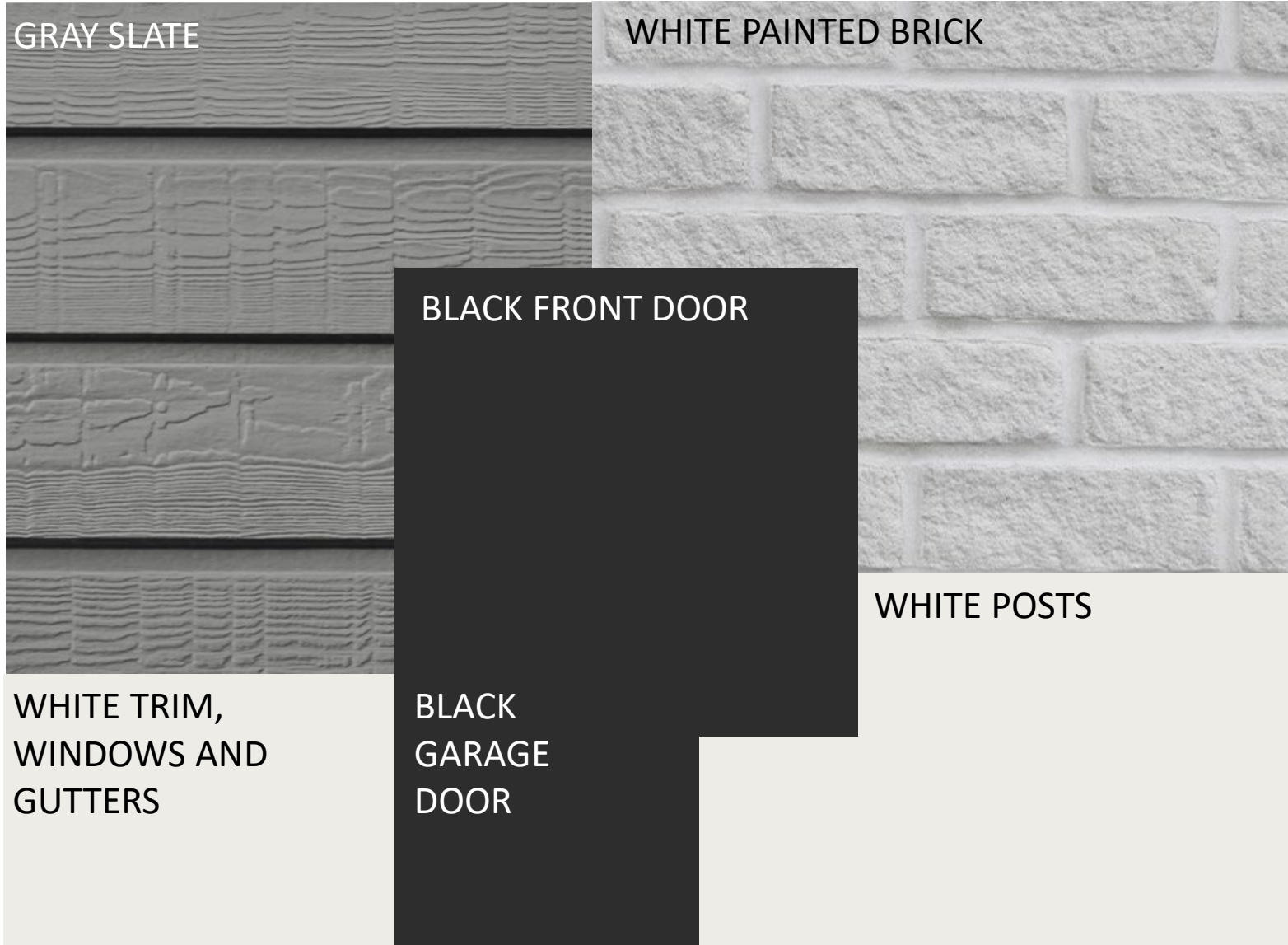


ACCENT DOOR OPTIONS

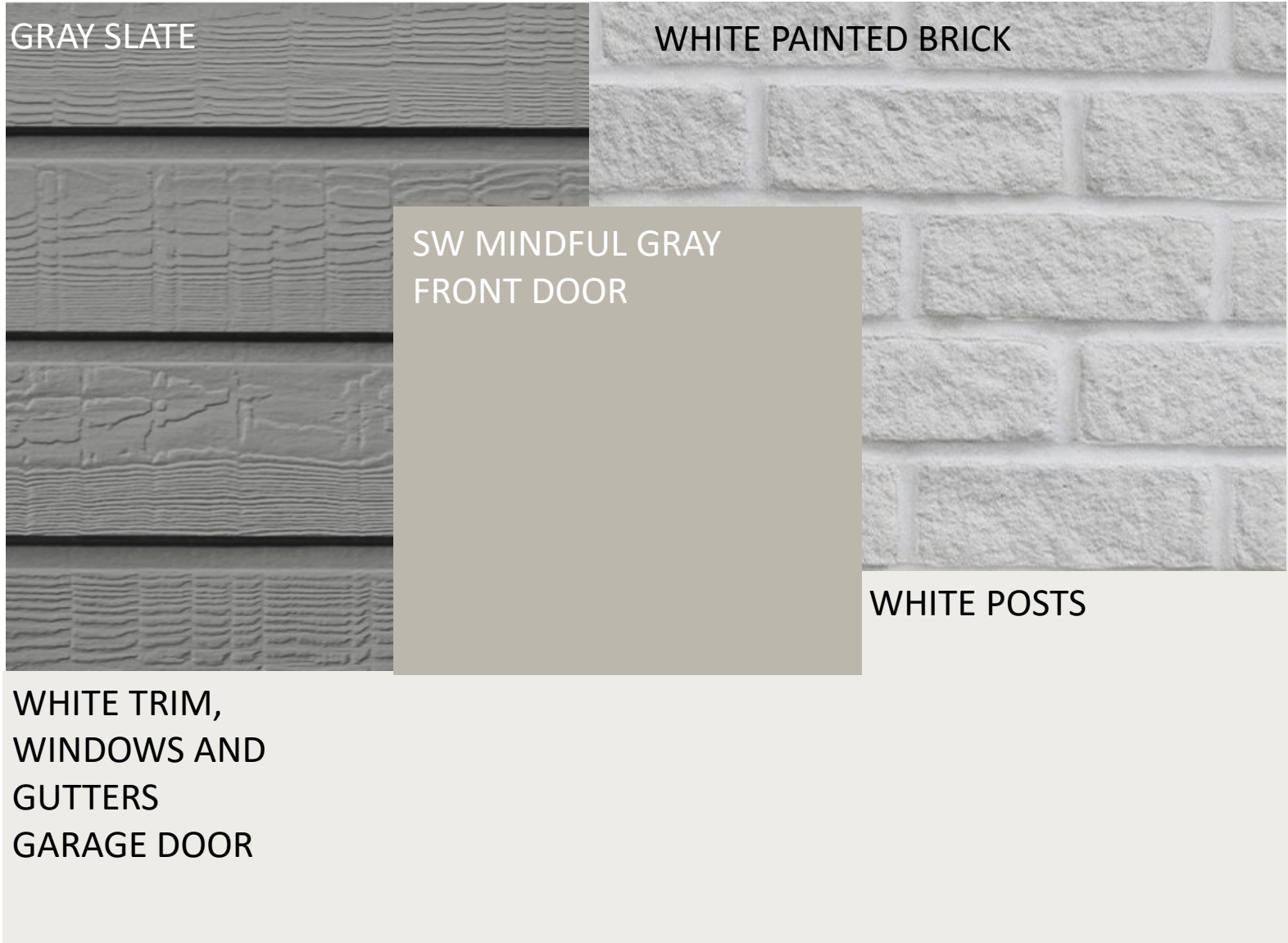
- SW DOWNING SLATE
- SW ROYCROFT PEWTER



SCHEME 16



SCHEME 17



SCHEME 18

GRAY SLATE

WHITE PAINTED BRICK

ACCENT FRONT DOOR

WHITE POSTS

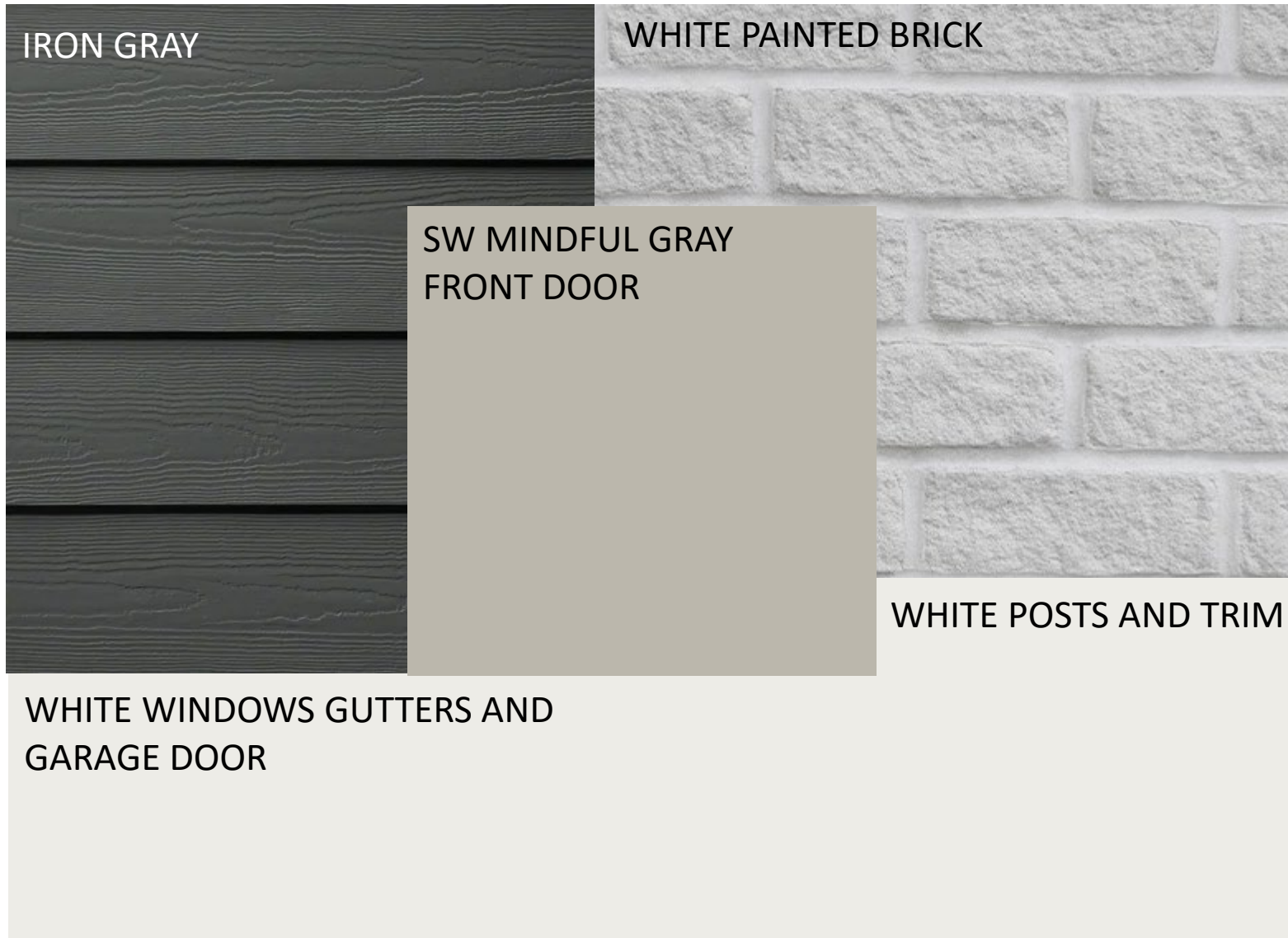
WHITE TRIM
WINDOWS AND
GUTTERS GARAGE
DOOR

ACCENT DOOR OPTIONS

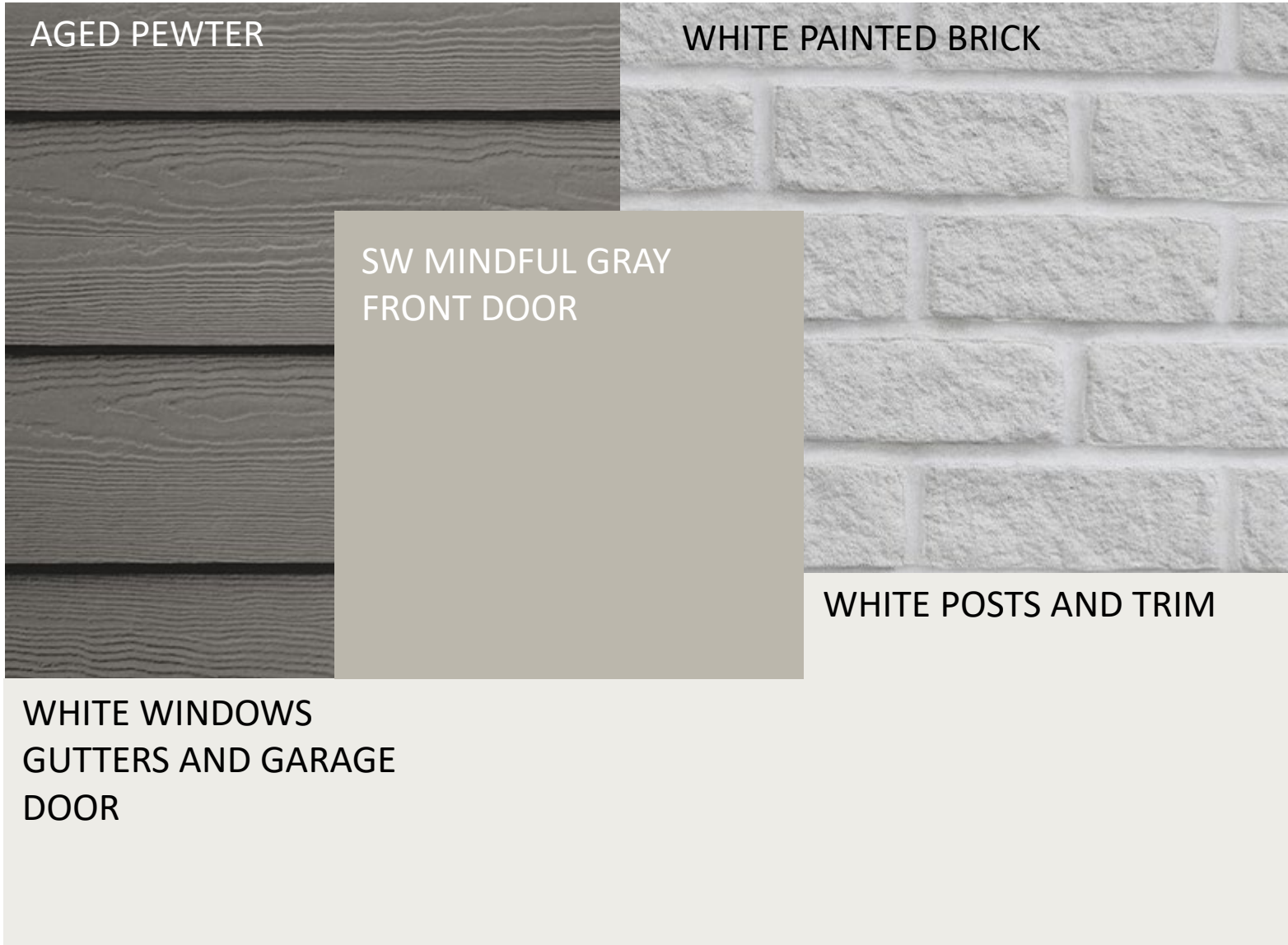
- SW ROYCROFT
COPPER RED



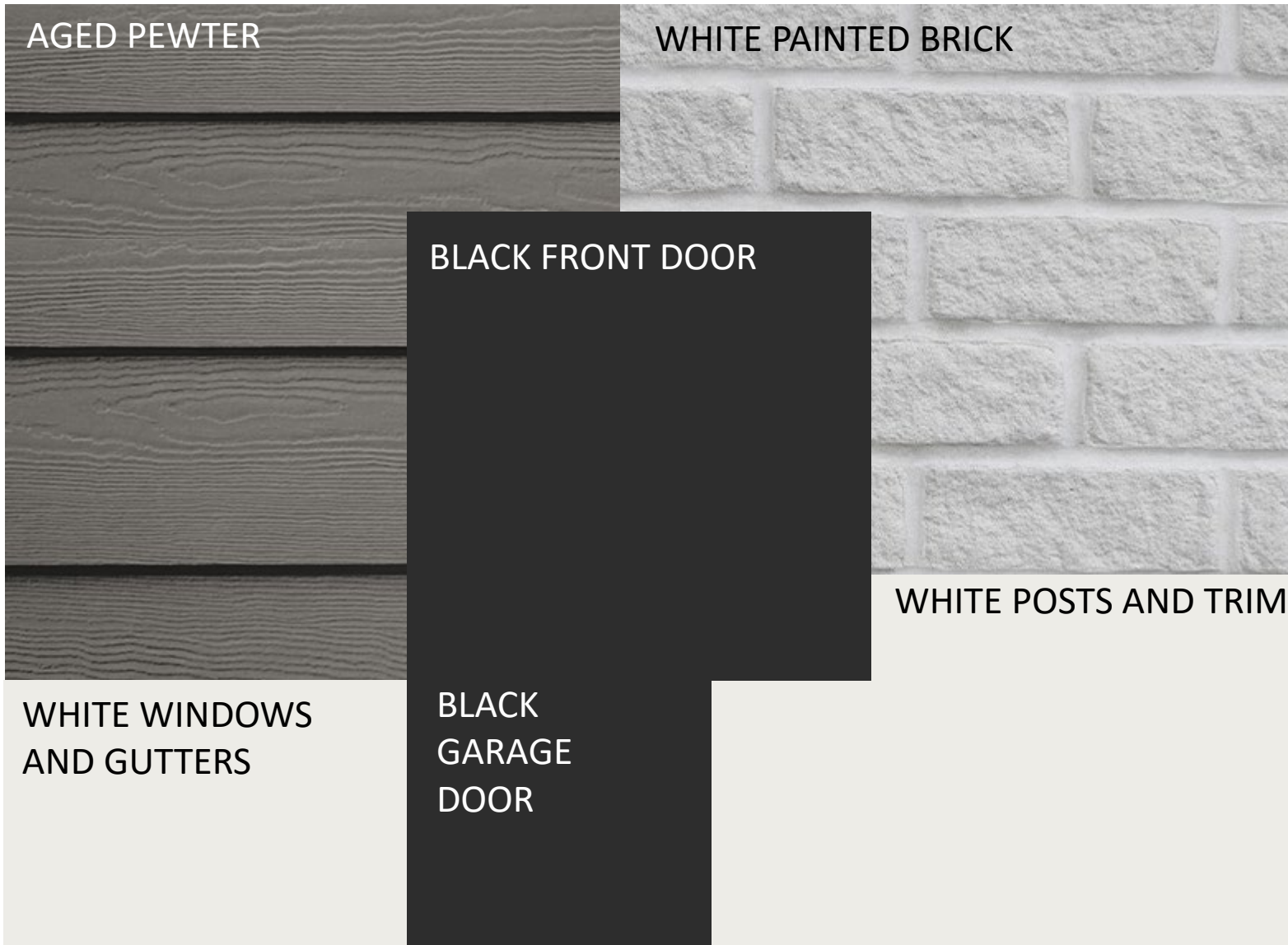
SCHEME 19



SCHEME 20



SCHEME 21

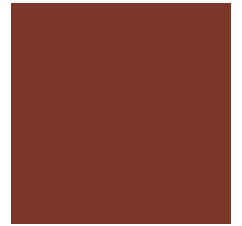


SCHEME 22



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



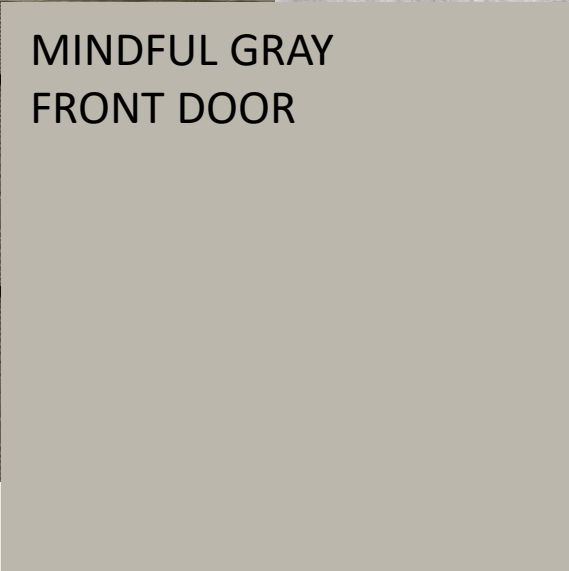
SCHEME 23



TIMBER BARK



WHITE PAINTED BRICK

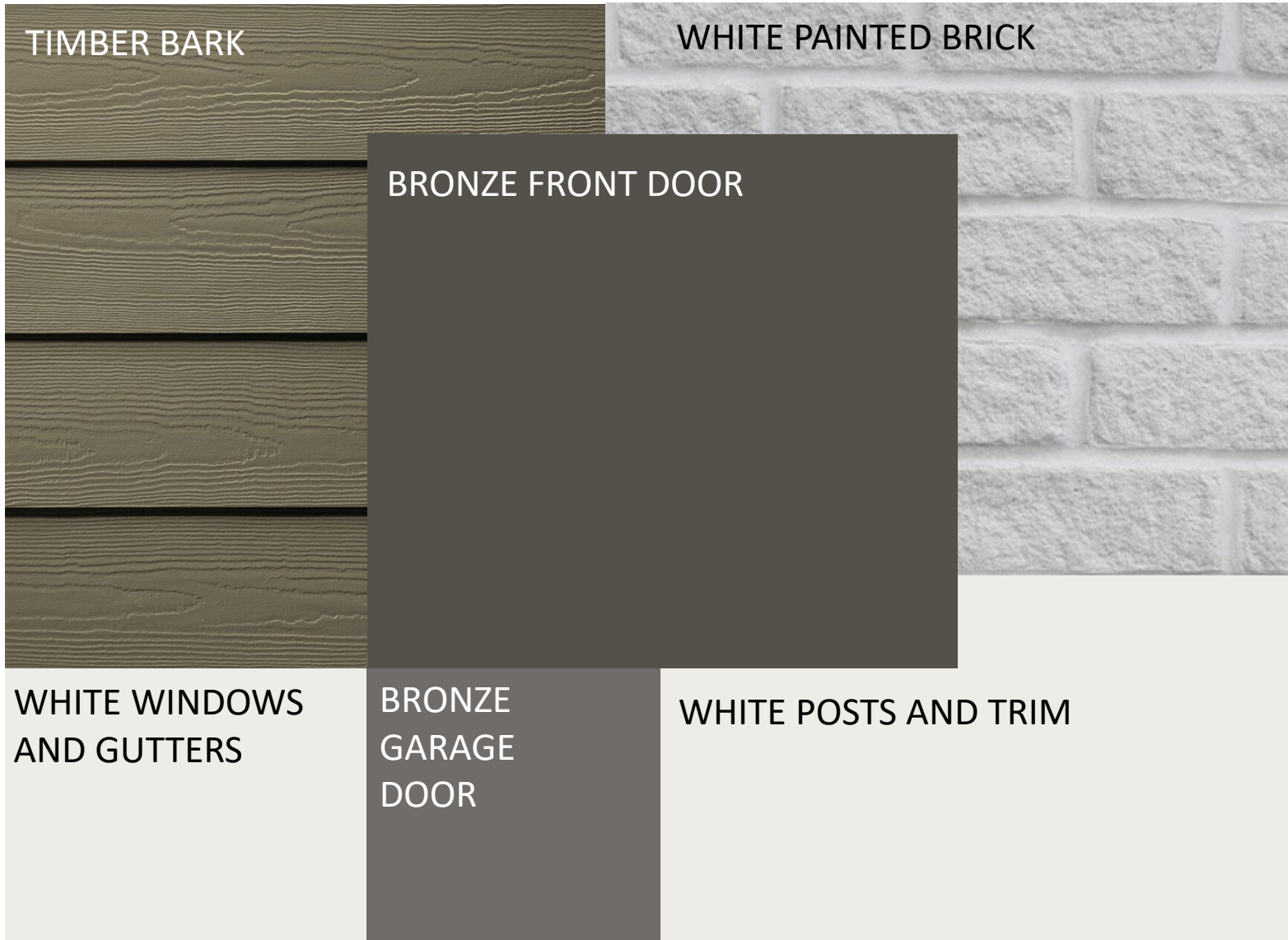


MINDFUL GRAY
FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

SCHEME 24



TIMBER BARK

WHITE PAINTED BRICK

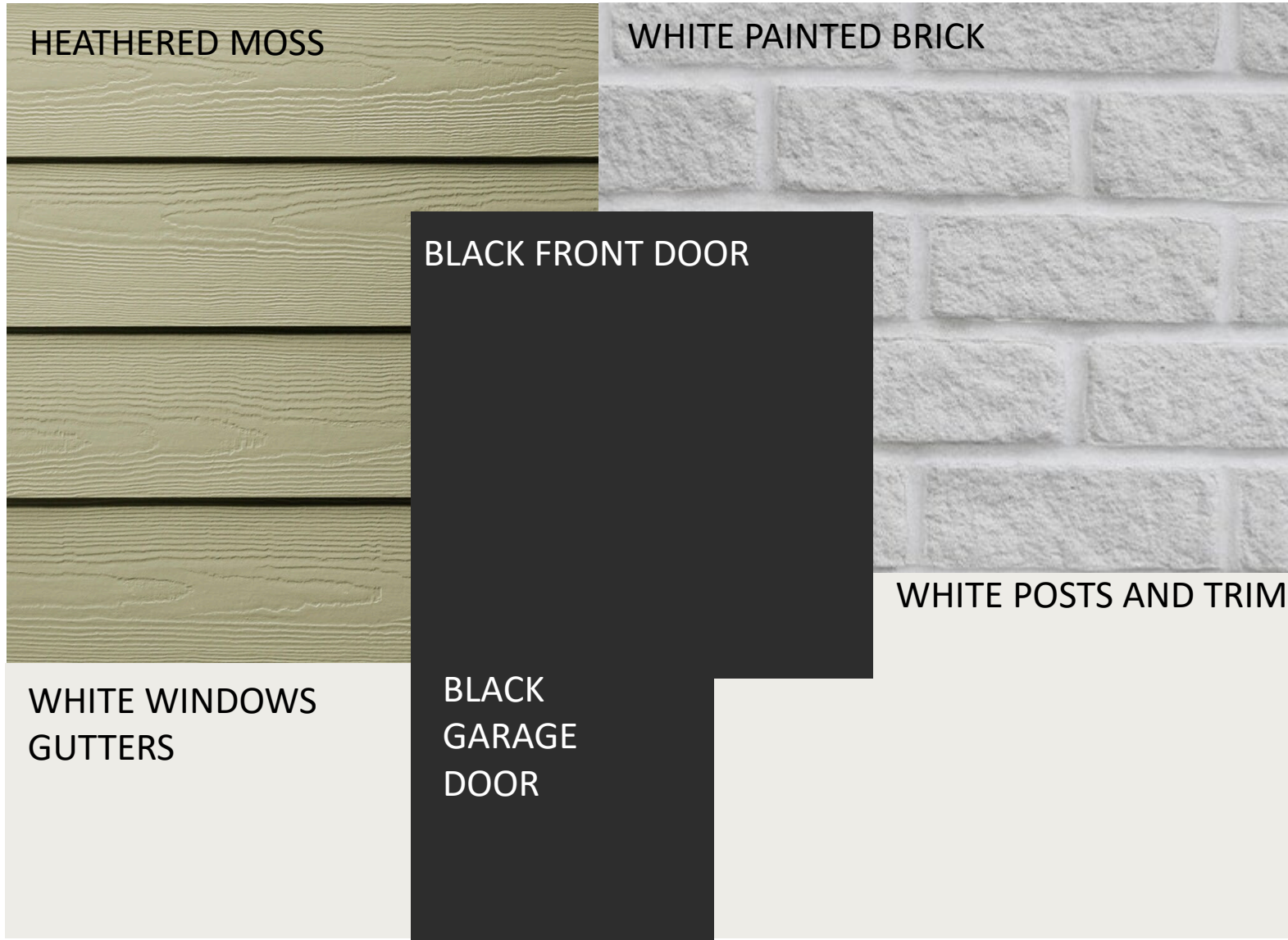
BRONZE FRONT DOOR

WHITE WINDOWS
AND GUTTERS

BRONZE
GARAGE
DOOR

WHITE POSTS AND TRIM

SCHEME 25



SCHEME 26

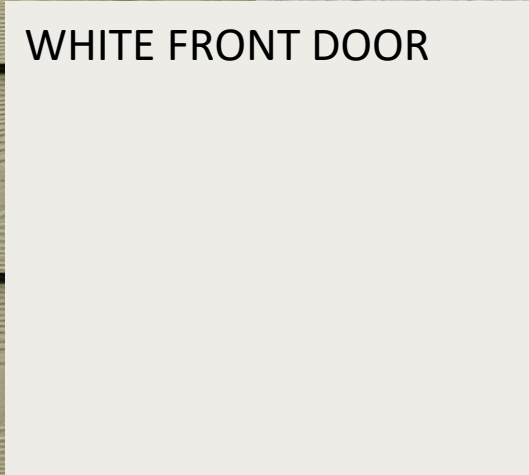
HEATHERED MOSS



WHITE PAINTED BRICK



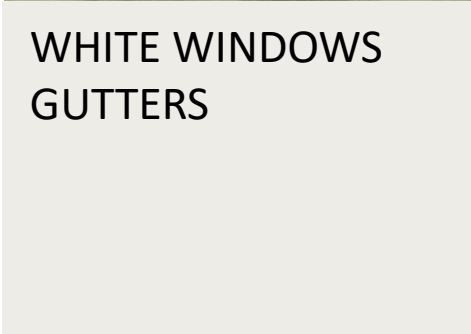
WHITE FRONT DOOR



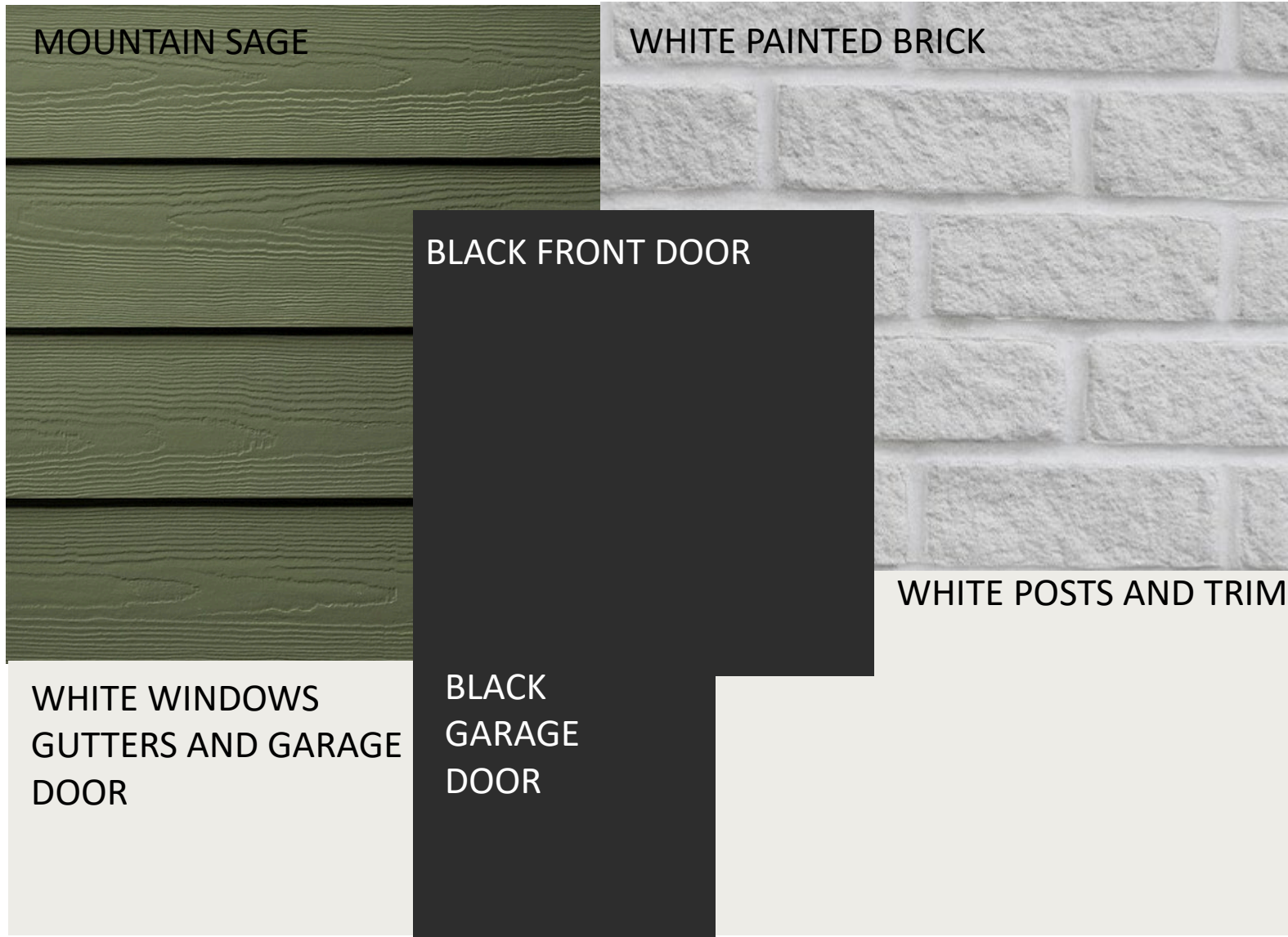
WHITE POSTS AND TRIM



WHITE WINDOWS
GUTTERS



SCHEME 27

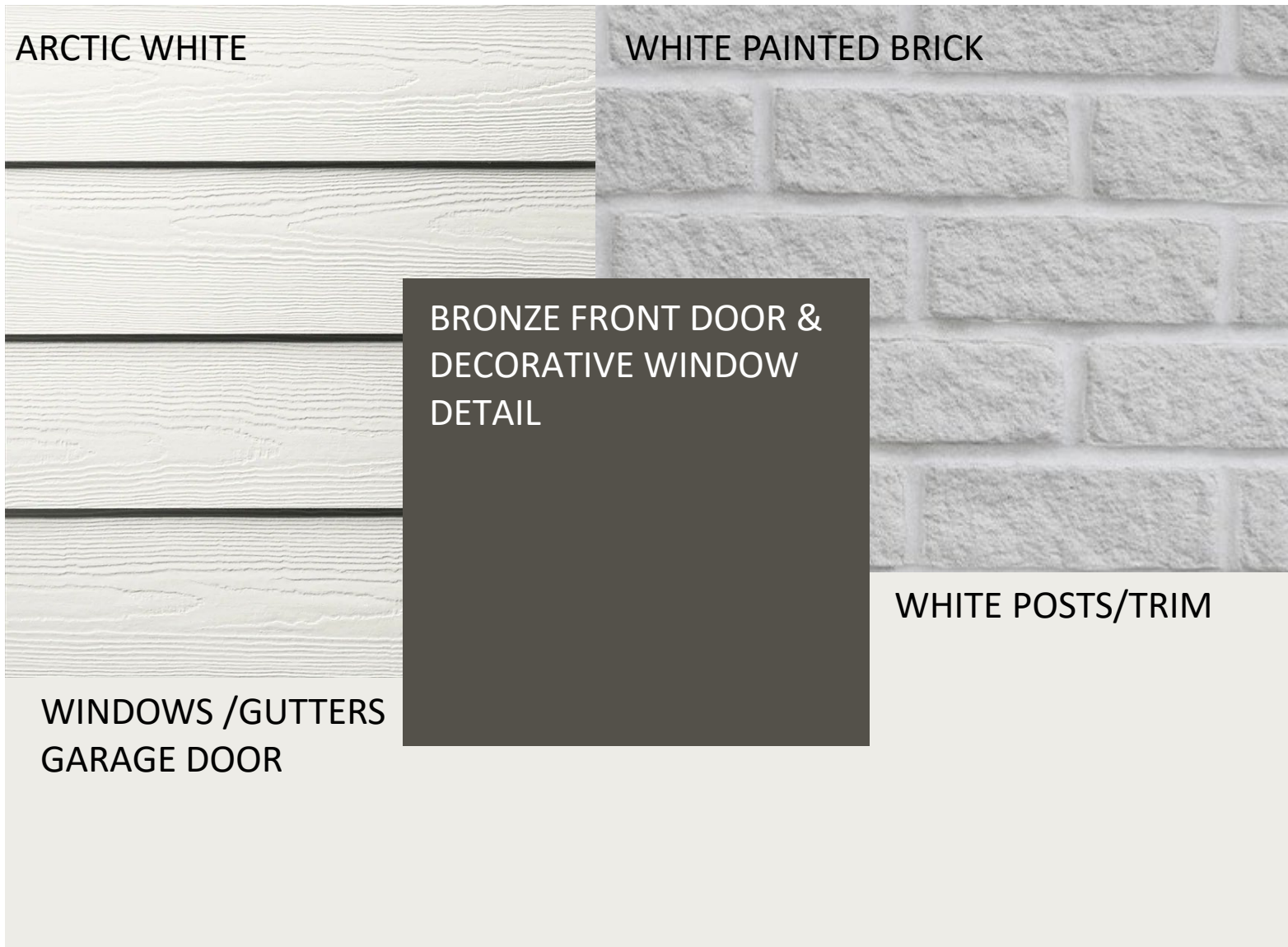


SCHEME 28



MCCALLIE PLAN (Plans 4 and 5)

SCHEME 1



SCHEME 2

ARCTIC WHITE

WHITE PAINTED BRICK

BLACK FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WINDOWS AND
GUTTERS

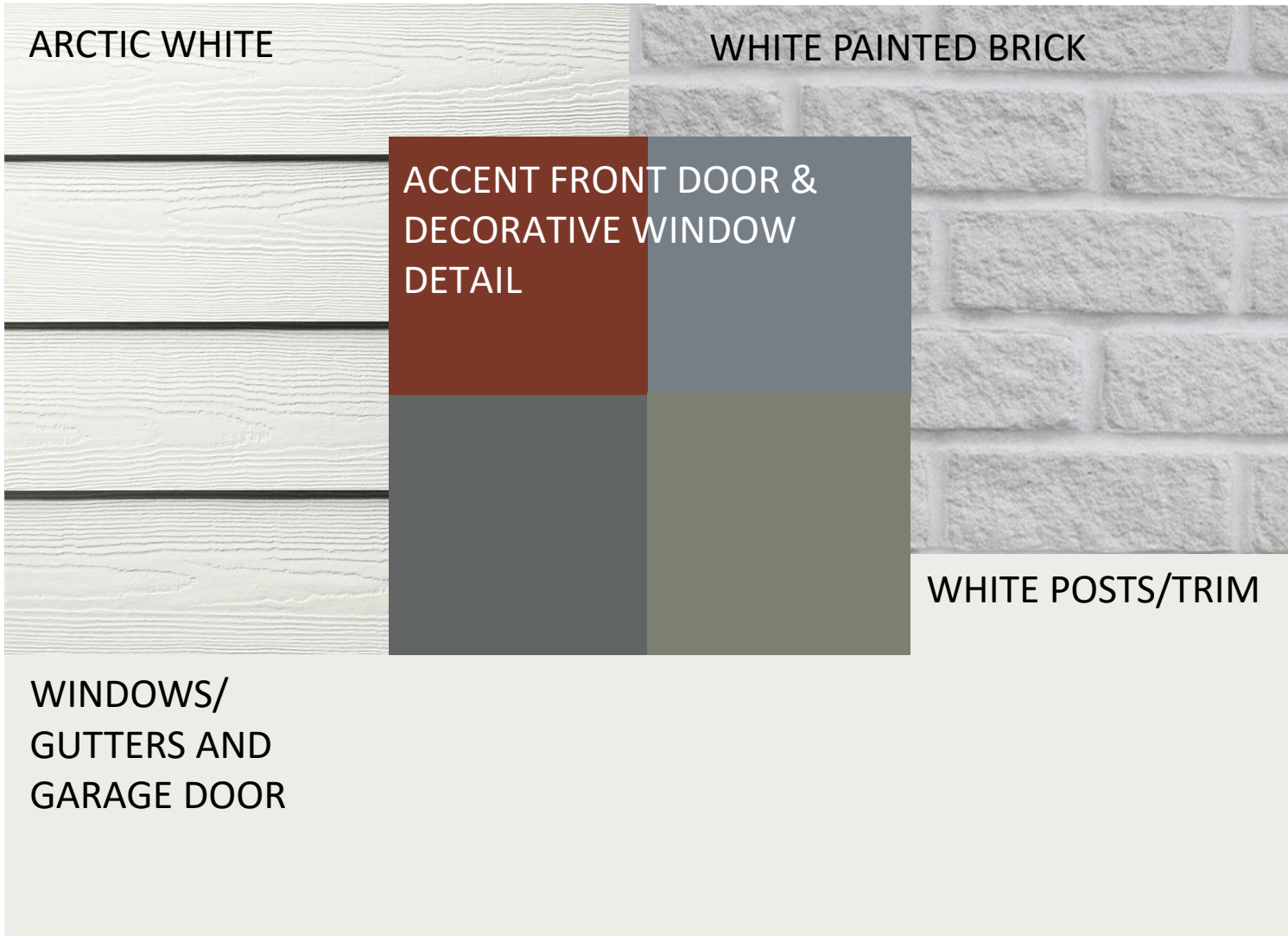
BLACK GARAGE
DOOR

WHITE POSTS/TRIM

SCHEME 3

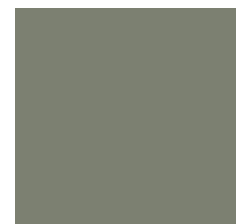
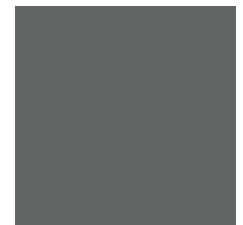
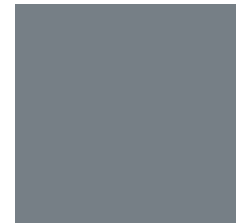
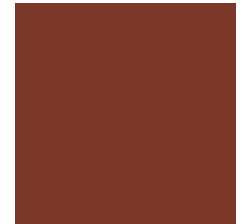


SCHEME 4



ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 5

COBBLESTONE

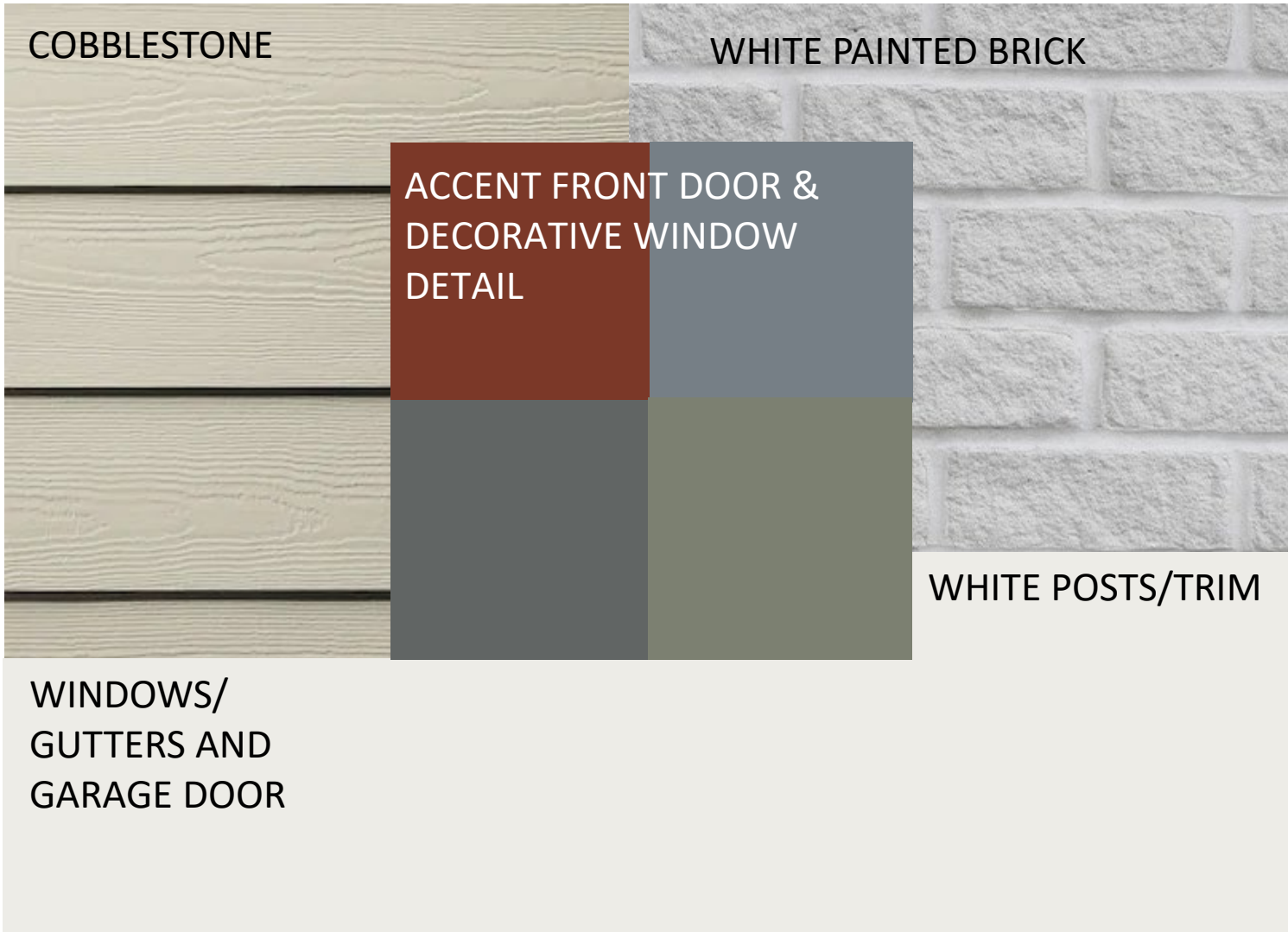
WHITE PAINTED BRICK

BLACK FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE POSTS/TRIM

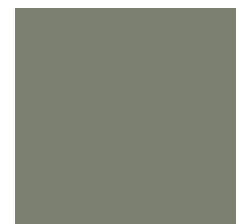
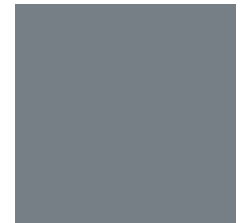
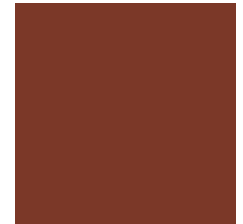
WINDOWS /GUTTERS
GARAGE DOOR

SCHEME 6

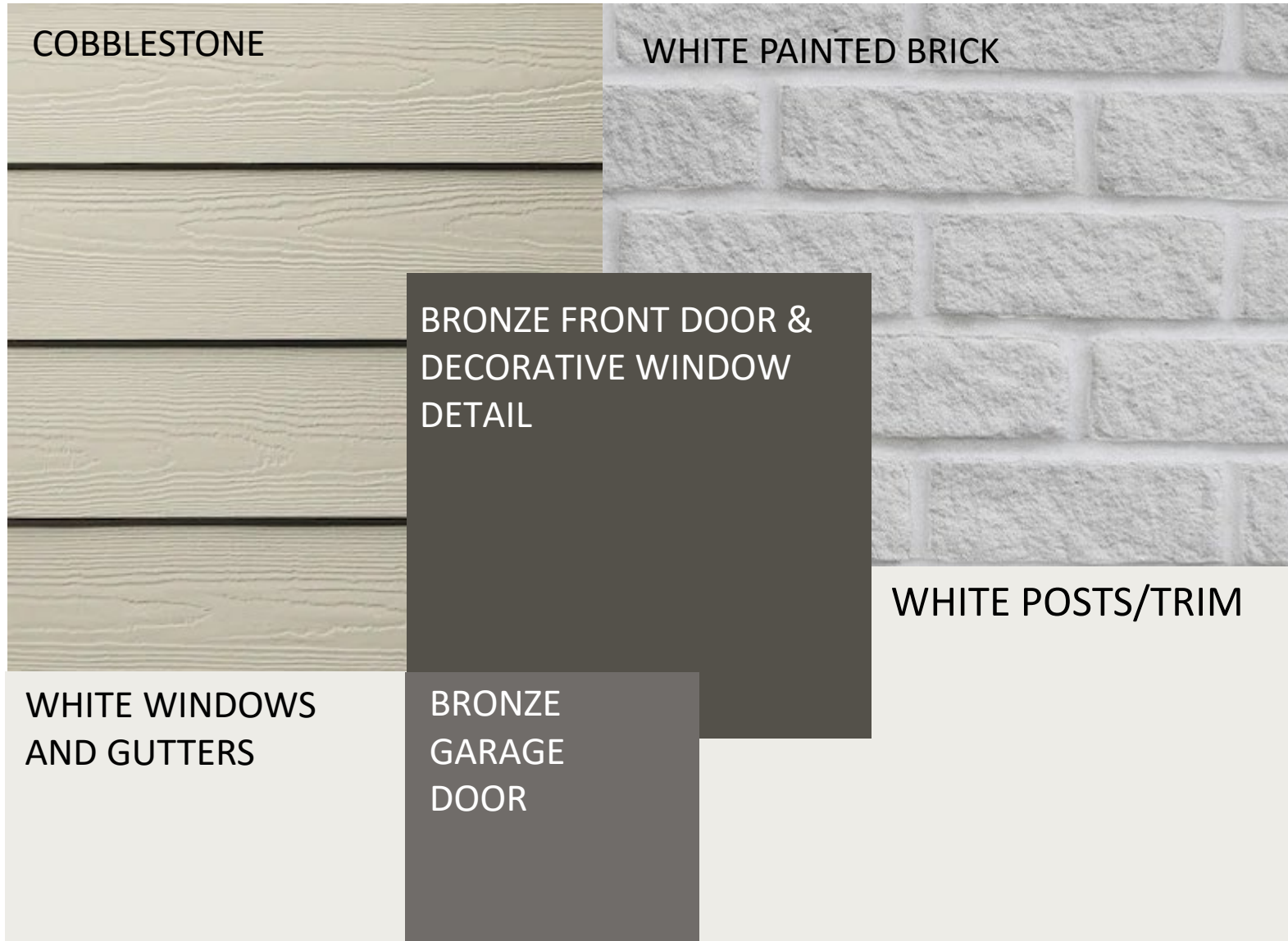


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 7



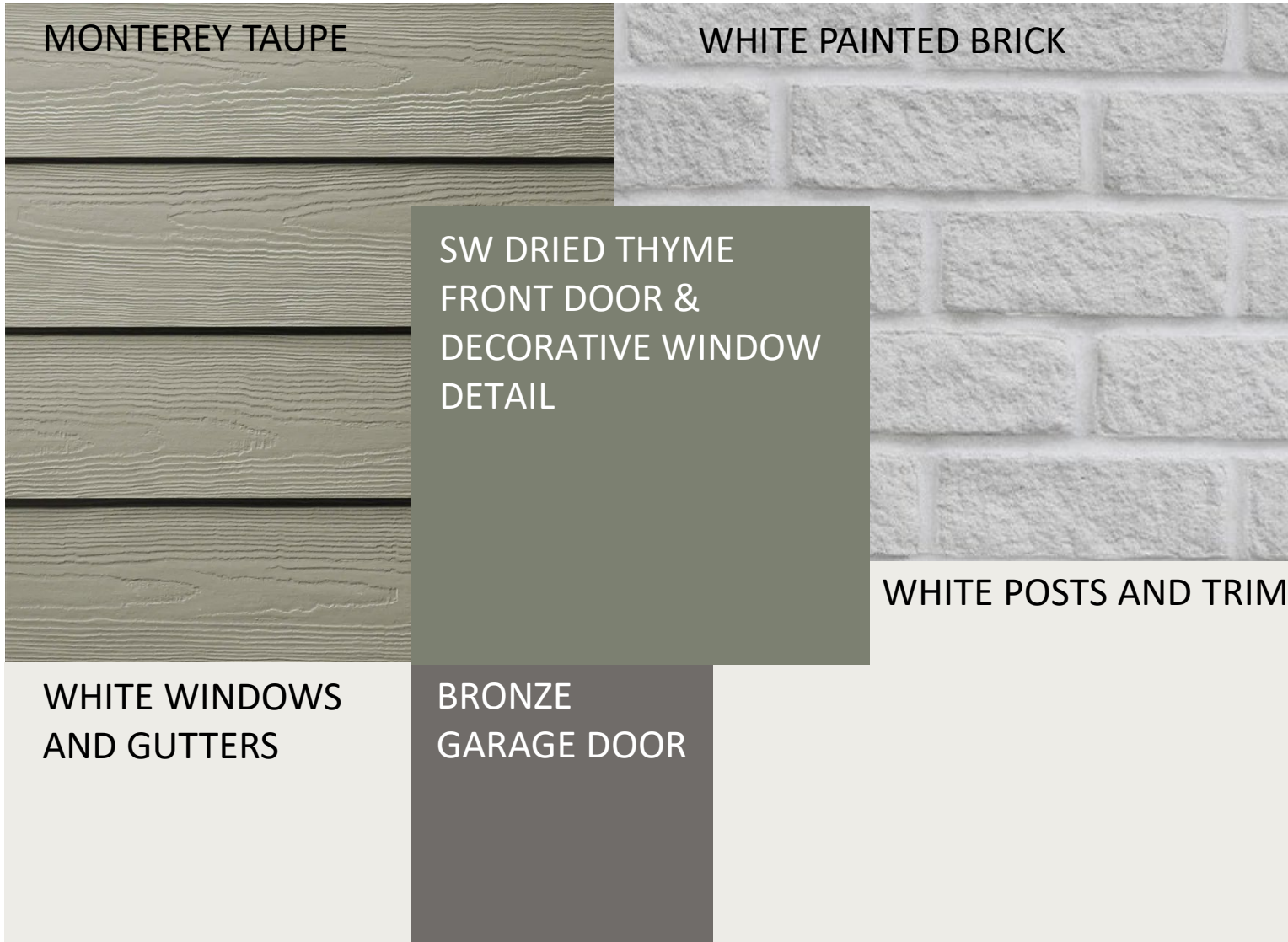
SCHEME 8



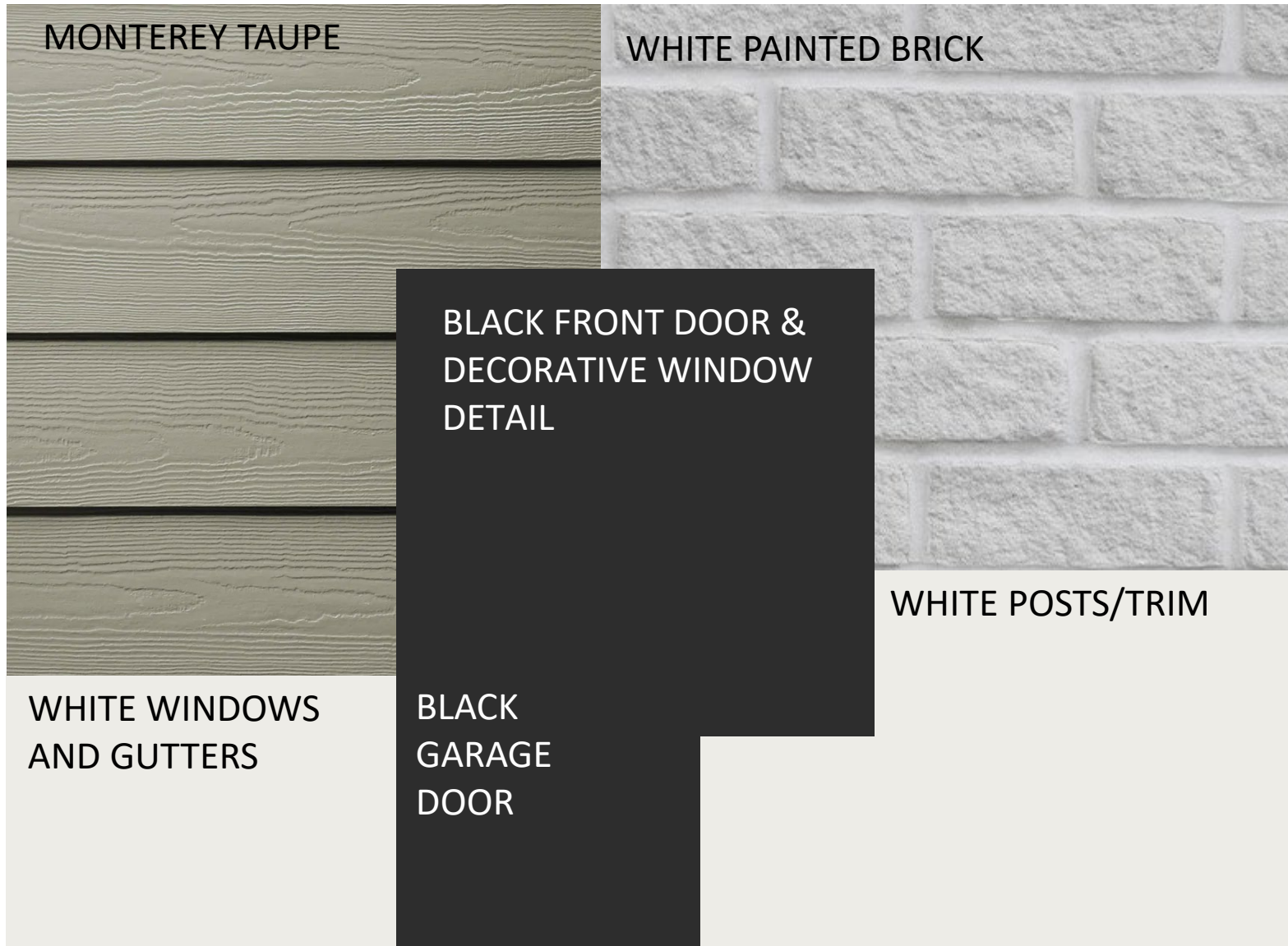
SCHEME 9



SCHEME 10



SCHEME 11

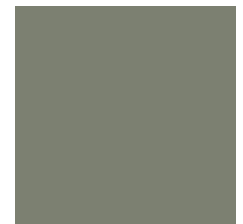
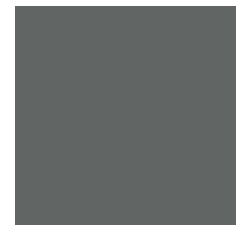
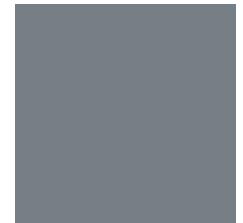
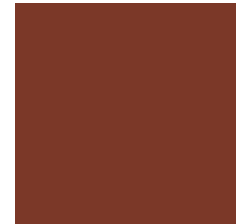


SCHEME 12

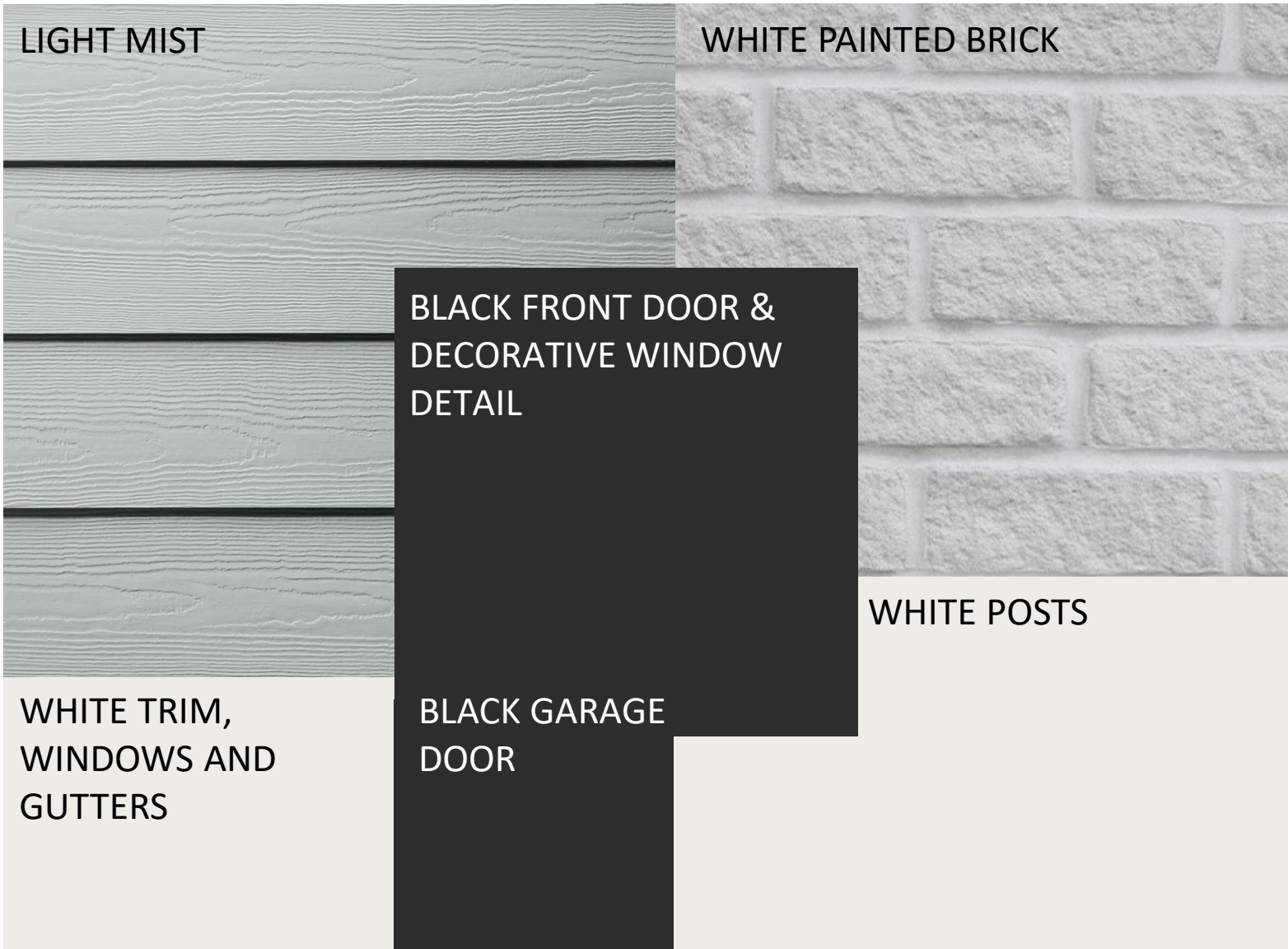


ACCENT DOOR OPTIONS

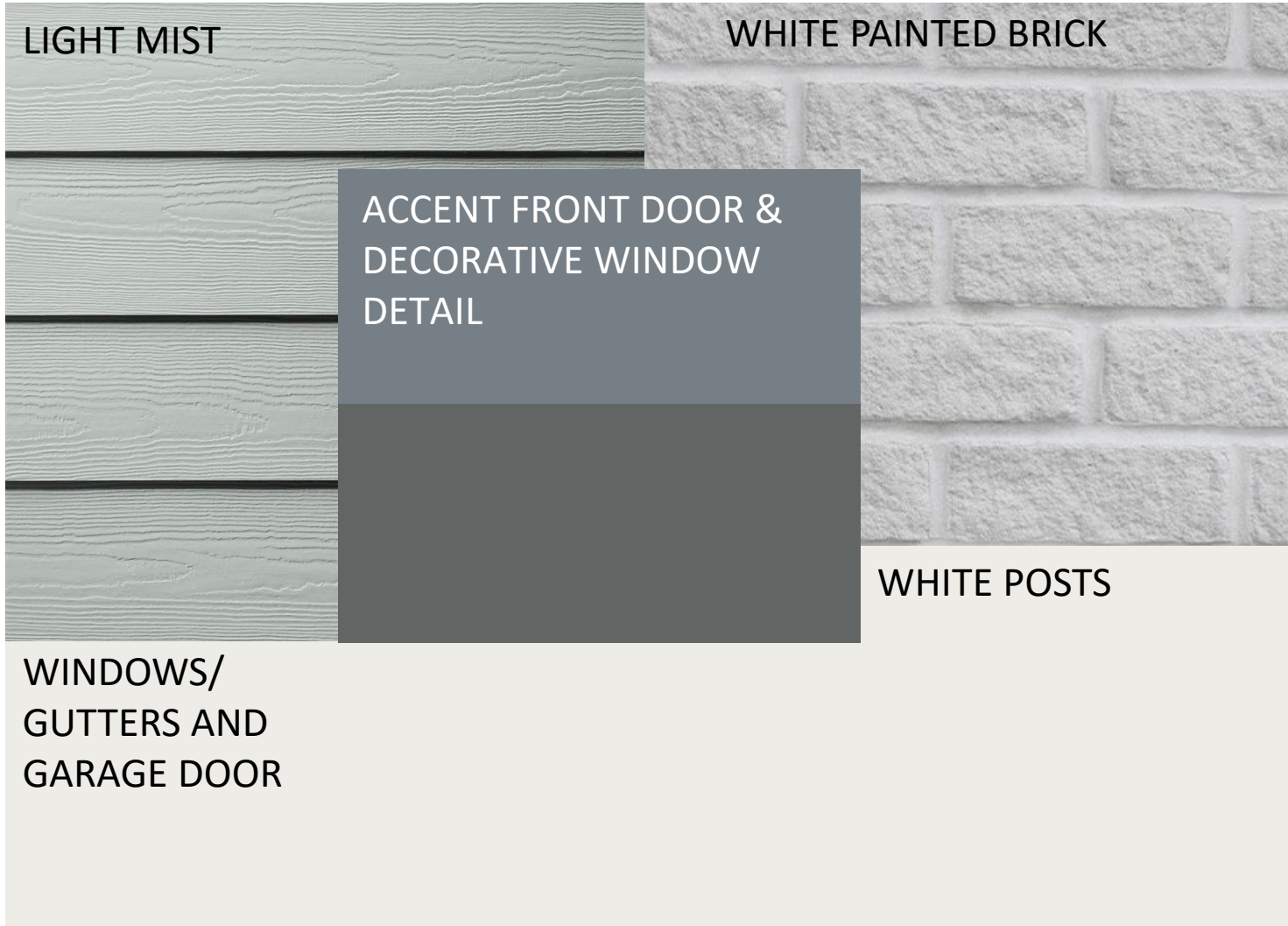
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13

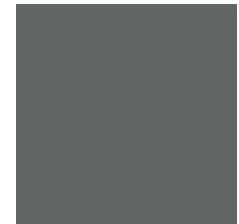


SCHEME 14



ACCENT DOOR OPTIONS

- SW DOWNING SLATE
- SW ROYCROFT PEWTER



SCHEME 15

GRAY SLATE

WHITE PAINTED BRICK

BLACK FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE POSTS

WHITE TRIM,
WINDOWS AND
GUTTERS

BLACK
GARAGE
DOOR

SCHEME 16



SCHEME 17

GRAY SLATE

WHITE PAINTED BRICK

ACCENT FRONT DOOR &
DECORATIVE WINDOW
DETAIL

ACCENT DOOR OPTIONS

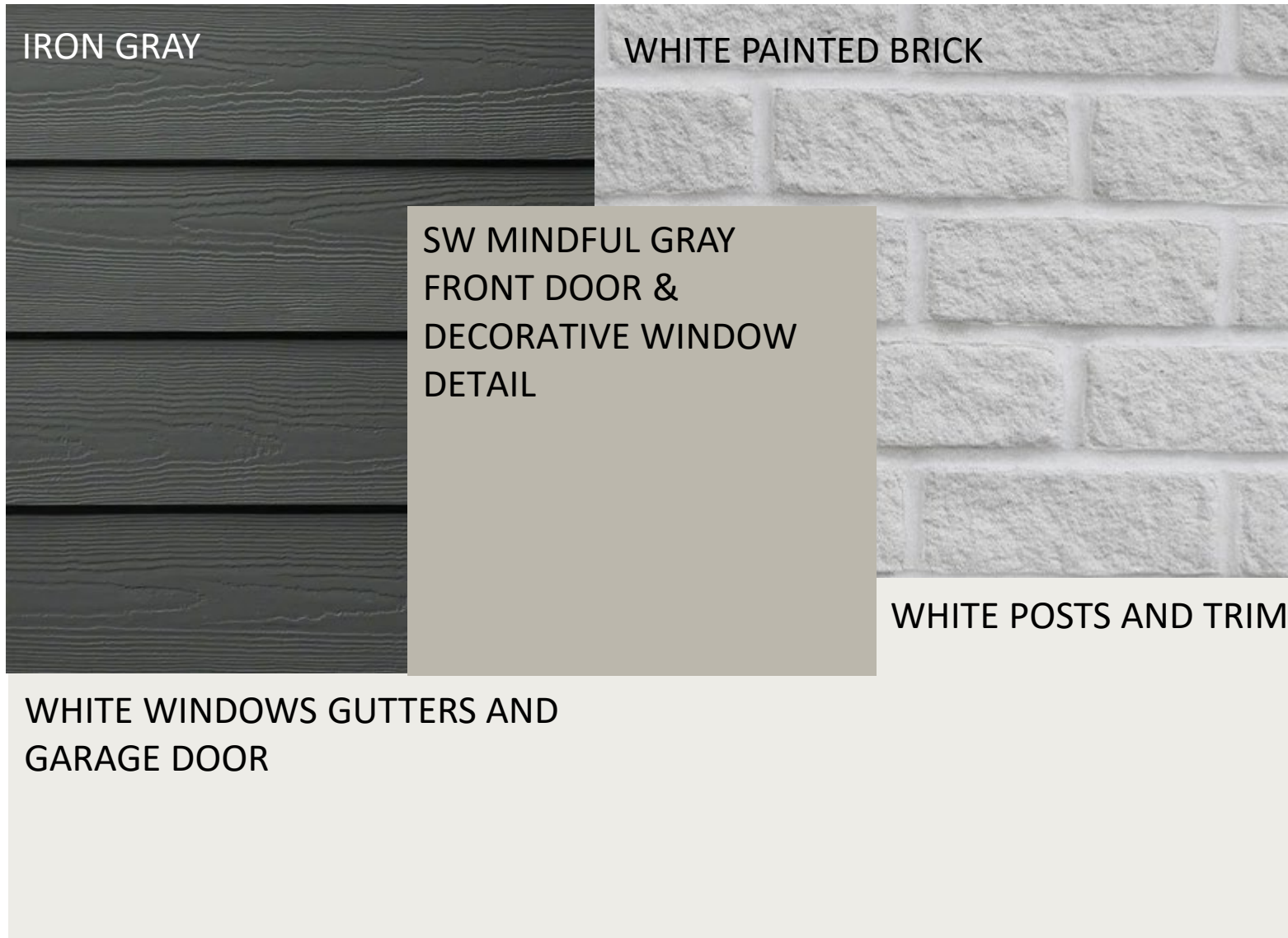
- SW ROYCROFT
COPPER RED



WHITE POSTS

WINDOWS/
GUTTERS AND
GARAGE DOOR

SCHEME 18



SCHEME 19

AGED PEWTER

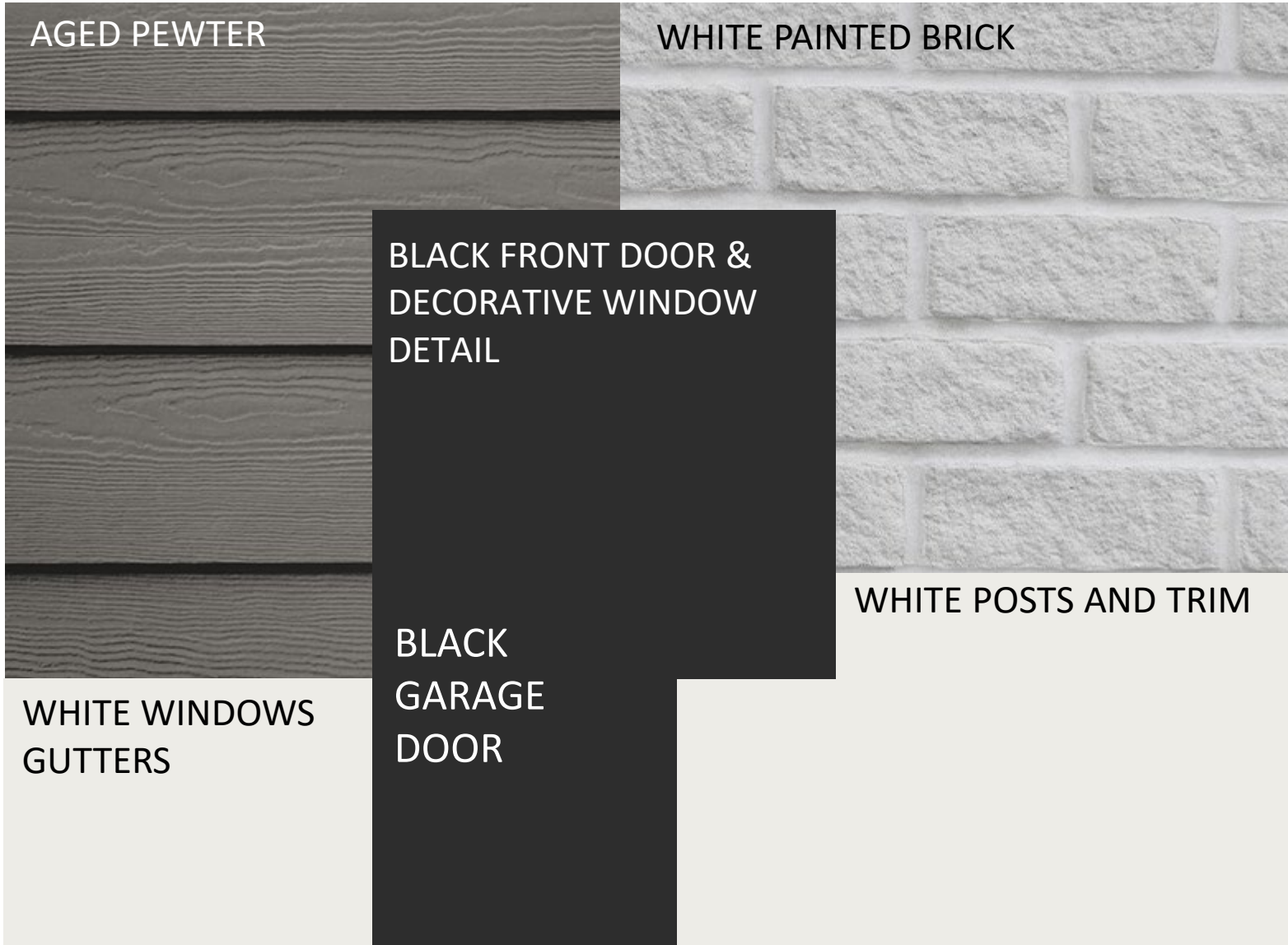
WHITE PAINTED BRICK

SW MINDFUL GRAY
FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

SCHEME 20



SCHEME 21

AGED PEWTER

WHITE PAINTED BRICK

ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED

ACCENT FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE POSTS AND TRIM

WINDOWS/ GUTTERS
AND GARAGE DOOR



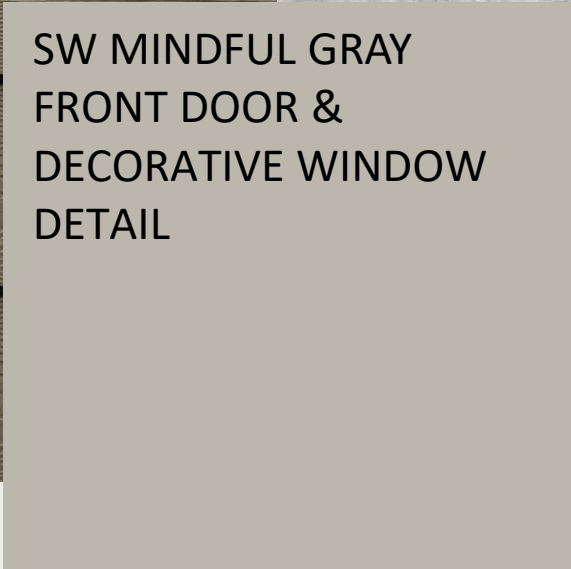
SCHEME 22



TIMBER BARK



WHITE PAINTED BRICK

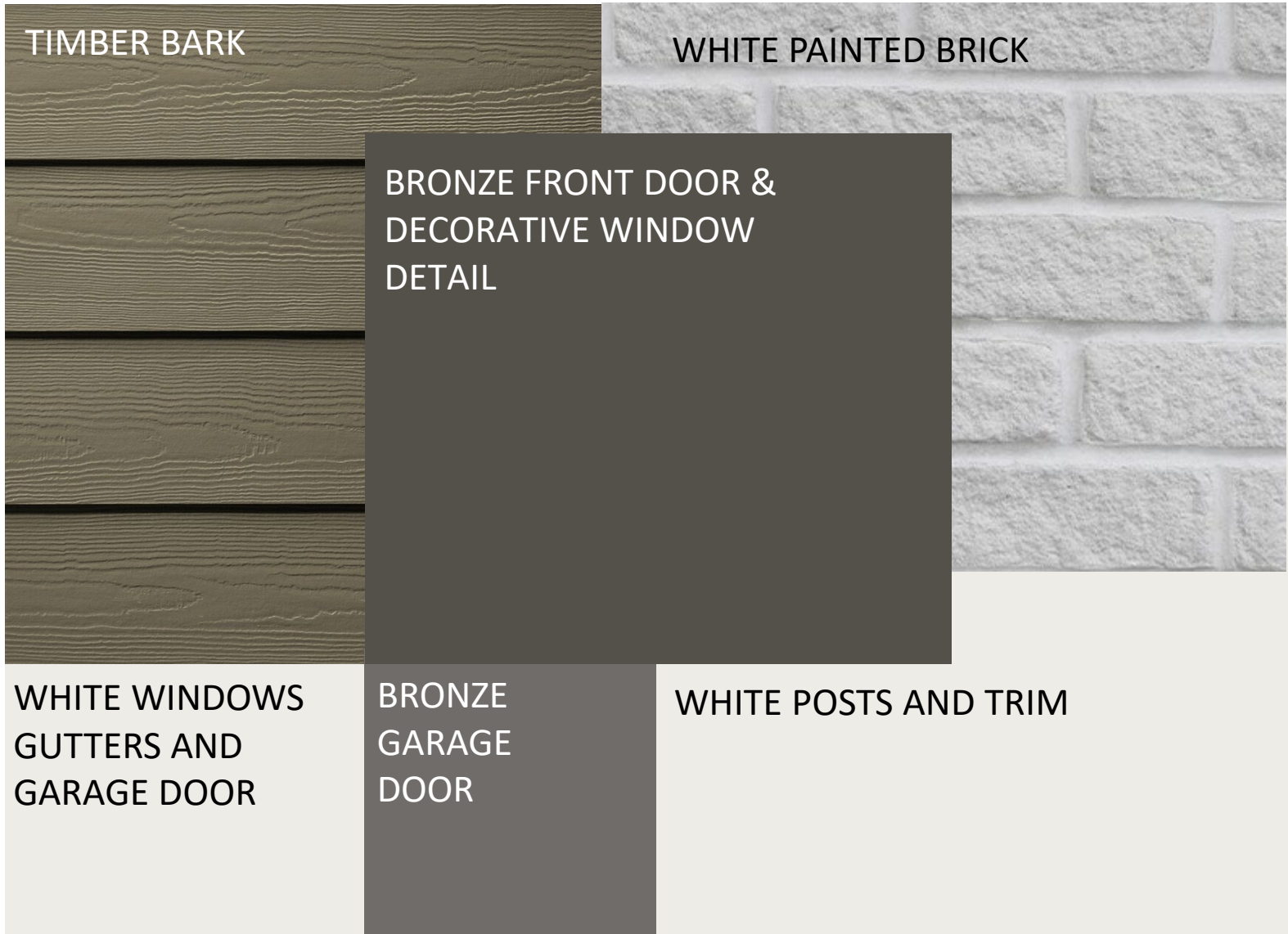


SW MINDFUL GRAY
FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

WHITE POSTS AND TRIM

SCHEME 23



SCHEME 24



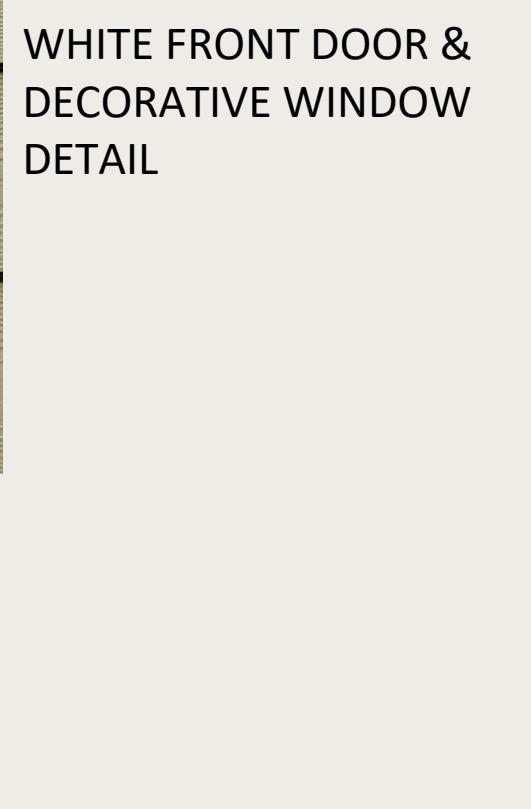
SCHEME 25



HEATHERED MOSS



WHITE PAINTED BRICK



WHITE FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS

SCHEME 26



SCHEME 27



MOUNTAIN SAGE



WHITE PAINTED BRICK

WHITE FRONT DOOR &
DECORATIVE WINDOW
DETAIL

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND GARAGE
DOOR



CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0329

MEETING DATE

N/A

APPLICANT/OWNER

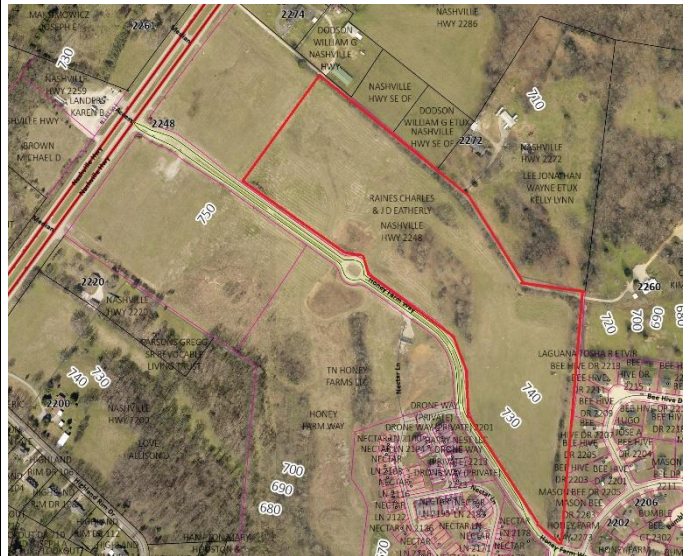
Cole Murphy (RP Homes) / Charles Raines

PROPERTY ADDRESS/LOCATION

2248 Nashville Highway (Honey Farms Planned Unit Development)/ Tax Map 051 Parcel 058

PROJECT DESCRIPTION:

The applicant is requesting an amendment to the Honey Farms Master Planned Unit Development for the construction of 205 townhome units. As a revision to this previously approved PUD, all standards of Zoning Ordinance 4000 shall be applicable that include architectural design elements as cited in Article 4, Development Standards for a PUD-R.



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
PUD-R	Vacant Land	PUD-R/	205 Townhomes	25.76 Acres

Building Facade Design Standards Referenced:

Design Review by the Architectural Design Review Team is intended to protect the physical character of the City through additional review of certain proposed Developments meeting certain criteria.

B. Applicability.

Prior to issuance of a Building Permit, Design Review shall be required for the following:

- 1. Design of all Buildings and Structures within a Special District; and within a Planned Unit Development District.**

G. Powers & Duties.

- 1. The Architectural Design Review Team**



shall be responsible for reviewing and making recommendations regarding proposals for Building Permit or Planned Unit Development approval.

2. Review by the Architectural Design Review Team shall be limited to the criteria established within this Ordinance.

3. As necessary, the Architectural Design Review Team shall periodically review and make recommendations regarding any necessary changes to the Building Facade Regulations within this Ordinance.

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Building Standards

Building Height*

Principal Building	1-2 Stories for House and Duplex Building Types; 2-3 Stories for Townhouse, Live / Work and Small Multifamily Building Types; 2- 4 Stories for Large Multifamily Building Type
Accessory Building	2 Stories max; Allowed in 3rd Layer only.

*Stories and height do not include Attics and Basements, chimneys, flagpoles, towers, steeples, spires, bellfries, parapet walls, aerials, or antennas. Any Building exceeding 35 feet in height must obtain approval from the Fire Department prior to the issuance of a Building Permit.

The Fire Department may stipulate special fire protection measures in accordance with National Fire Protection Association and International Building Code criteria as a condition of approval of such Structure. In such instance the stipulations made by the Fire Department in accordance with the above cited codes shall be required.

Ceiling Height

May not exceed 14 ft. from finished floor to finished ceiling.

Building Composition

Vertical Composition	Each Principal Building must have an identifiable Base, Middle, & Cap
Finished Floor Level	Min. 18 in. above finished grade at Facade

Facade

Main Entrance	Main Entrance must be in Facade of Principal Frontage.
Facade Position	Parallel to straight Frontage Line or to tangent of curved Frontage Line

Facade & Facade Element Design Proportions	Must be vertically proportioned
--	---------------------------------

Blank Walls	NP at Frontage
-------------	-----------------------

Expect for House Building Types, a Façade greater than 100 ft. in width must be differentiated so that it appears to be comprised of two or more Adjacent Buildings, by dividing such Façade into two segments each of which includes a separate entrance and (1) differs from each of the other segments with respect to all of the following: (a) a change in shape, sill, and header height, detail, size, spacing, rhythm, and muntin pattern of windows; (b) a change of Building or cornice height; (c) a change in cornice details; (d) a change of wall material or wall color; a change in trim courses and other horizontal elements; (e) a change in dormer or balcony design, if any, and (f) providing or changing pilasters, columns, or other Façade elements; and (2) is composed with a defined center and edges. (See **Illustration 4.3.5.A-3**)

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
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ARTICLE 4



ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS:
 PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Building Standards (continued)	
Facade (continued)	
Facade Openings	Facade windows and/or doors must be spaced ≤ 20 ft. apart. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Facade Glazing	20% – 60% of total Facade area for non-Shopfront; 70% of total Facade area, min. for Shopfront.
Window Shape	Square or vertical in proportion, except for transoms.
Window Alignment	Upper floor windows and other features must be aligned with those of first floor.
Window Types	Except in Shopfront or Gallery Frontage, and except for transoms and sidelights, Windows in Facade and 1st & 2nd Layers must be single-hung, double-hung, casement or awning types. In Stories above first, Facade openings must be ≤ 50% of total Facade area.
Window Glazing Material	Clear glass R for all Elevations.
Window Trim in 1st Layer	Min. 4 in. trim with sill and top plate if siding surrounding window; soldier course above lintel and rollock course below sill if brick or stone surrounds window
Shutters	If any, must be functional and proportioned to cover half of window width from each side or entire window width, with shutter dogs
Facade Window Sill Height	If Residential: 5 ft. min. above avg. grade at Facade
Porch Frontages	Min. 6 ft. clear depth, excluding rails, pillars, columns or other features
Shopfront Frontages	12 in.-24 in. knee wall required at Frontage
Facade Variety	No Facade may exist more than once on a Block Face or within view of the same Facade
Roof Type & Pitch	
Flat	NP
Shed	P at rear only and if ridge is attached to an exterior Building wall; except for porches, stoops or dormers which may have a shed roof anywhere on the Building
Hip	P
Gable	P
Pitch	6:12 – 14:12, except for shed roofs which may be 3:12 – 14:12 and except roof pitch may match the primary roof pitch of an existing Building that is less than 6:12
Roof Design	
Eaves shall extend no less than nine inches beyond the supporting walls.	

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS: PLANNED UNIT DEVELOPMENT -RESIDENTIAL DISTRICT

Building Standards (continued)

Gable end rakes shall overhang at least six inches.

Eaves and rakes on Accessory Buildings and dormers shall overhang at least six inches.

Soffits shall be placed perpendicular to the Building wall, not sloping in plane with the roof (except for gable end rakes).

Building Materials

Primary Building Material on Facades	Brick	P	Authentic stucco over masonry	P
	Natural stone	P	Exposed concrete	NP
	Wood	P	Aluminum or vinyl siding	NP
	Cementitious siding	P	Corrugated and/or sheet metal	NP
Changes in Building Materials	Primary materials must continue along side Elevations through 2nd Layer. Primary materials shall continue for entire length of all Facades facing a Frontage. Any material changes must coincide with form, structural, or massing changes and shall not occur at outside corner of such change.			
Building Colors	Up to 3 colors, including the natural color of any allowed materials, but excluding trim colors			
Foundation Cladding	R ; brick or natural stone			
Porch Pier Cladding	R ; brick or natural stone, with any space under Porch concealed by painted or stained latticework between piers			
Chimney Cladding	R ; brick, natural stone, or material matching primary material of Facade			

Building Types

House	P	Commercial	NP
Duplex	P	Mixed Use	NP
Townhouse	P	Flex	NP
Small Multifamily	P	Mid-Rise	NP
Large Multifamily	P	Large Scale Commercial	NP
Live/Work	P	Civic	P

See Table 4.3.8.A (Principal Building Types - Summary) and Table 4.3.8.B (Principal Building Types - Specific Standards). For Development Parcels, see also Table 5.1.10 (Building Type Mix).

LEGEND The following notations are utilized in this table.	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
--	--------------------	-------------------------	--------------------------	-------------------	-------------------------

ARTICLE 4

ARTICLE 4: BUILDING, LOT & BUILDING SITE STANDARDS

PUD-R TABLE 4.3.1-K DISTRICT STANDARDS:
PLANNED UNIT DEVELOPMENT –RESIDENTIAL DISTRICT

Vehicular Parking Requirements		
Parking Location	On-Street Parking	Off-Street Parking
All Vehicles	P	P in any Required Yard, unless specifically prohibited
Additional Parking Requirements		
Off-Street Parking Surface	Asphalt, concrete or other hard surface	
Garage Location	P in 3rd Layer only Min. interior dimensions 10 ft. x 20 ft. per vehicle Parking space.	
Garage Design	If Garage faces Street: max. Garage door width 33% of total of Garage + Facade width. Garage must be detailed, finished, & designed like rest of Building with carriage house doors; max. Garage door width 9 ft.; each Garage door must have ornamental lighting fixture above it; min. 2 ft. separation between Garage doors	
Driveway/Vehicular Entrance Location	P in any Layer	
Driveway/Vehicular Entrance Maximum Width	10 ft max. in 1st Layer if Residential; 24 ft max. in 1st Layer if non-Residential, regardless if shared or not	
Parking Structures	P , if Screened from Frontage by Liner Buildings	
Parking Structure Pedestrian Exit Location	Via pedestrian access to Frontage	

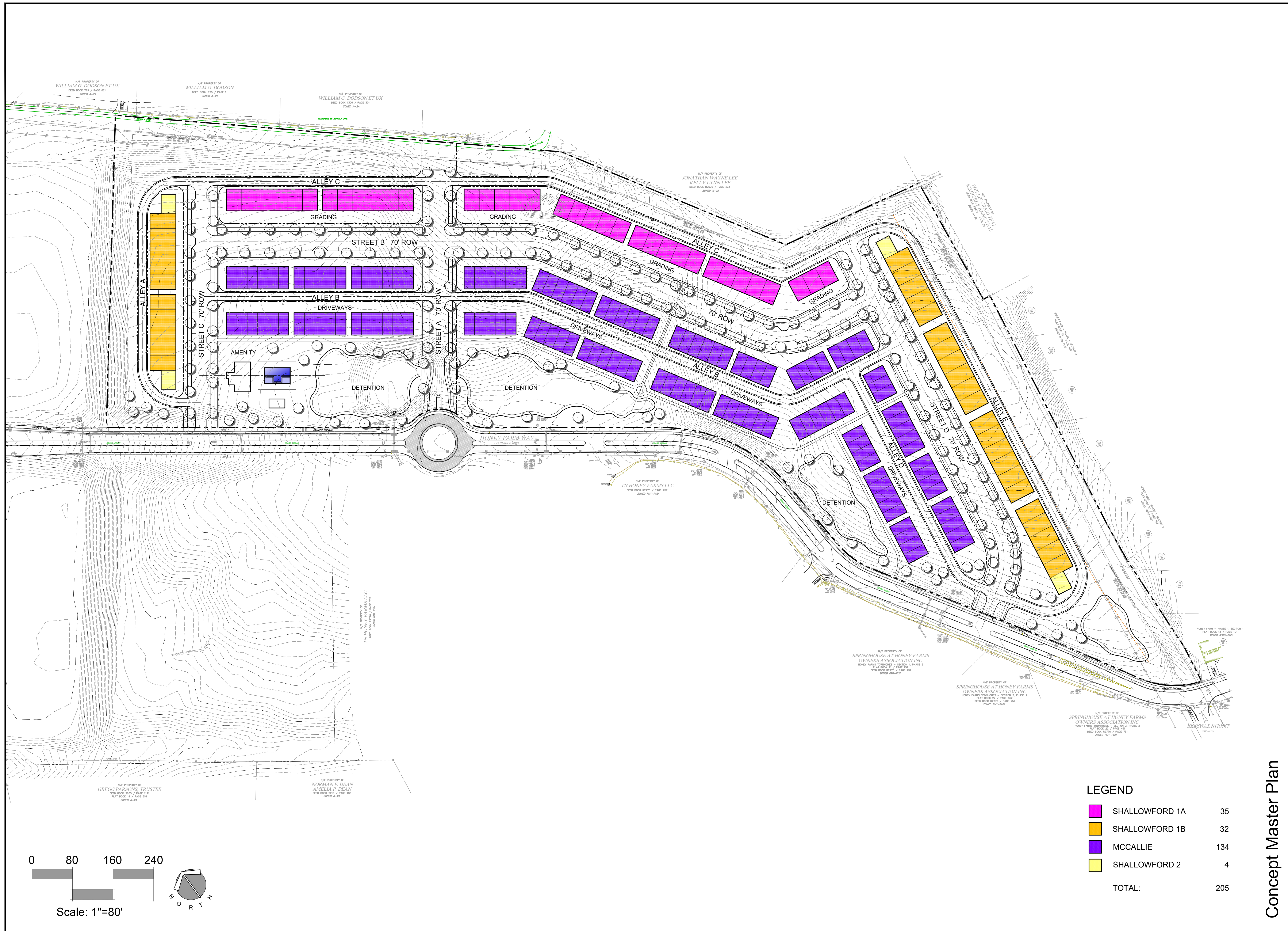
Bicycle Parking
See Section 4.3.13

Thoroughfares & Internal Drive Types*	*Only applicable to Development Parcels.
See Article 5 (Development Parcel Standards) for additional requirements.	

LEGEND	P Permitted	NP Not Permitted	NA Not Applicable	R Required	NR Not Regulated
The following notations are utilized in this table.					

PLANNING STAFF EVALUATION:

- Primary building materials on façade consist of cementitious siding and brick that are permitted materials on primary building facades.
- Façade articulation is required for a façade greater than 100'. The applicant has selected to achieve this articulation with the use of multiple colors with a material change of a combination of fiber cement board and white brick.
- All elevations require a foundation cladding of brick or natural stone. Multiple elevations do not indicate this foundation cladding requirement. This would achieve the building composition requirement of having a defined base, middle, and cap.
- Garage design is required to contain carriage house style doors with a garage door width of 9ft and each garage door having ornamental lighting above it. Garage design does not indicate ornamental lighting fixtures with carriage house style doors with door widths that may exceed 9ft.
- Window trim details required for top plate if fiber cement board surrounds window; or soldier course above lintel and rowlock course below sill for brick elevations. These requirements are not detailed in submitted elevations.
- Details are required showing that gable and rakes overhang at least six inches.
- Details are required showing that window sill height is 5' min above grade at façade
- Indicate details that's show minimum 6' clear depth for porch frontages.
- Façade variety is indicated as being broken up by color, noting that no more than one façade shall be on the same block face or within view of the same façade.
- Details shall be given regarding porch pier cladding indicating brick or natural stone.
- Details shall be given regarding architectural design of pool house in amenity area.



Honey Farm
 Columbia, Tennessee

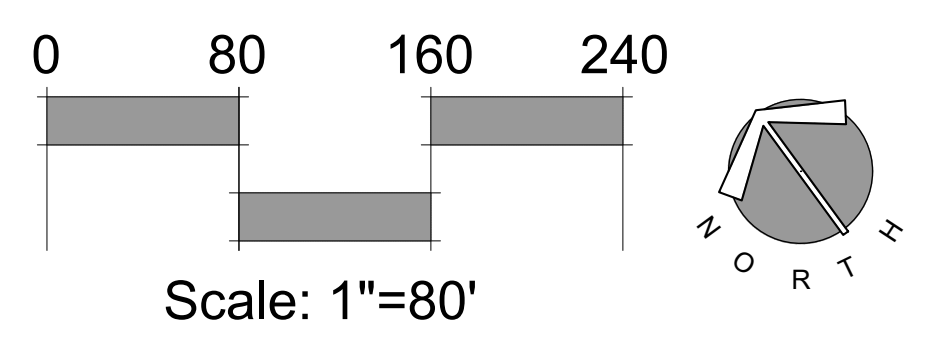
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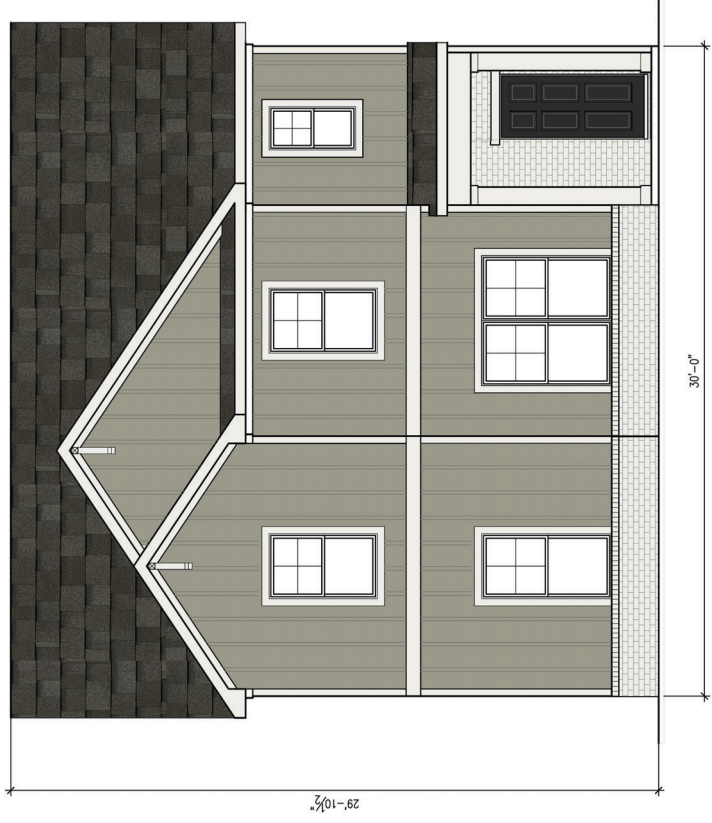
project no. 21038
 scale: shown on plan

Concept Master Plan

LEGEND

 SHALLOWFORD 1A	35
 SHALLOWFORD 1B	32
 MCCALLIE	134
 SHALLOWFORD 2	4
TOTAL:	205

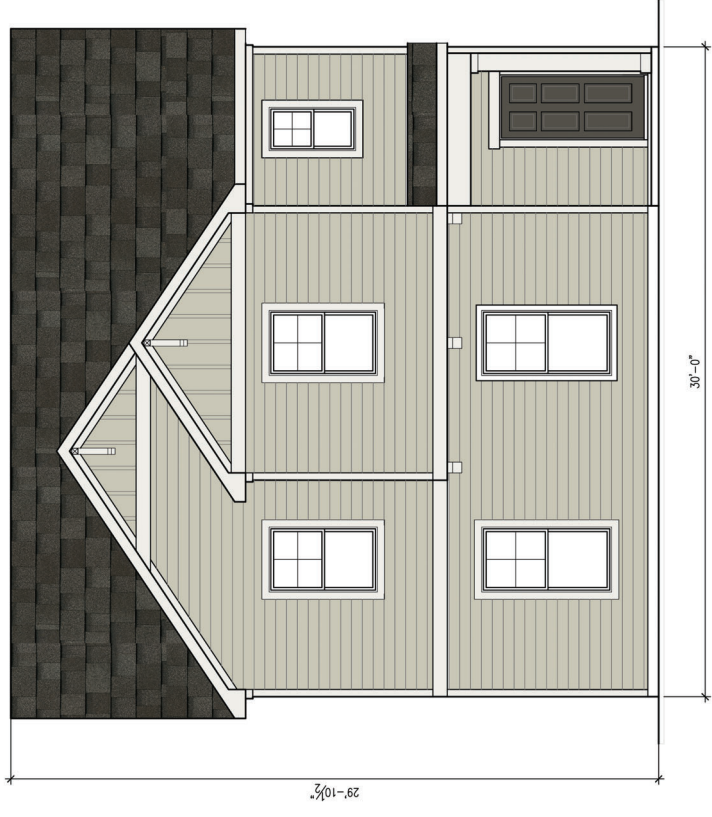




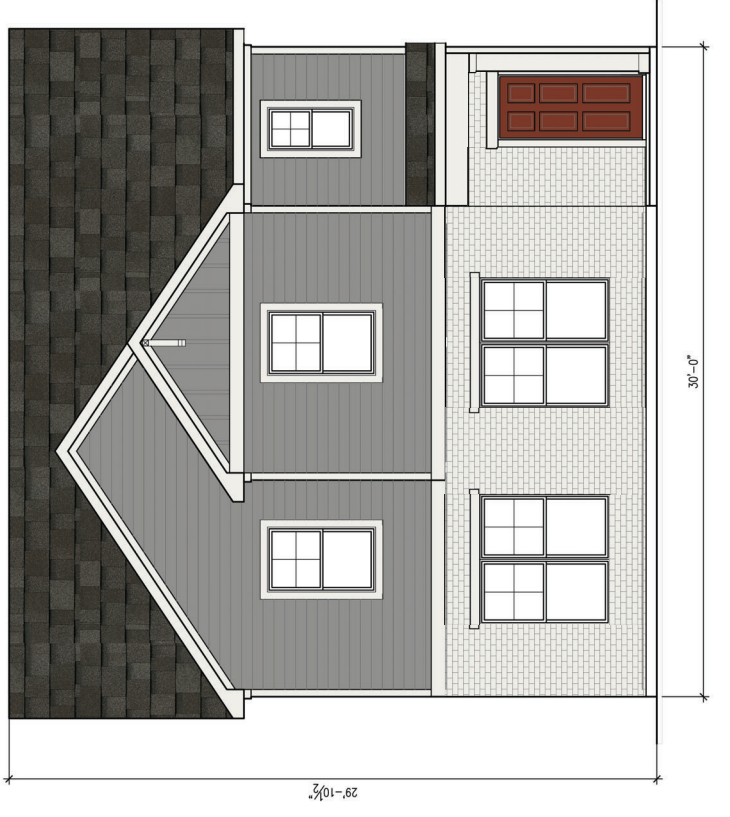
ELEVATION C
COLOR SCHEME 11



ELEVATION F
COLOR SCHEME 18



ELEVATION B
COLOR SCHEME 7



ELEVATION E
COLOR SCHEME 17



ELEVATION A
COLOR SCHEME 3



ELEVATION D
COLOR SCHEME 14

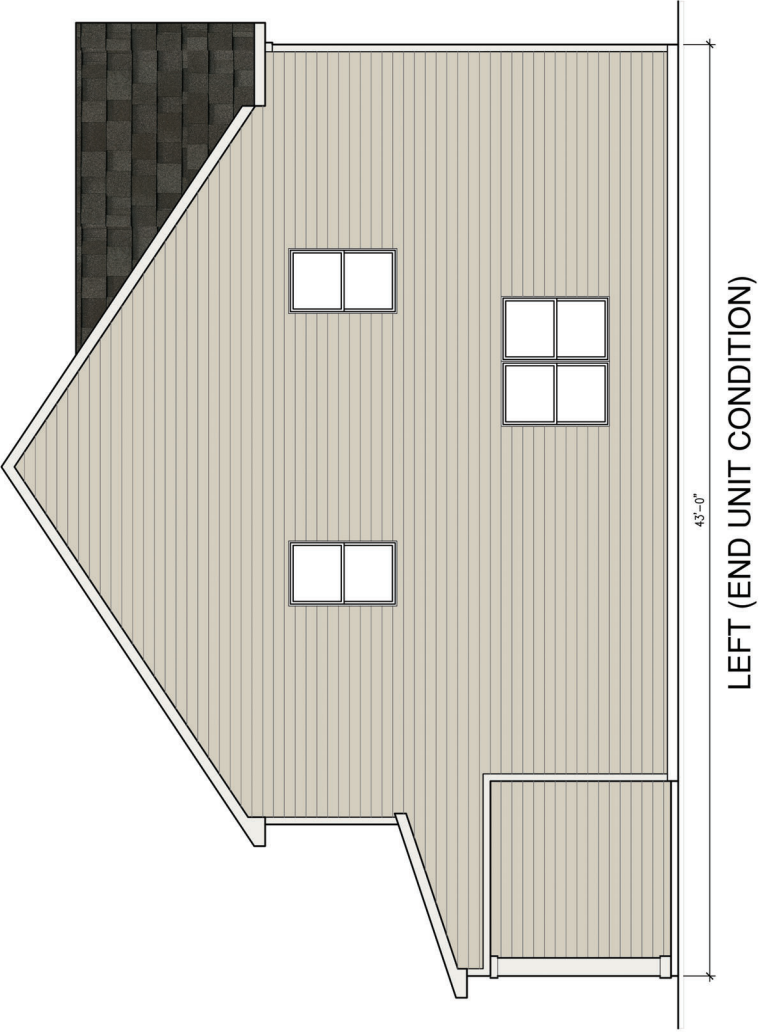


ELEVATION H
COLOR SCHEME 28

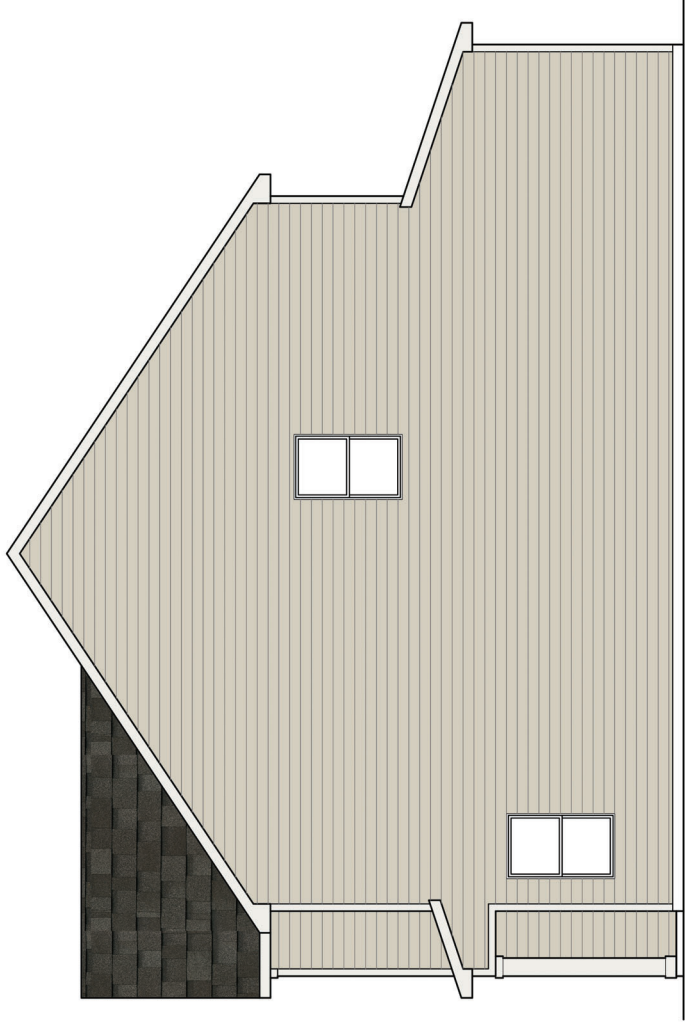


ELEVATION G
COLOR SCHEME 25





LEFT (END UNIT CONDITION)



RIGHT (END UNIT CONDITION)



FRONT



BACK



HONEY FARMS: SCHEMATIC ELEVATIONS

DRAWN BY:	
DL	
DATE:	09/08/2022

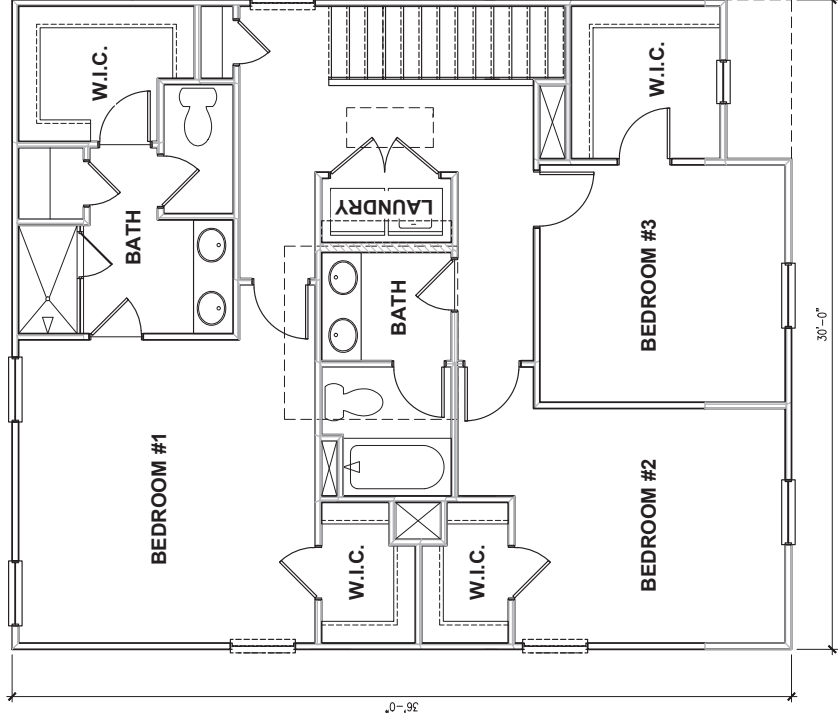
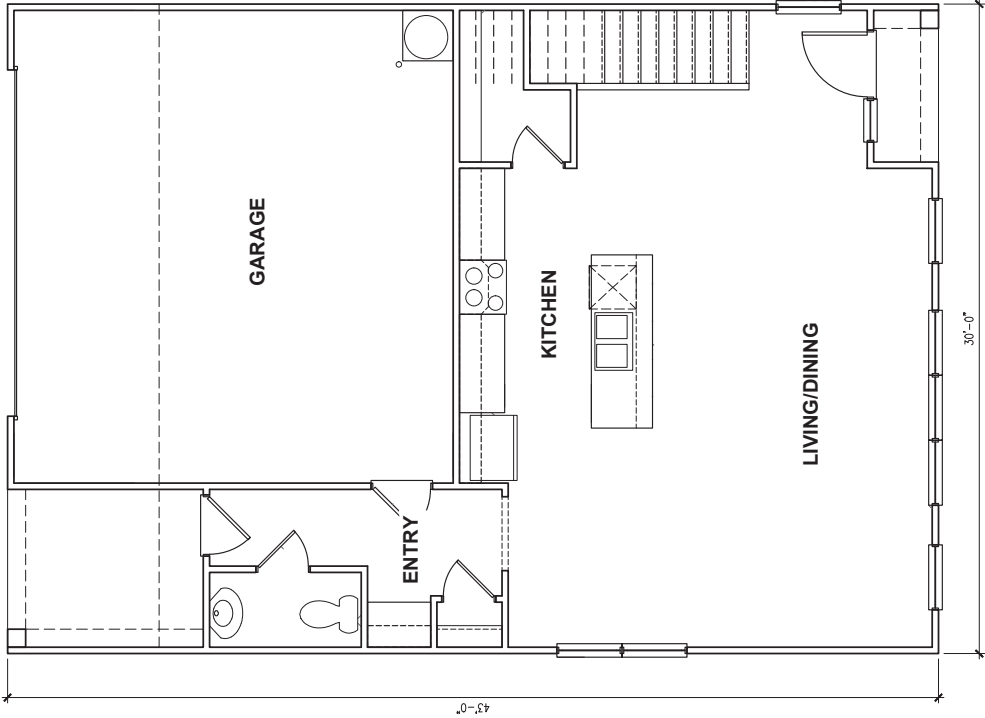
PLAN 1

SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A2.1

PLAN 1 FLOORPLAN
SCALE: 1/8" = 1'-0"





HONEY FARMS: SCHEMATIC ELEVATIONS

DRAWN BY:	
DL	
DATE:	12/13/2022

PLAN 2B

SUBMISSION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A1.0

PLAN 2B FRONT ELEVATIONS
SCALE: NTS



ELEVATION B

COLOR SCHEME 18



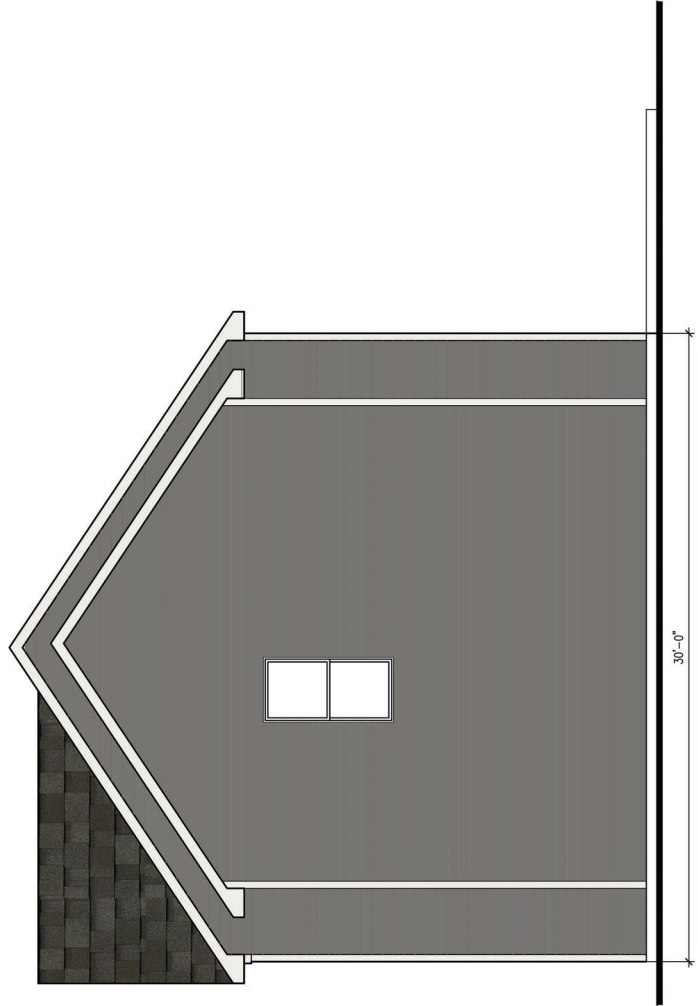
ELEVATION A

COLOR SCHEME 6

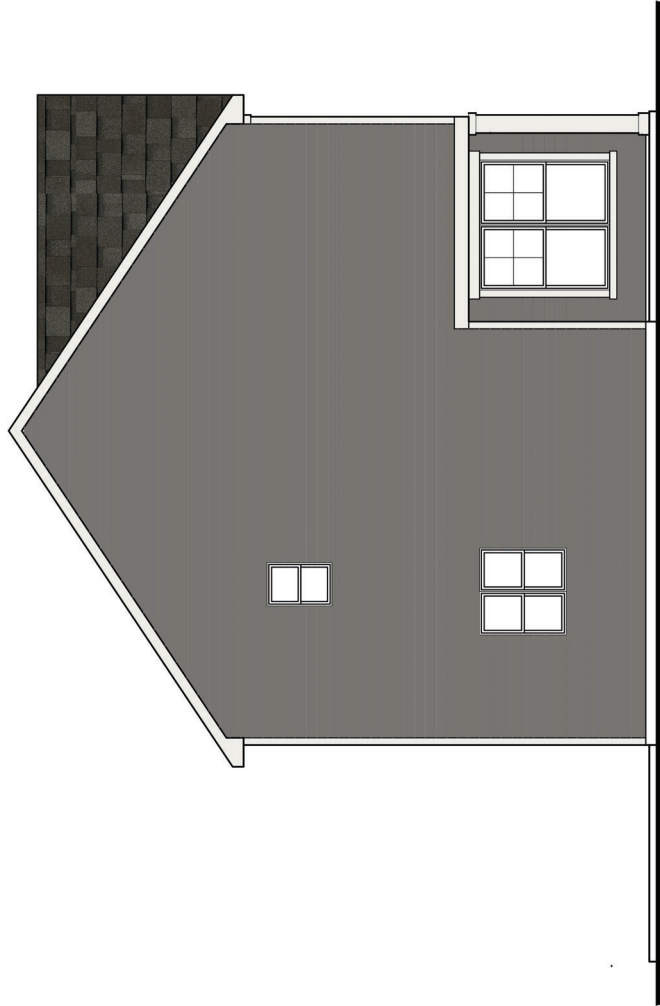


ELEVATION C

COLOR SCHEME 25



RIGHT



LEFT



FRONT



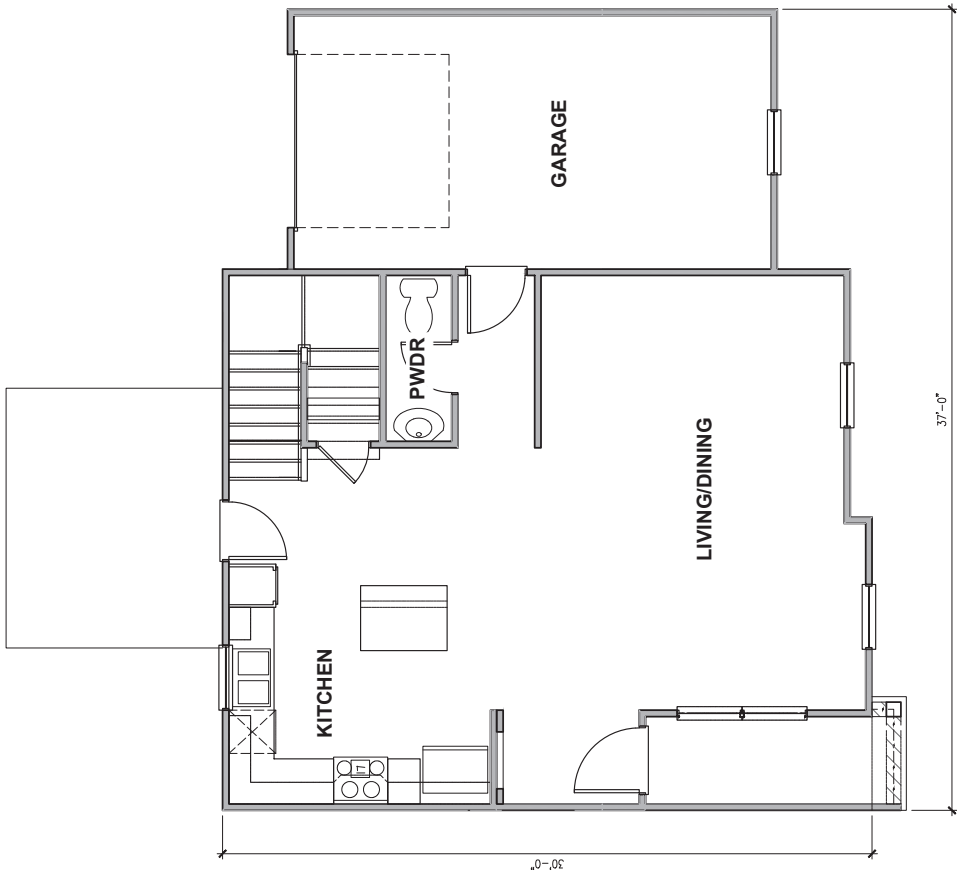
REAR



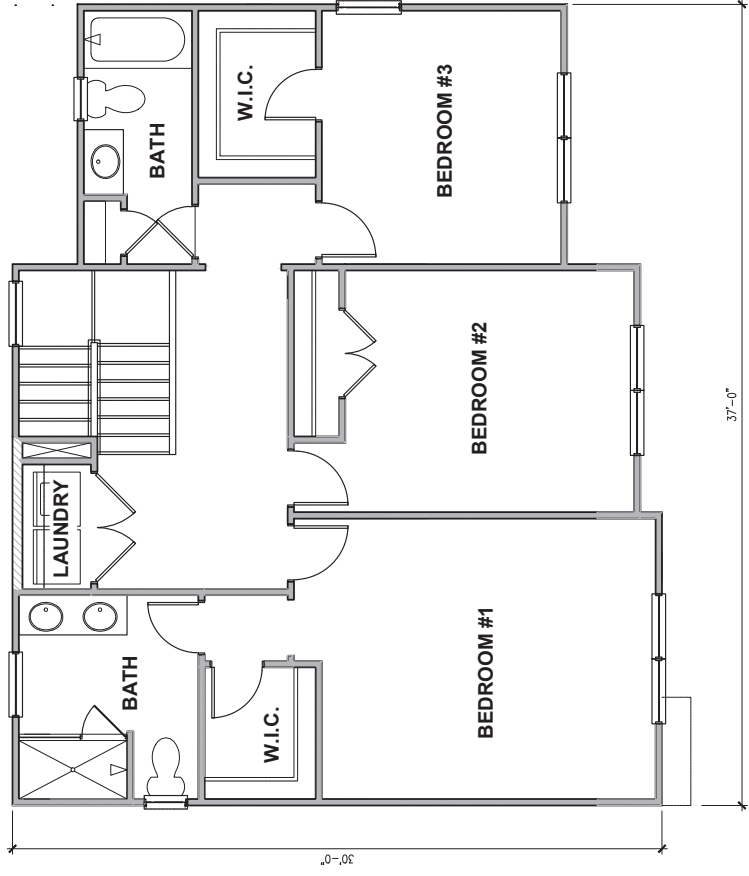
COLOR SCHEME 19

COLOR SCHEME 4

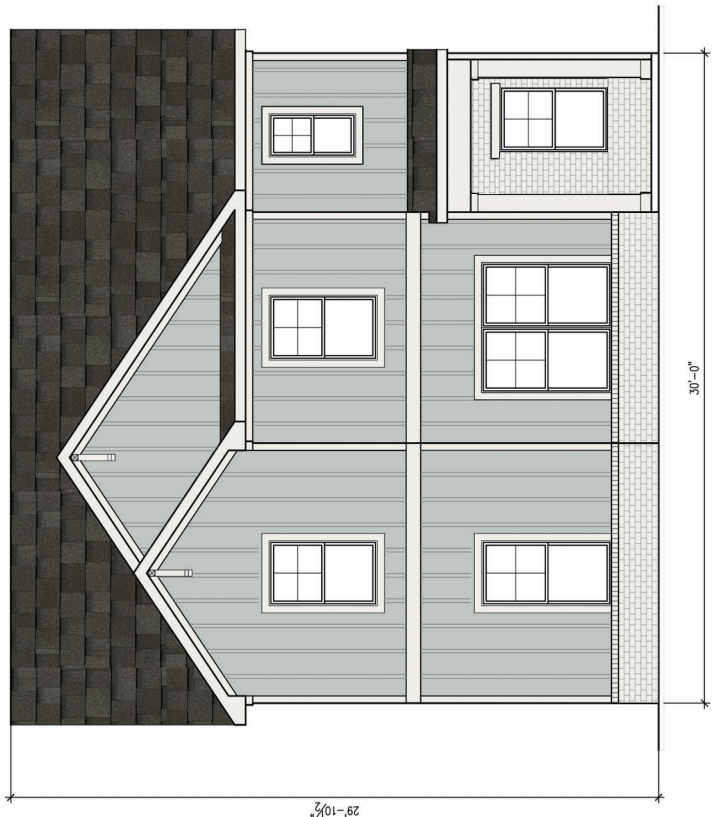
COLOR SCHEME 21



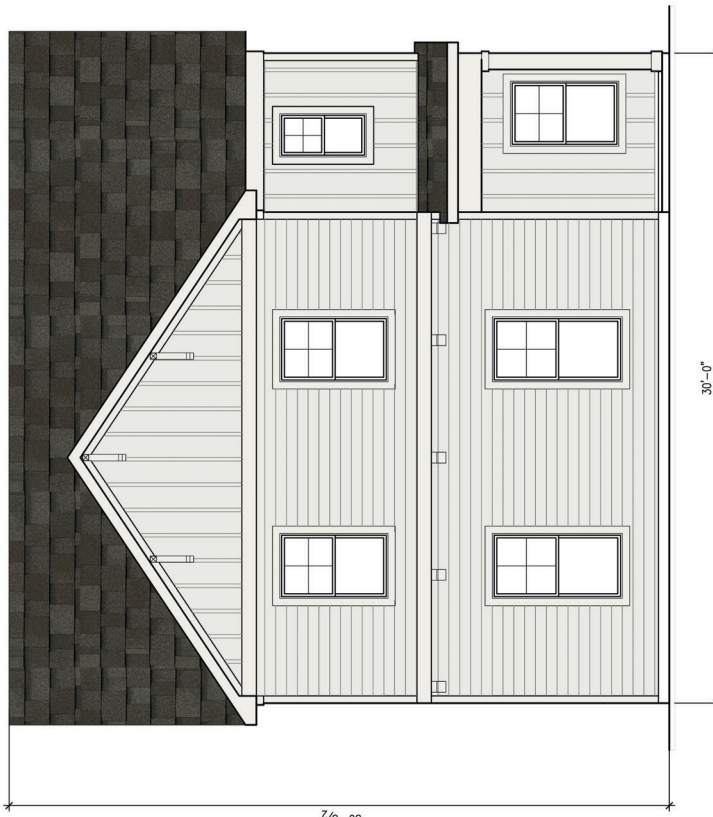
FIRST FLOOR



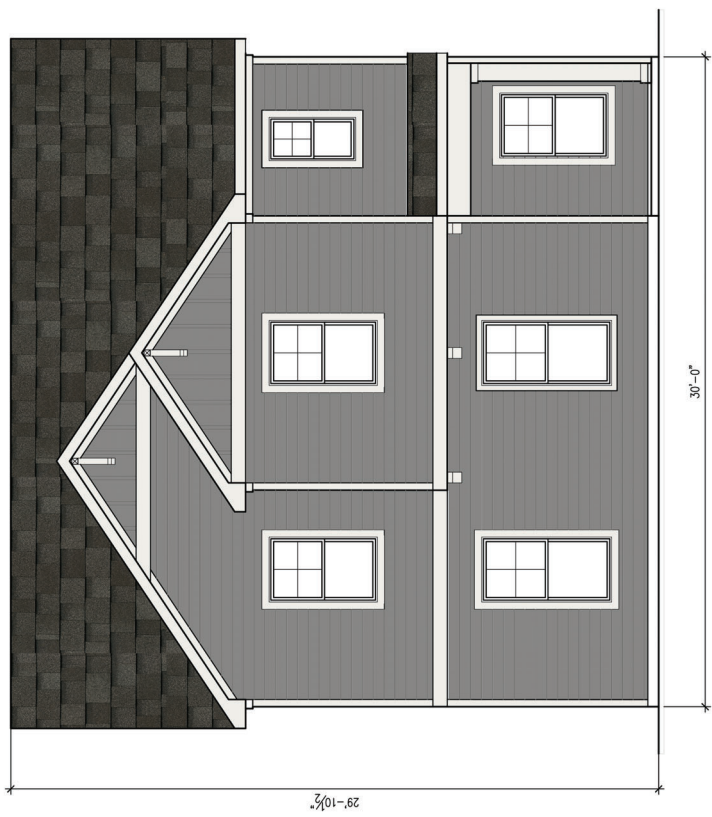
SECOND FLOOR



ELEVATION C
COLOR SCHEME 14



ELEVATION F
COLOR SCHEME 4



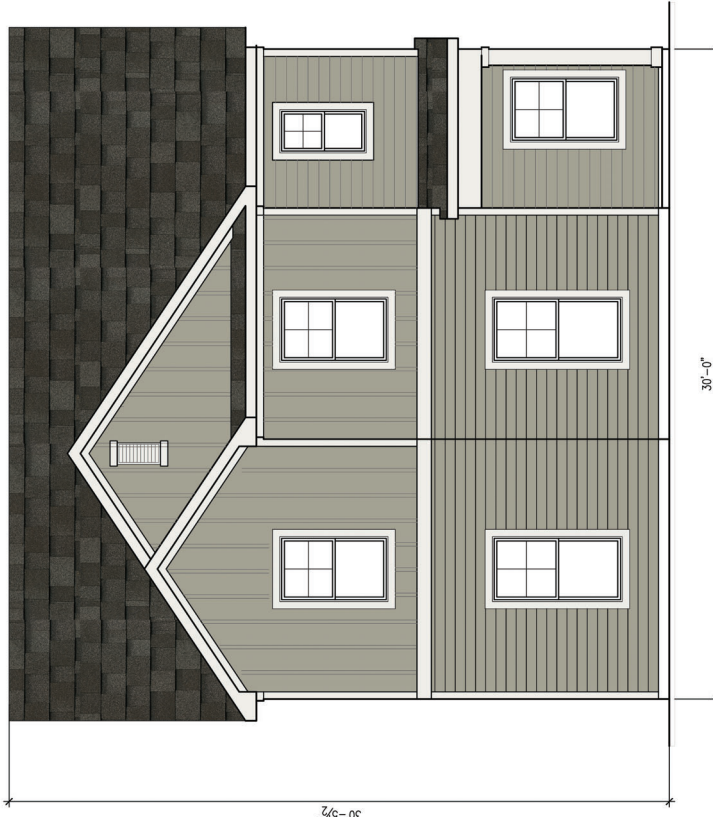
ELEVATION B
COLOR SCHEME 18



ELEVATION E
COLOR SCHEME 6



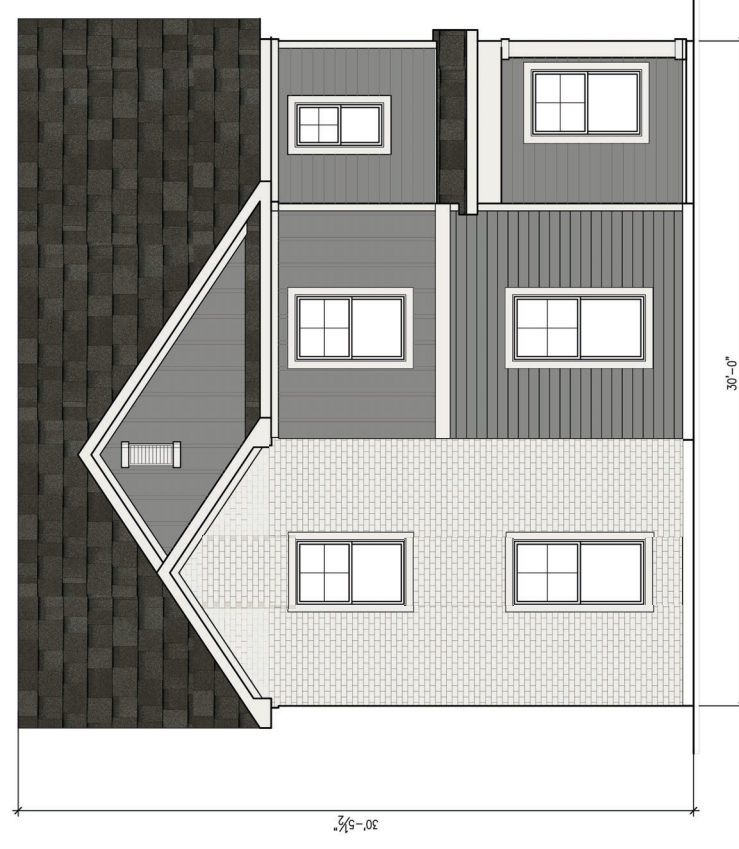
ELEVATION A
COLOR SCHEME 27



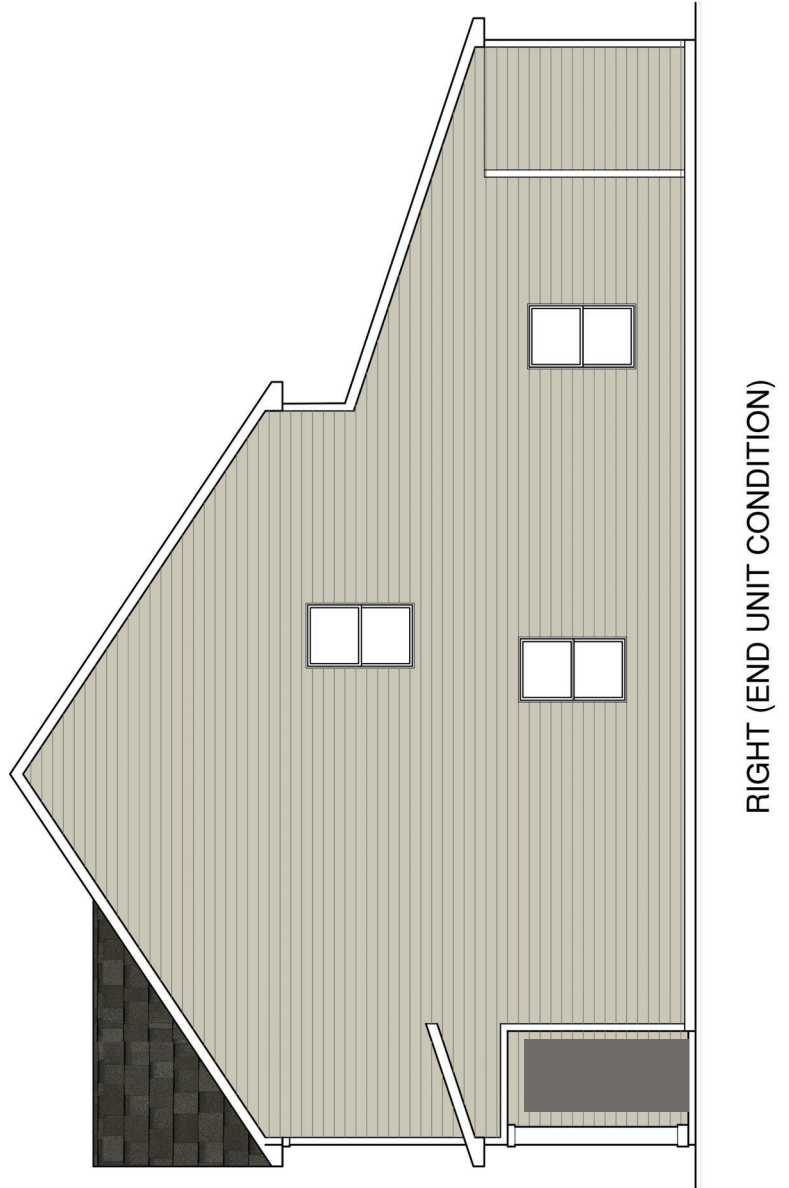
ELEVATION D
COLOR SCHEME 9



ELEVATION H
COLOR SCHEME 25



ELEVATION G
COLOR SCHEME 17





COLOR SCHEME 2

COLOR SCHEME 16

COLOR SCHEME 13

COLOR SCHEME 21



HONEY FARMS: SCHEMATIC ELEVATIONS

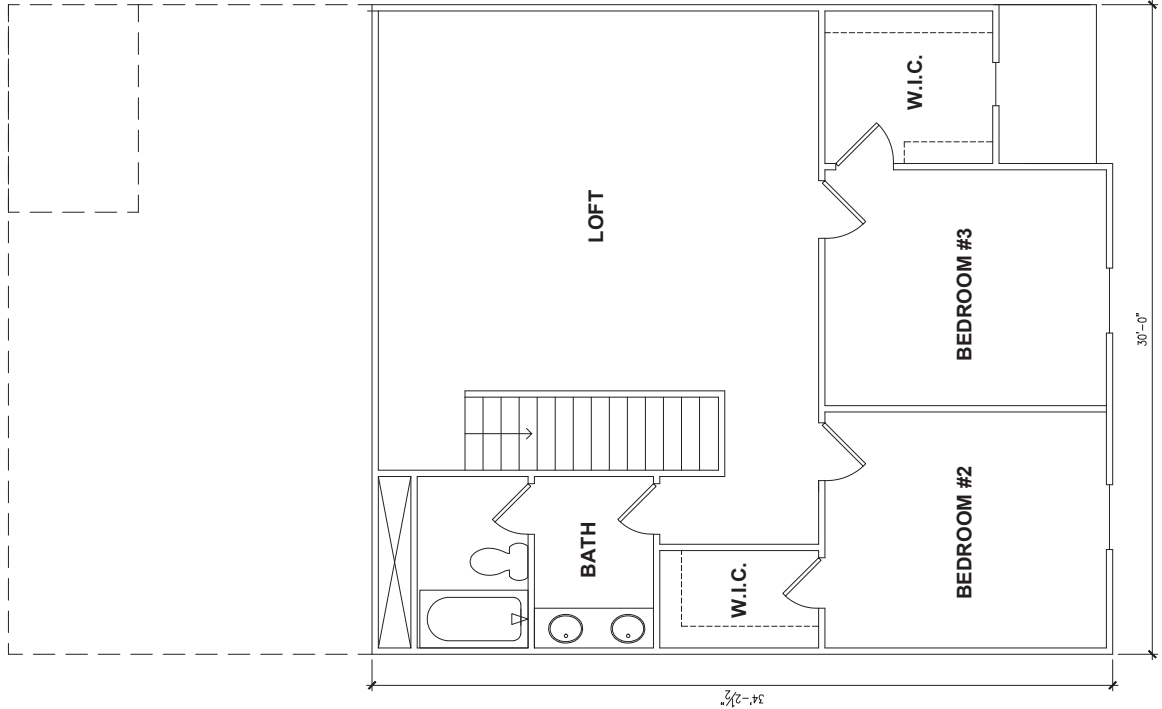
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DATE:	09/08/2022

PLAN 3

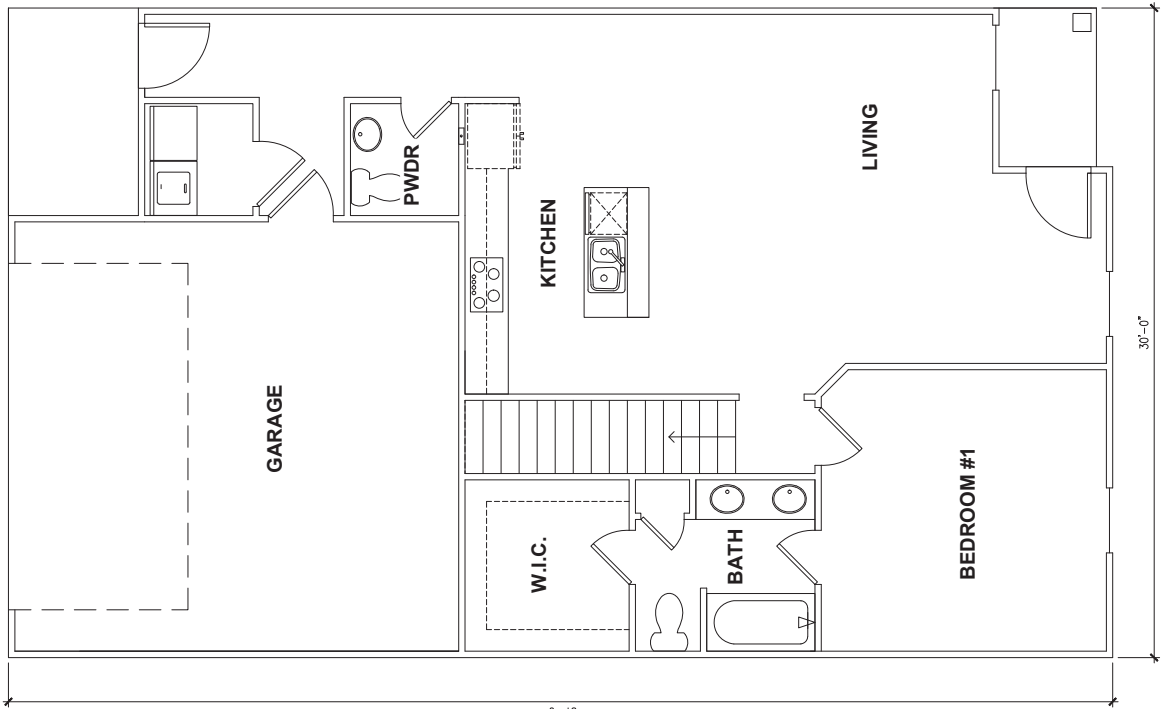
SUBDIVISION:
HONEY FARMS

MUNICIPALITY:
COLUMBIA,
TENNESSEE

A2.1

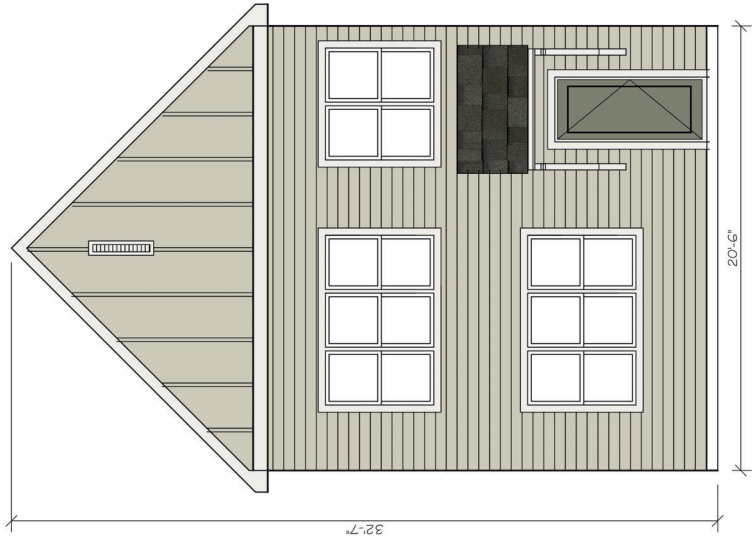


PLAN 3 - SECOND FLOOR

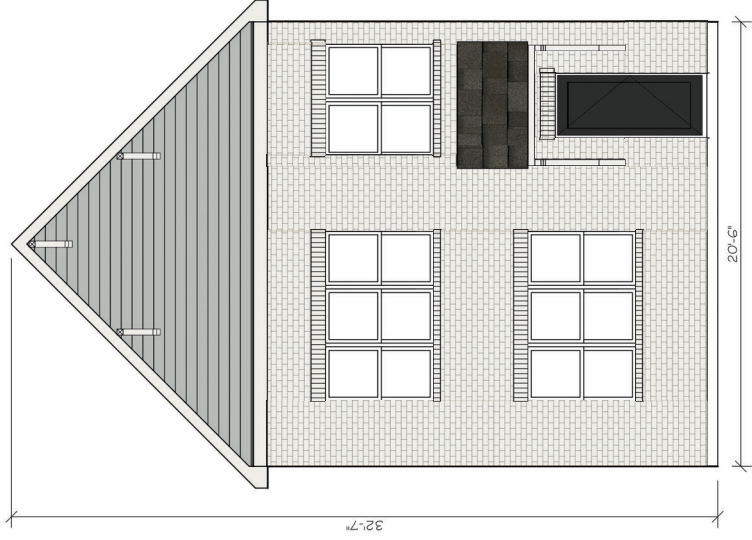


PLAN 3 - FIRST FLOOR

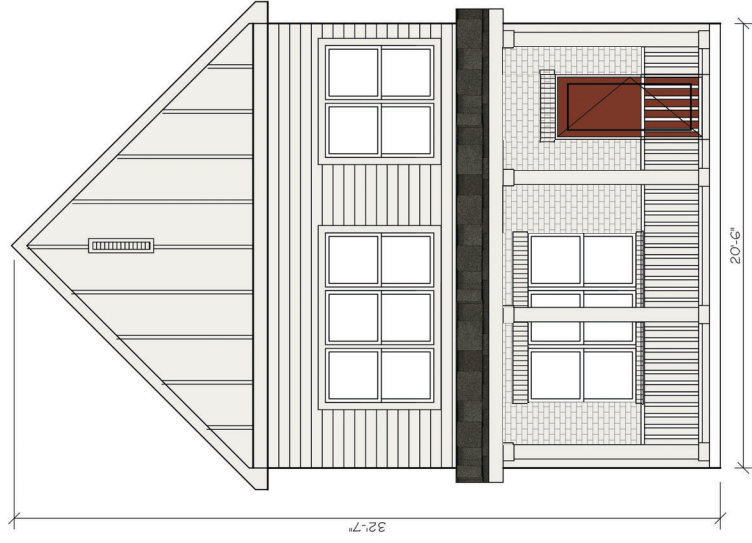
PLAN 3 FLOORPLAN
SCALE: NTS



ELEVATION A
(END UNIT COND.)
COLOR SCHEME 8



ELEVATION B
(END UNIT COND.)
COLOR SCHEME 13



ELEVATION C
(END UNIT COND.)
COLOR SCHEME 4



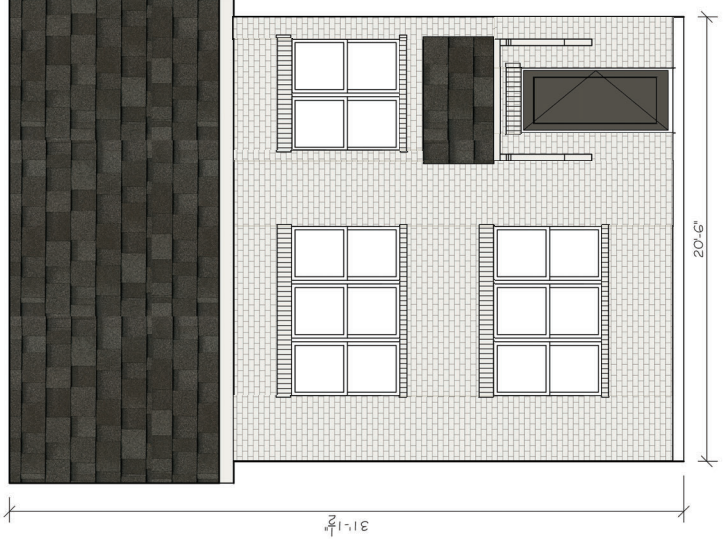
ELEVATION D
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COLOR SCHEME 19



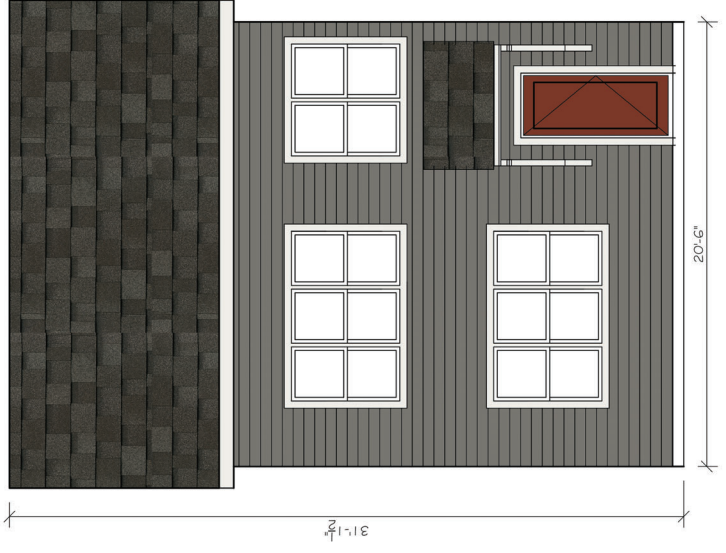
**ELEVATION D
(MID UNIT COND.)**
COLOR SCHEME 24



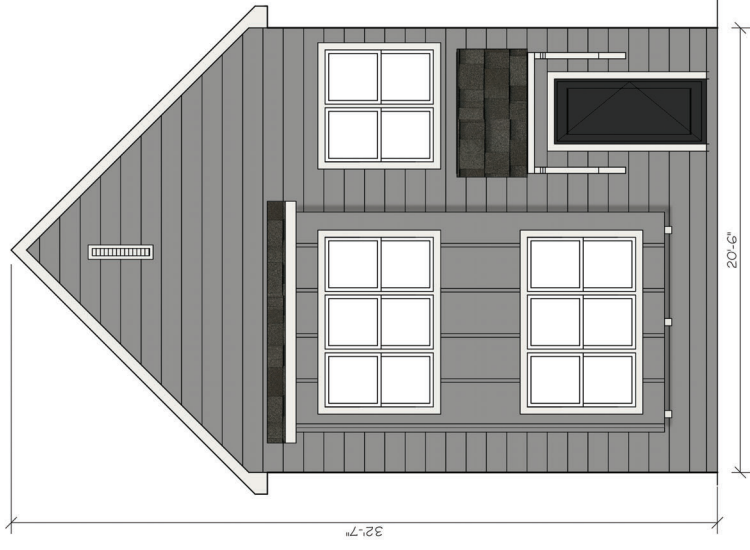
**ELEVATION C
(MID UNIT COND.)**
COLOR SCHEME 1



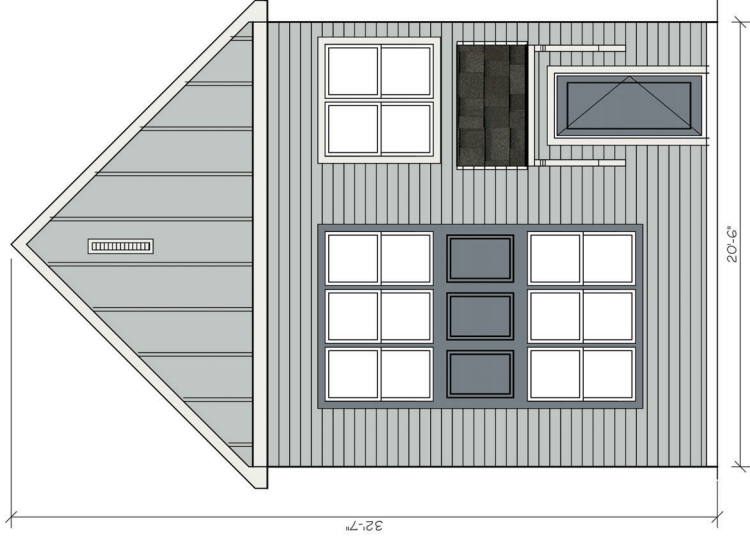
**ELEVATION B
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COLOR SCHEME 25



**ELEVATION A
(MID UNIT COND.)**
COLOR SCHEME 22



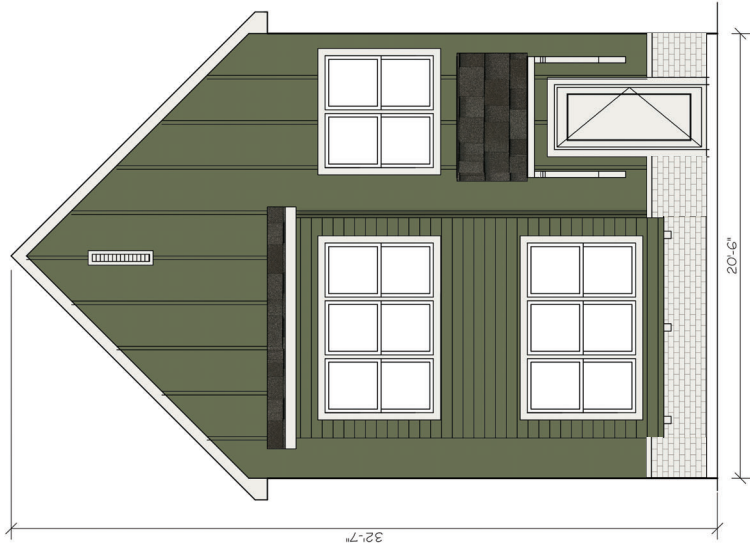
ELEVATION H
(END UNIT COND.)
COLOR SCHEME 16



ELEVATION G
(END UNIT COND.)
COLOR SCHEME 15



ELEVATION F
(END UNIT COND.)
COLOR SCHEME 5



ELEVATION E
(END UNIT COND.)
COLOR SCHEME 28



**ELEVATION H
(MID UNIT COND.)**
COLOR SCHEME 6



**ELEVATION G
(MID UNIT COND.)**
COLOR SCHEME 10



**ELEVATION F
(MID UNIT COND.)**
COLOR SCHEME 2



**ELEVATION E
(MID UNIT COND.)**
COLOR SCHEME 26



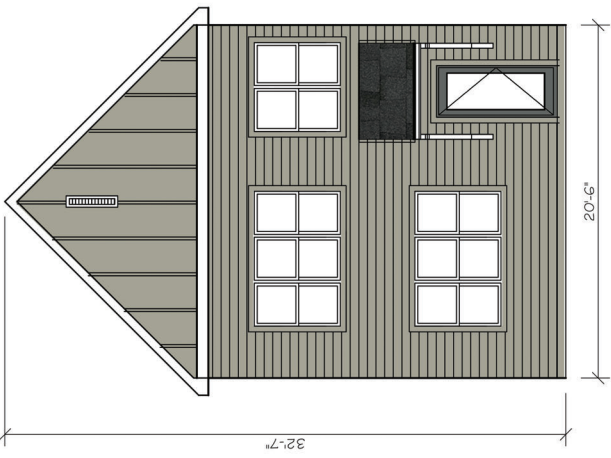
COLOR SCHEME 27

COLOR SCHEME 17

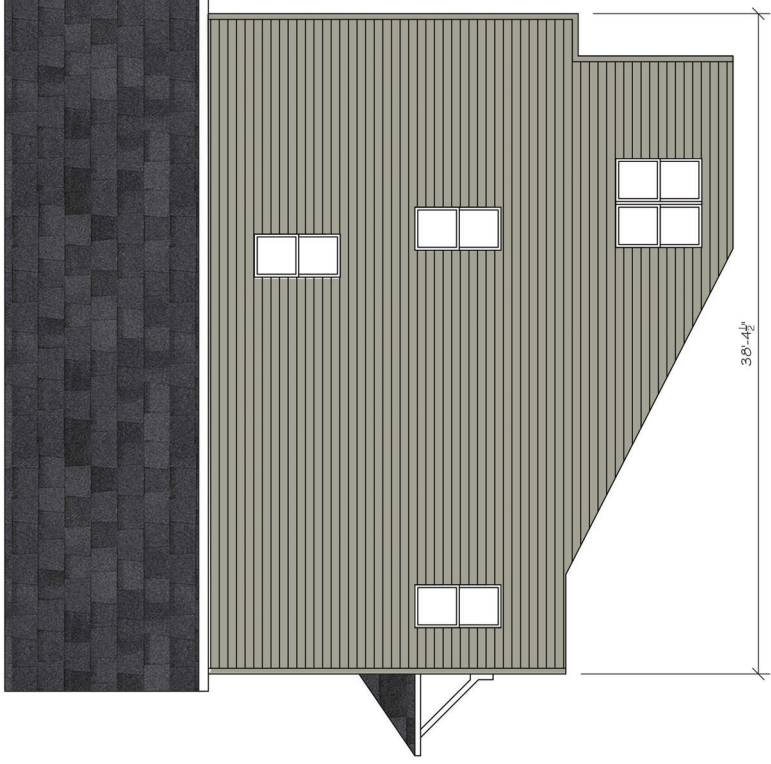
COLOR SCHEME 1

COLOR SCHEME 16

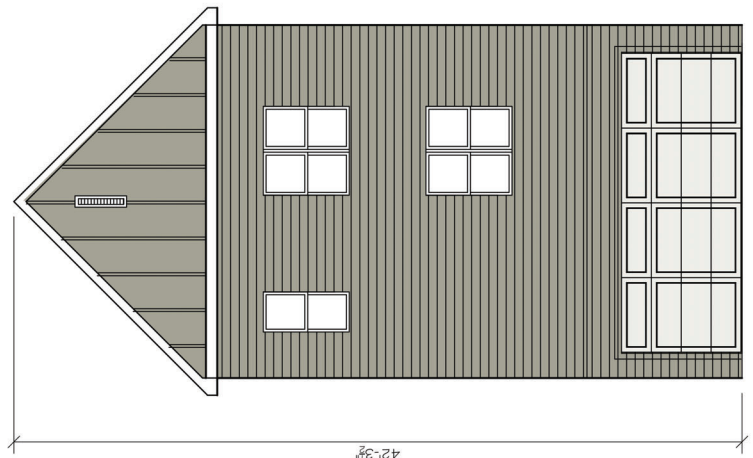
COLOR SCHEME 28



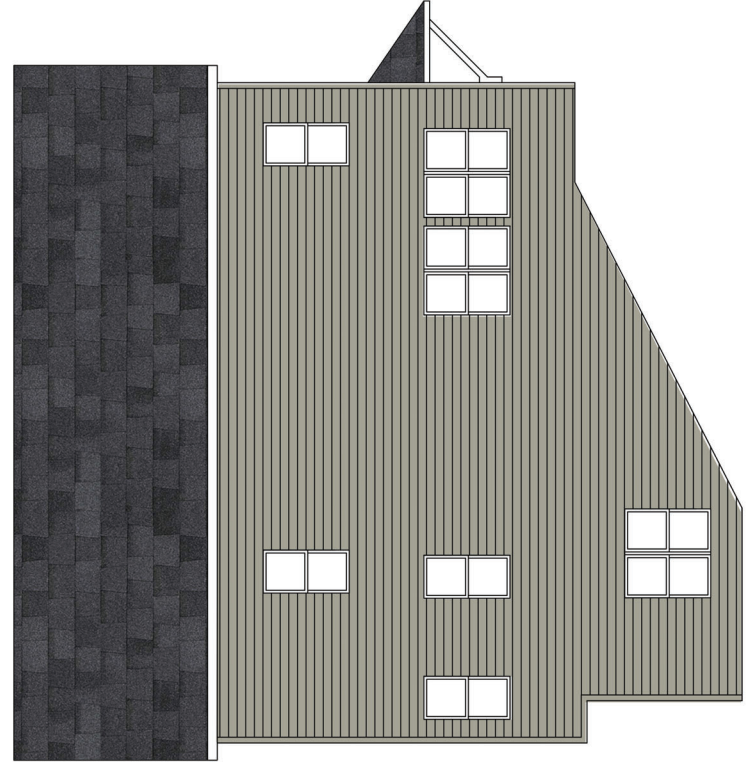
FRONT
SCHEME 10



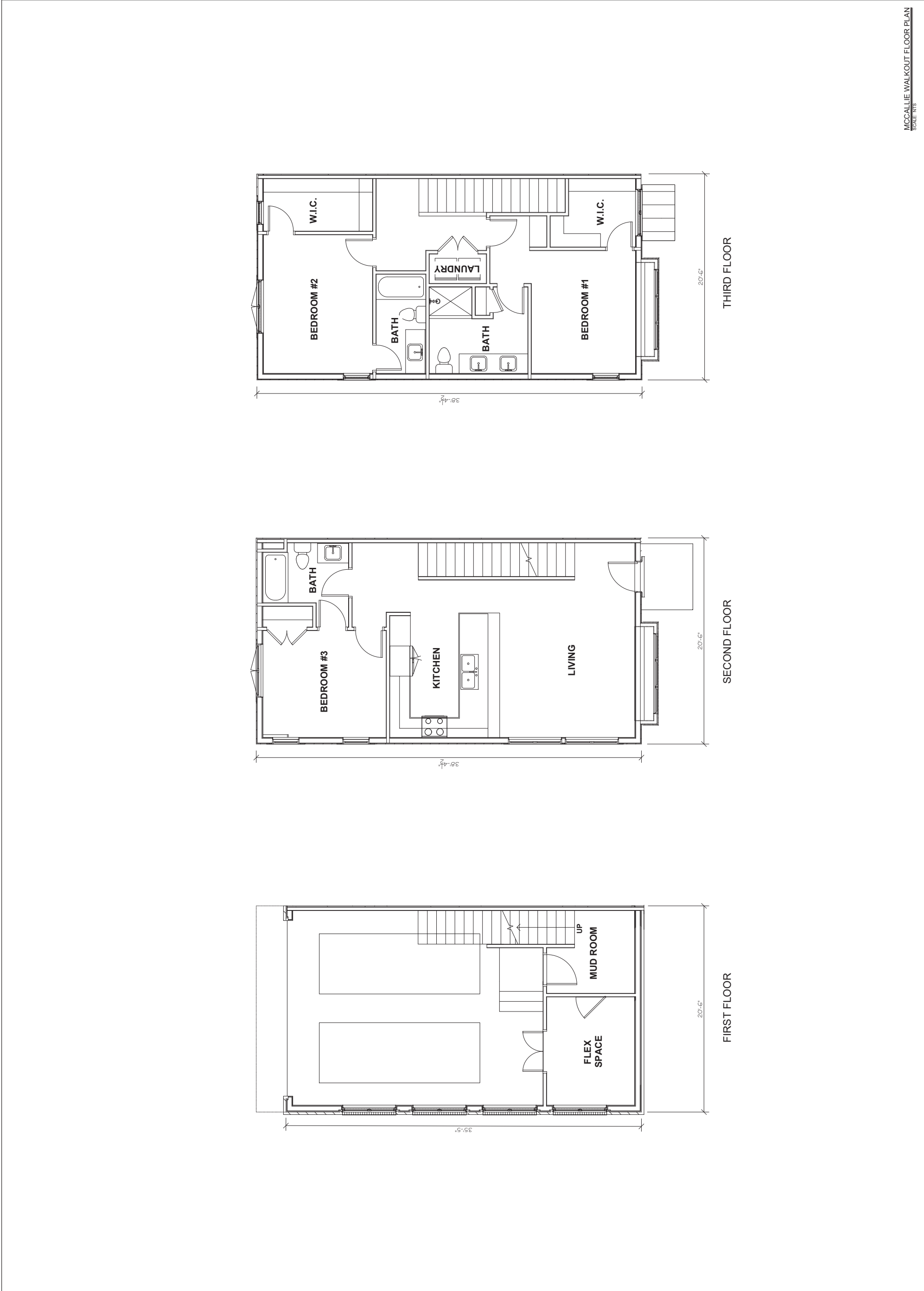
RIGHT
SCHEME 10



REAR
SCHEME 10



LEFT
SCHEME 10

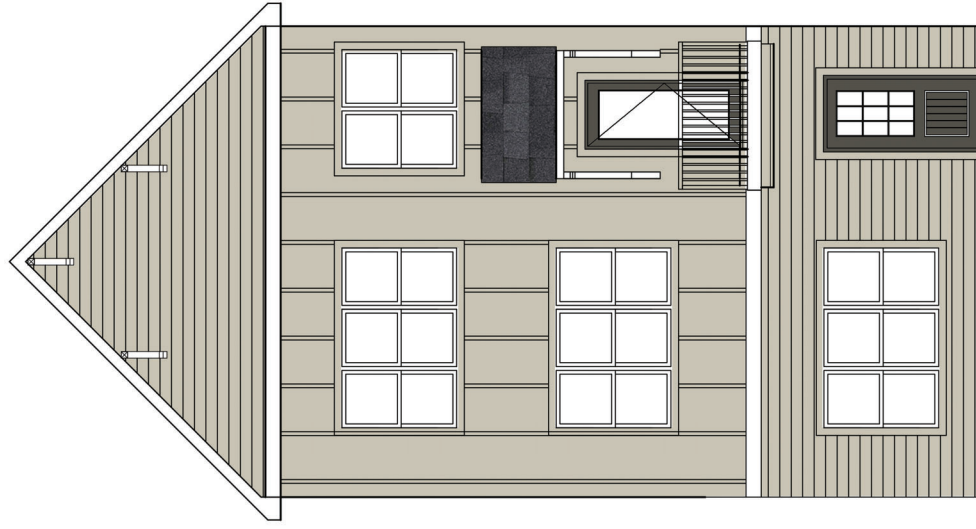


MCCALLIE WALKOUT FLOOR PLAN
 SCALE: NTS



**ELEVATION A
(END UNIT COND.)**

SCHEME 15



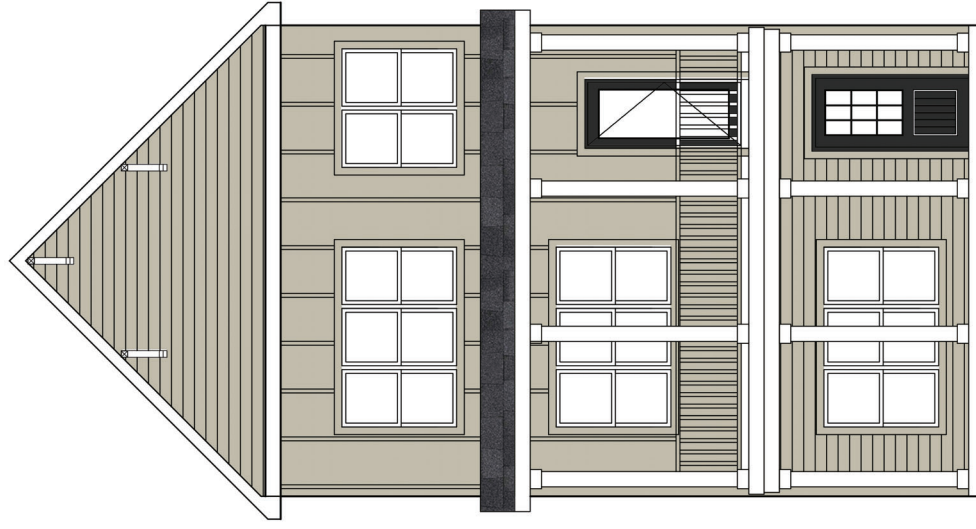
**ELEVATION B
(END UNIT COND.)**

SCHEME 5



**ELEVATION C
(END UNIT COND.)**

SCHEME 11



**ELEVATION D
(END UNIT COND.)**

SCHEME 4



ELEVATION D
(MID UNIT COND.)

SCHEME 20



ELEVATION C
(MID UNIT COND.)

SCHEME 18



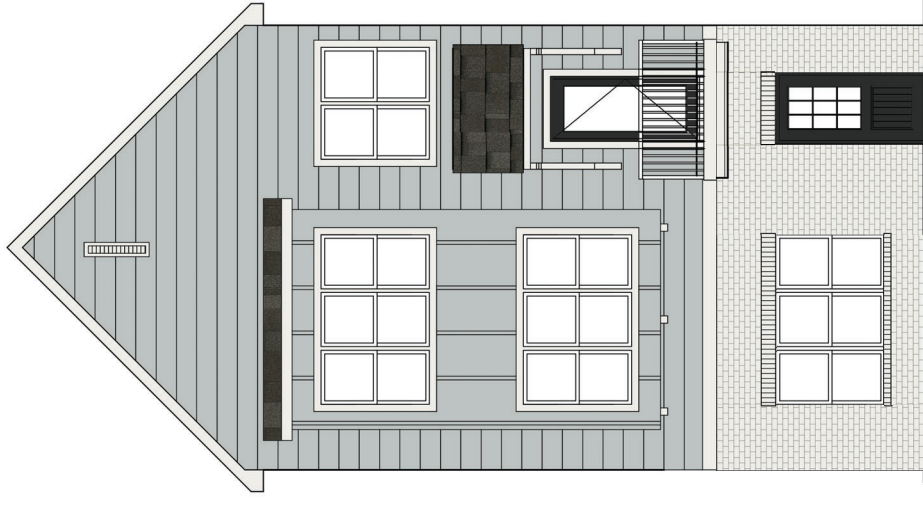
ELEVATION B
(MID UNIT COND.)

SCHEME 22

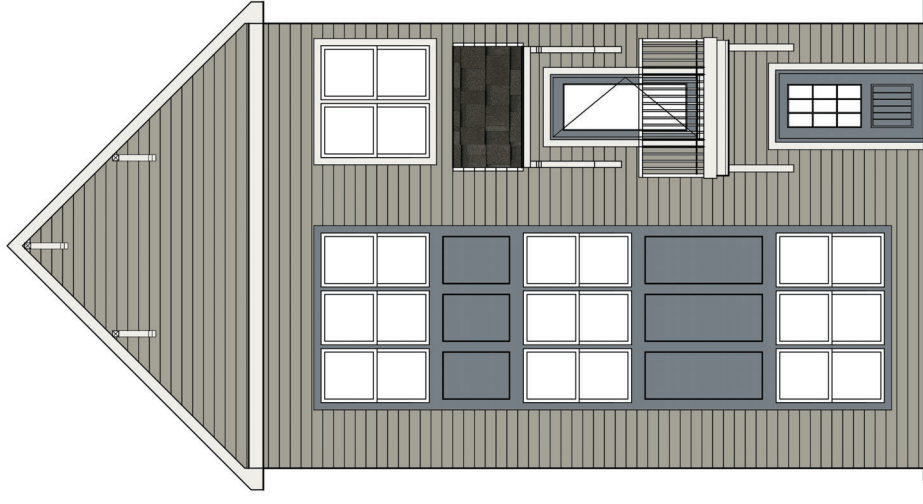


ELEVATION A
(MID UNIT COND.)

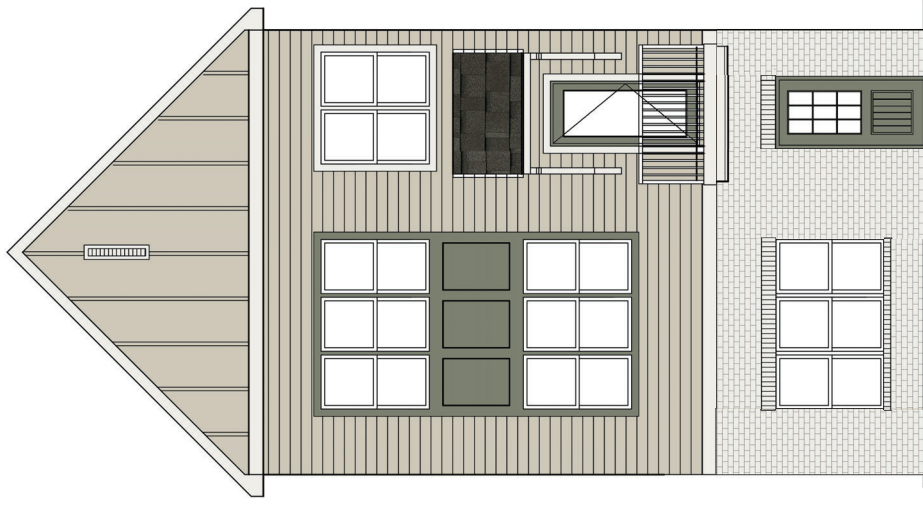
SCHEME 17



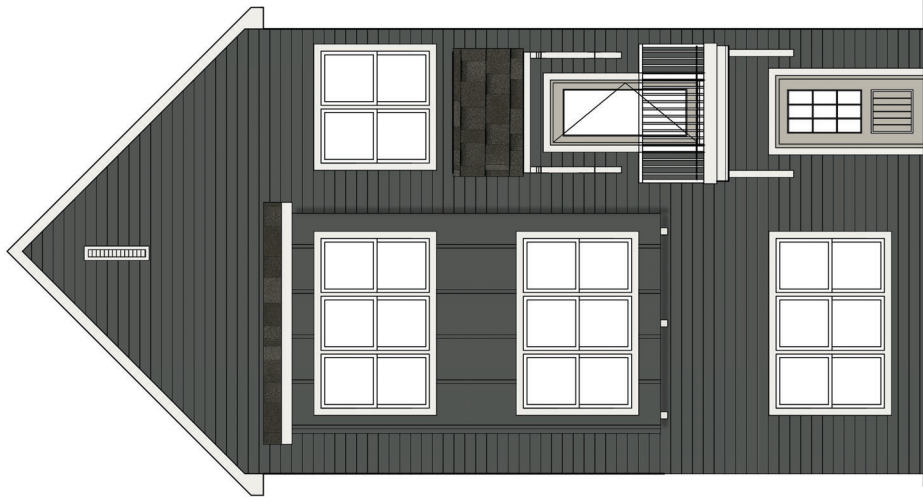
**ELEVATION H
(END UNIT COND.)**
COLOR SCHEME 13



**ELEVATION G
(END UNIT COND.)**
COLOR SCHEME 12



**ELEVATION F
(END UNIT COND.)**
COLOR SCHEME 8

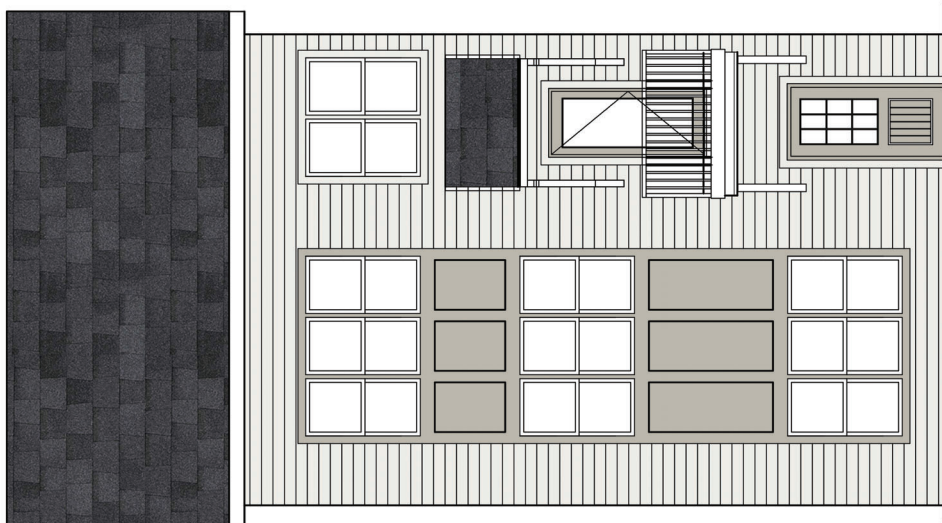


**ELEVATION E
(END UNIT COND.)**
COLOR SCHEME 19



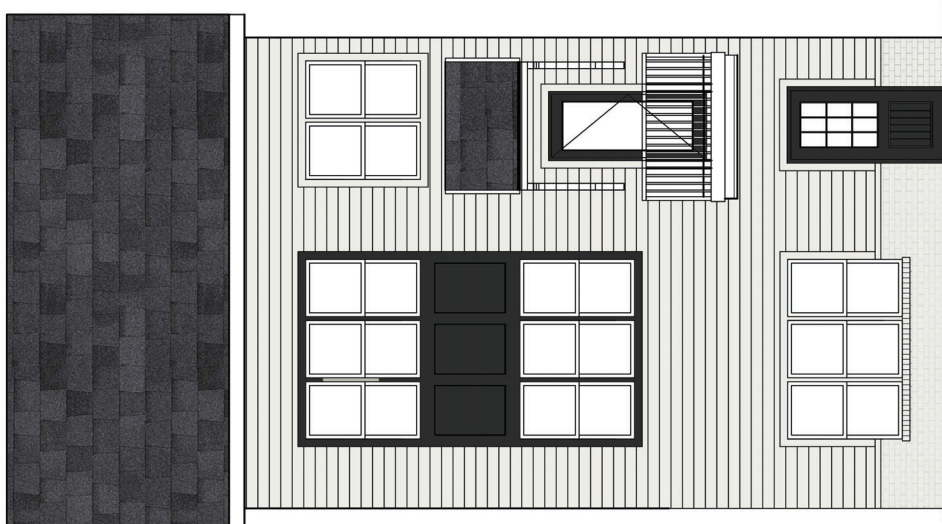
ELEVATION H
(MID UNIT COND.)

SCHEME 4



ELEVATION G
(MID UNIT COND.)

SCHEME 3



ELEVATION F
(MID UNIT COND.)

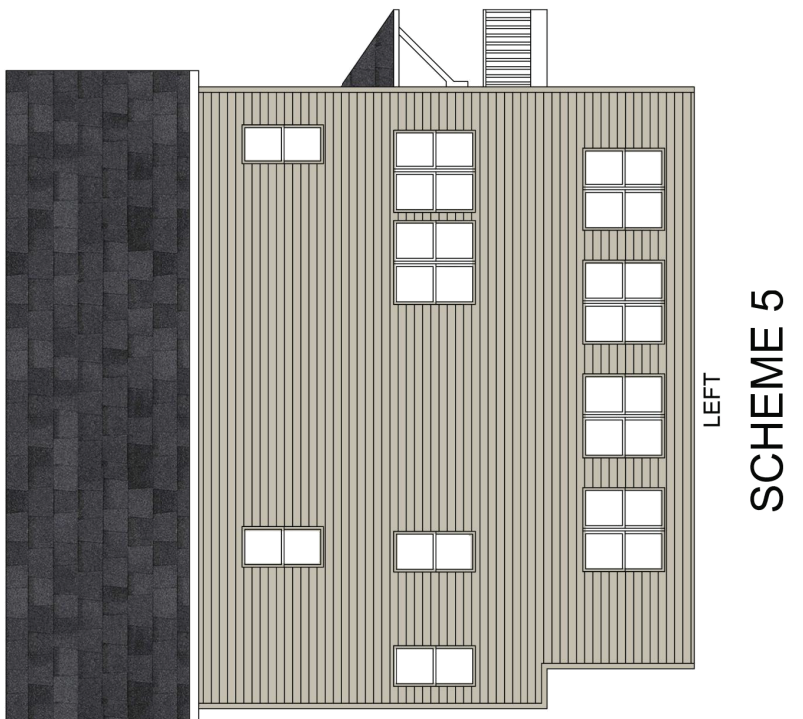
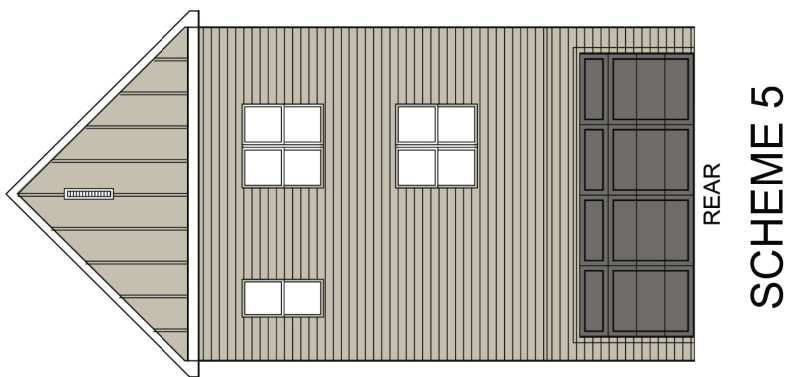
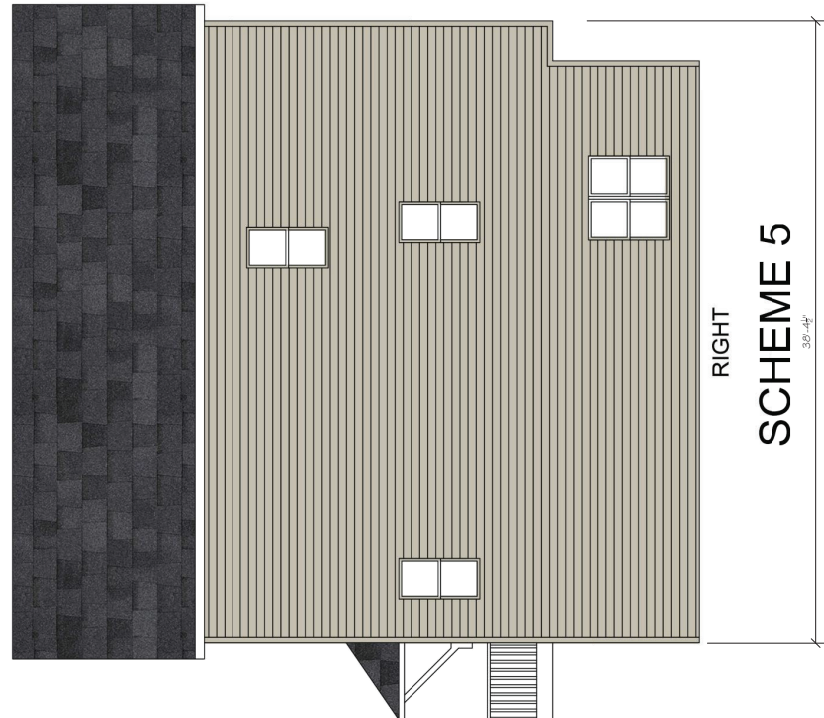
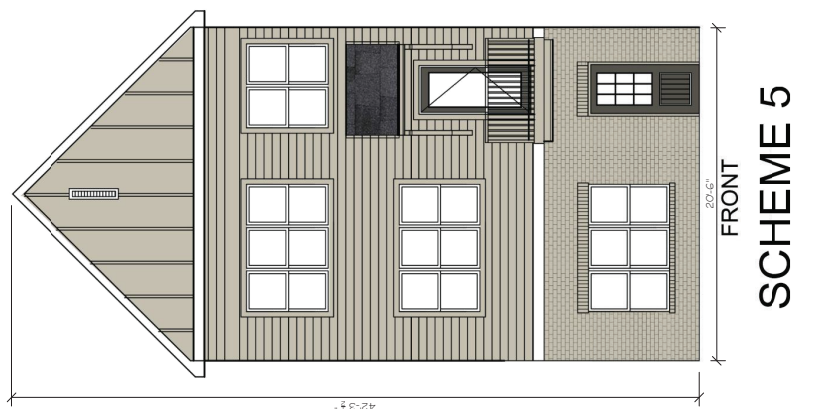
SCHEME 2

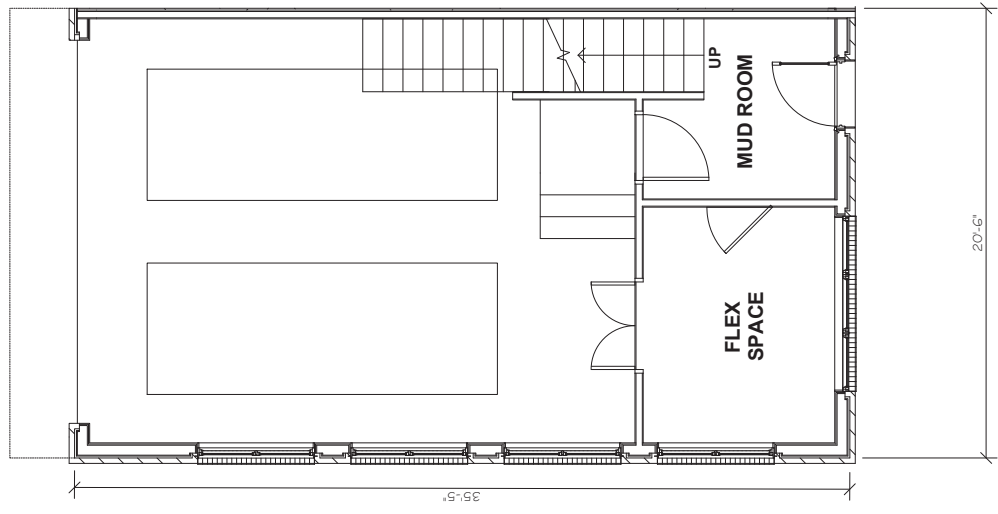
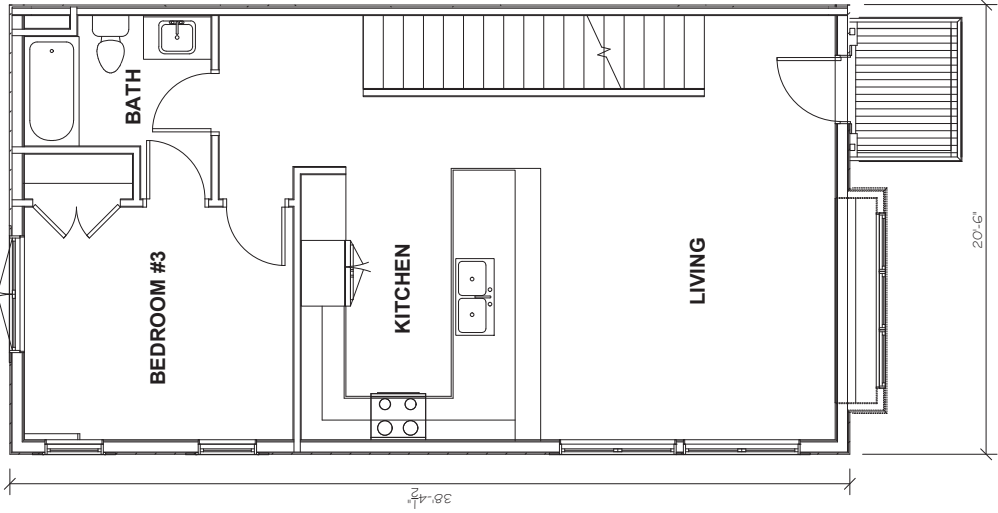
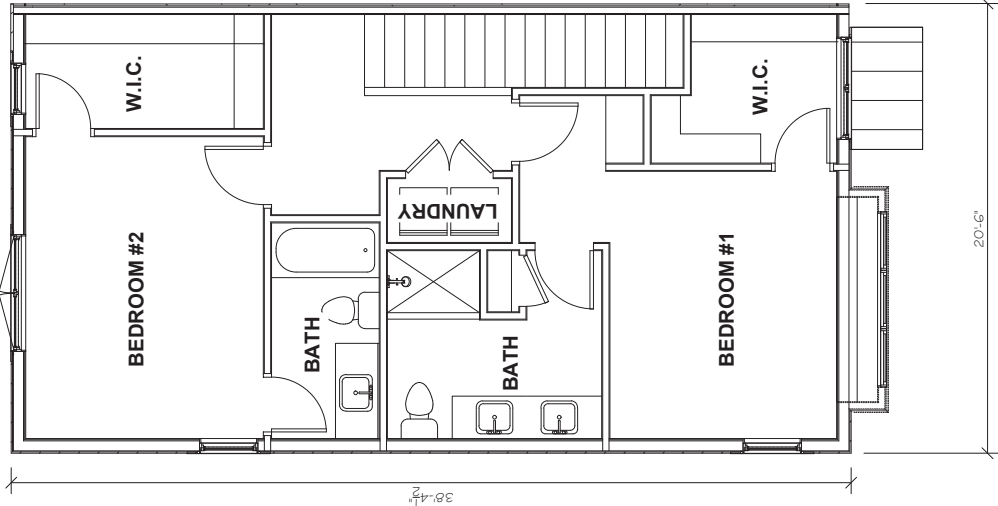


ELEVATION E
(MID UNIT COND.)

SCHEME 1



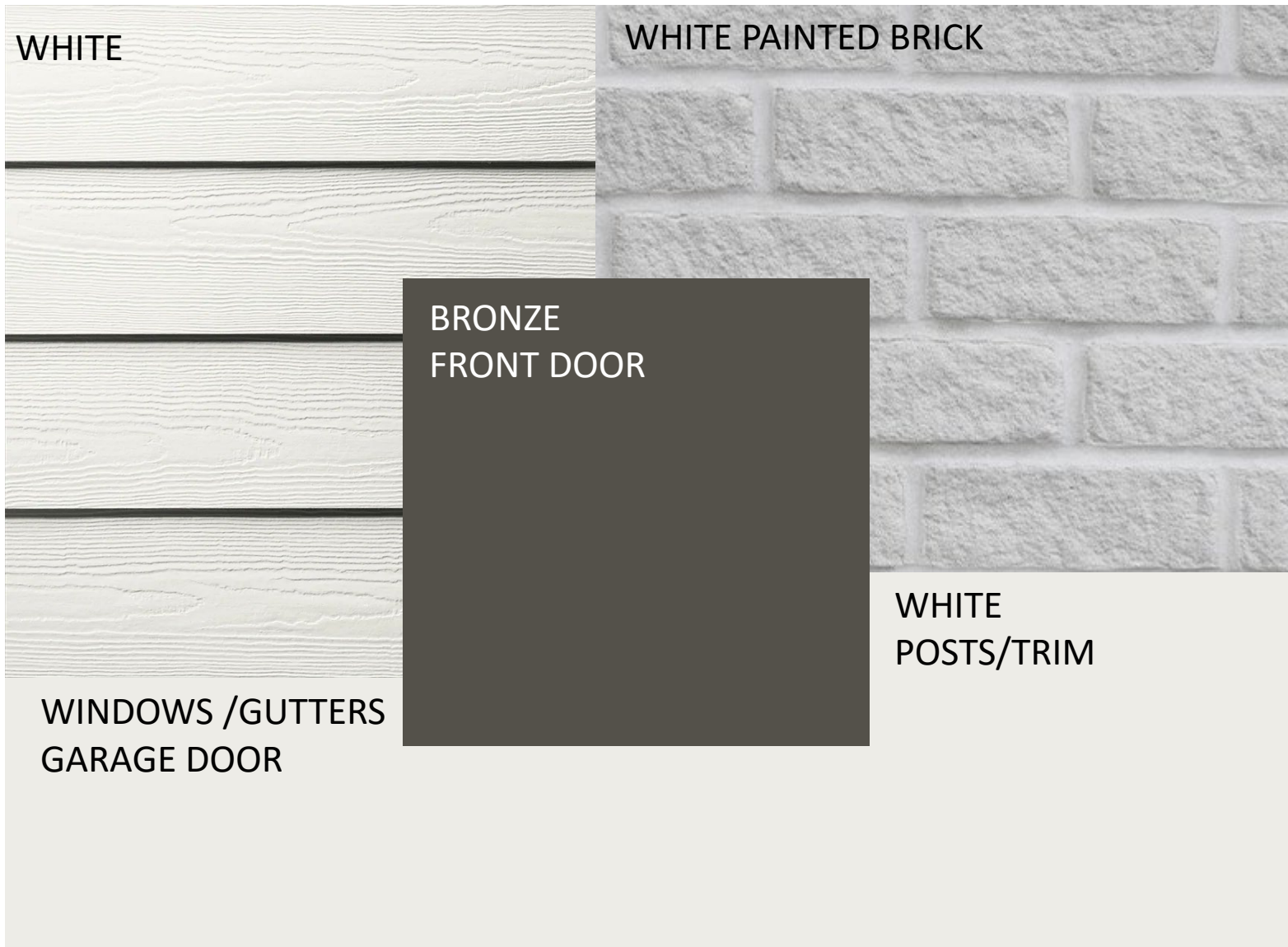




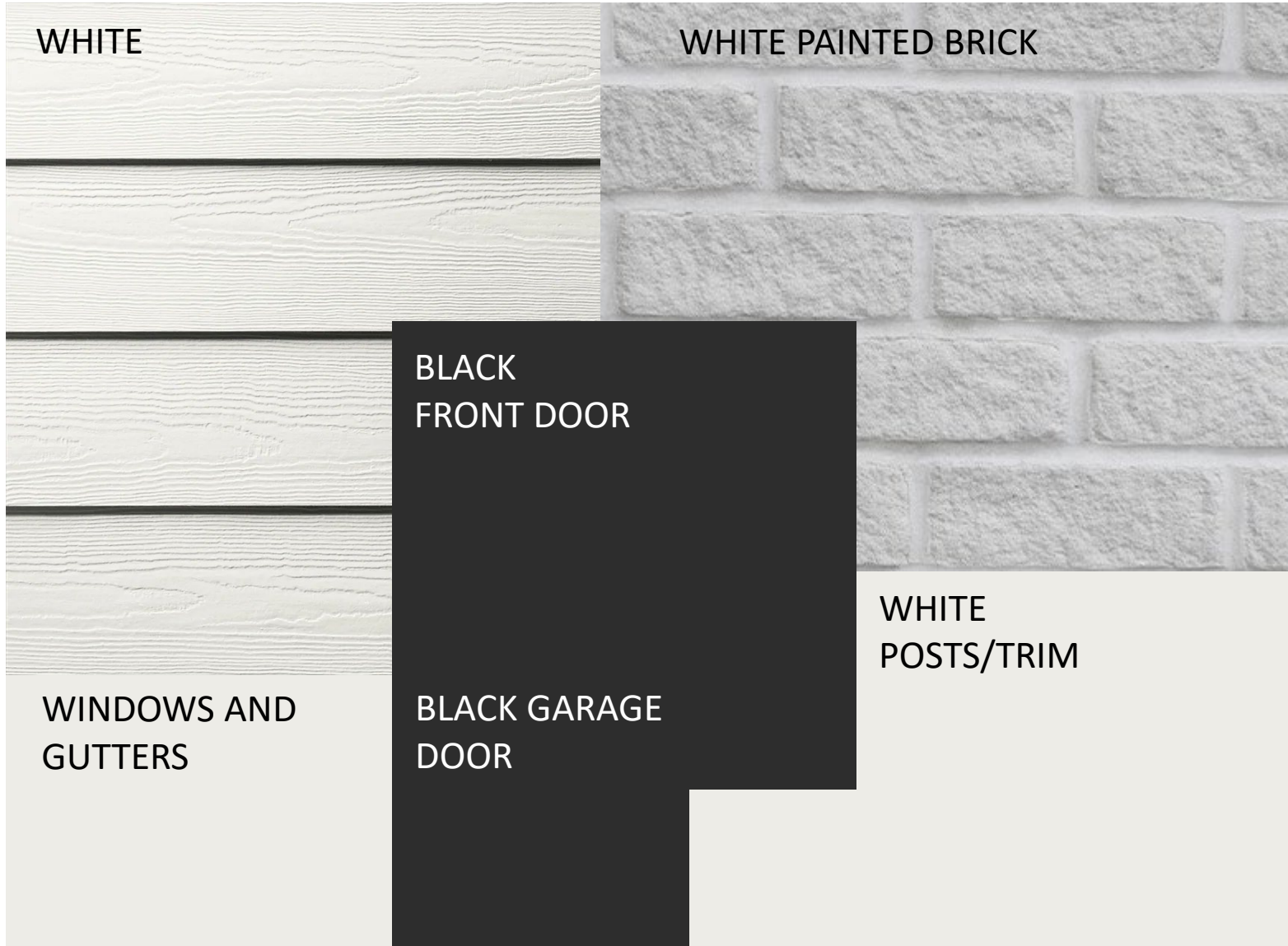
Columbia, TN - Elevations & Exterior Color Schemes

PLAN 1

SCHEME 1



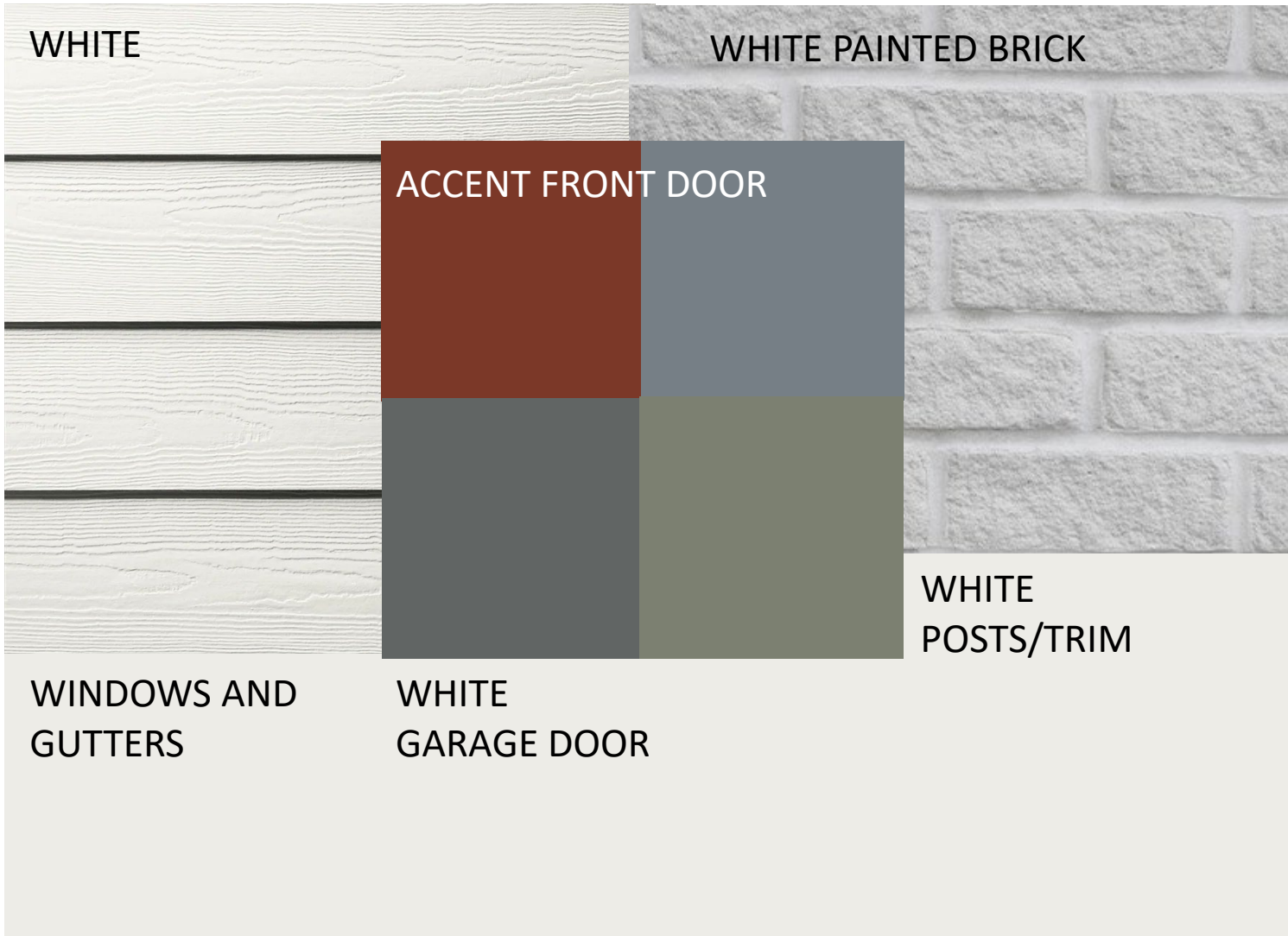
SCHEME 2



SCHEME 3

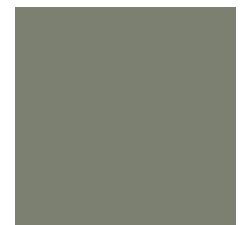
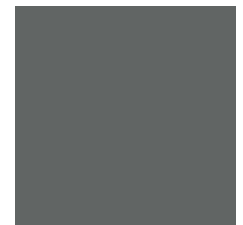
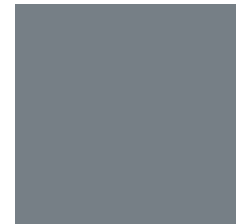


SCHEME 4

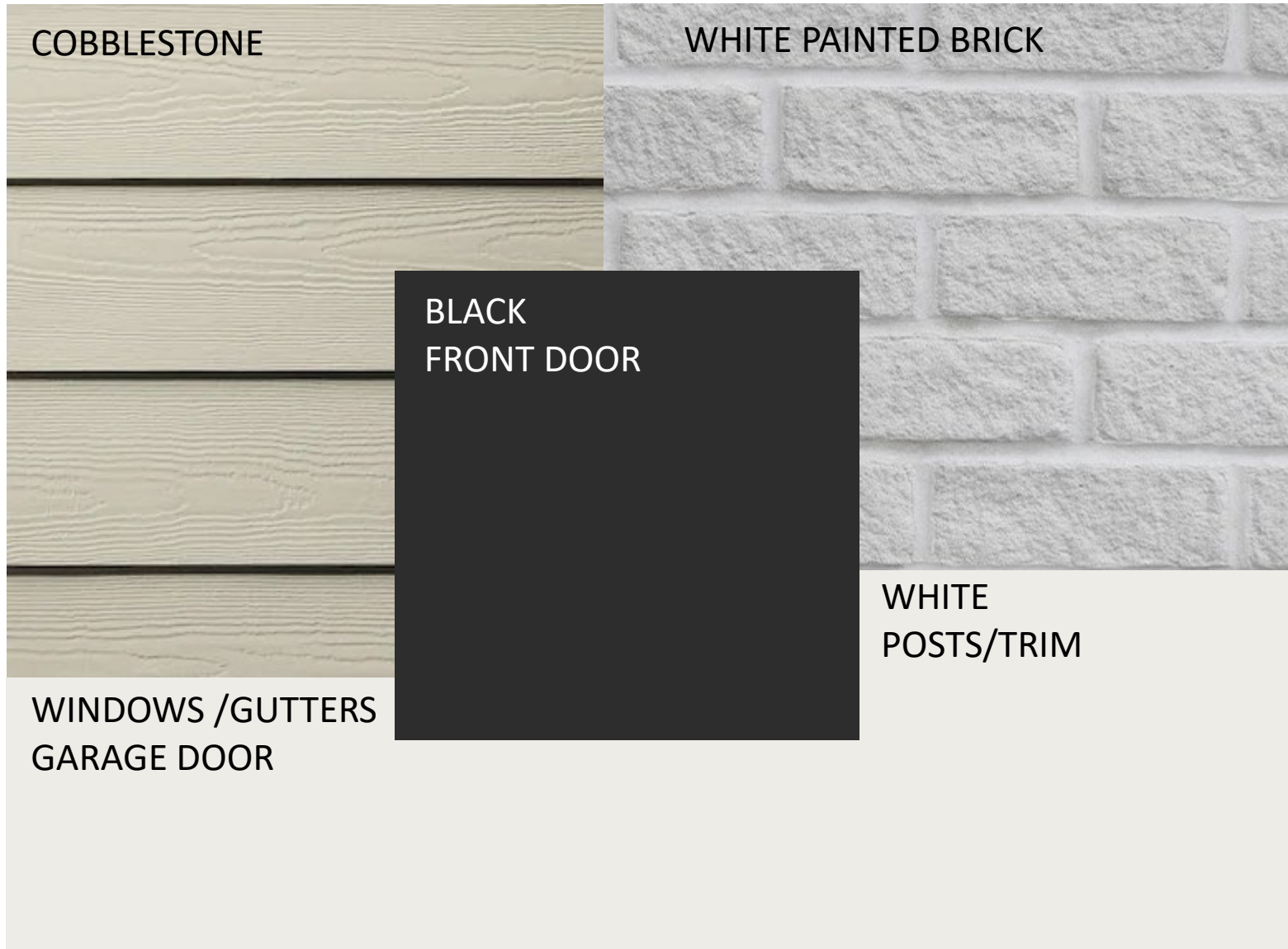


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME

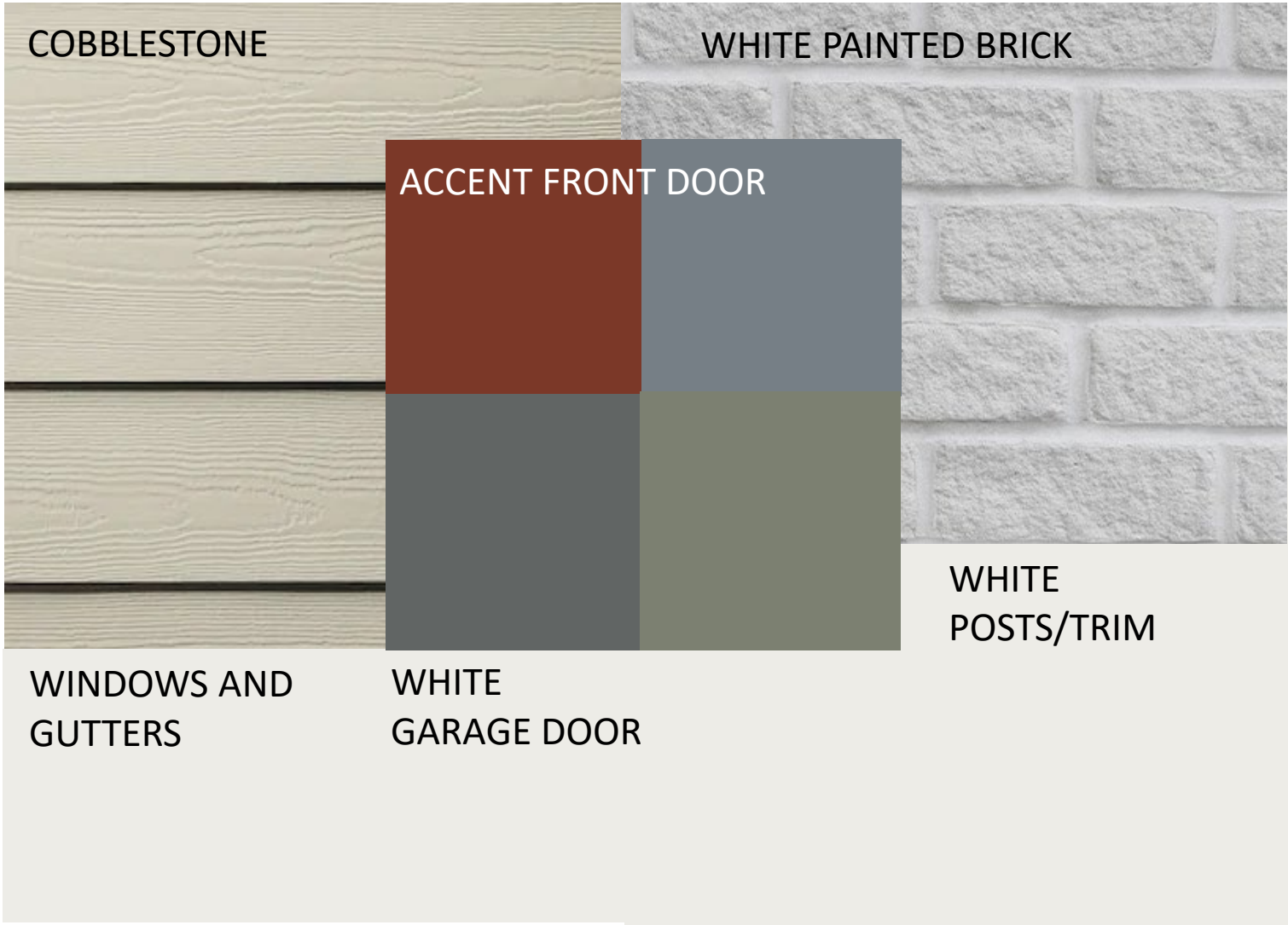


SCHEME 5



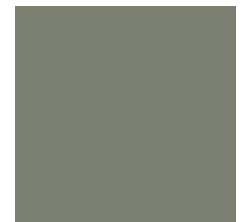
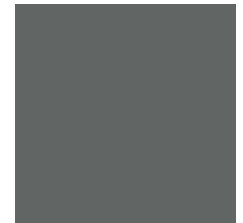
*Exterior color package may not be available depending on selections for neighboring lots

SCHEME 6



ACCENT DOOR OPTIONS

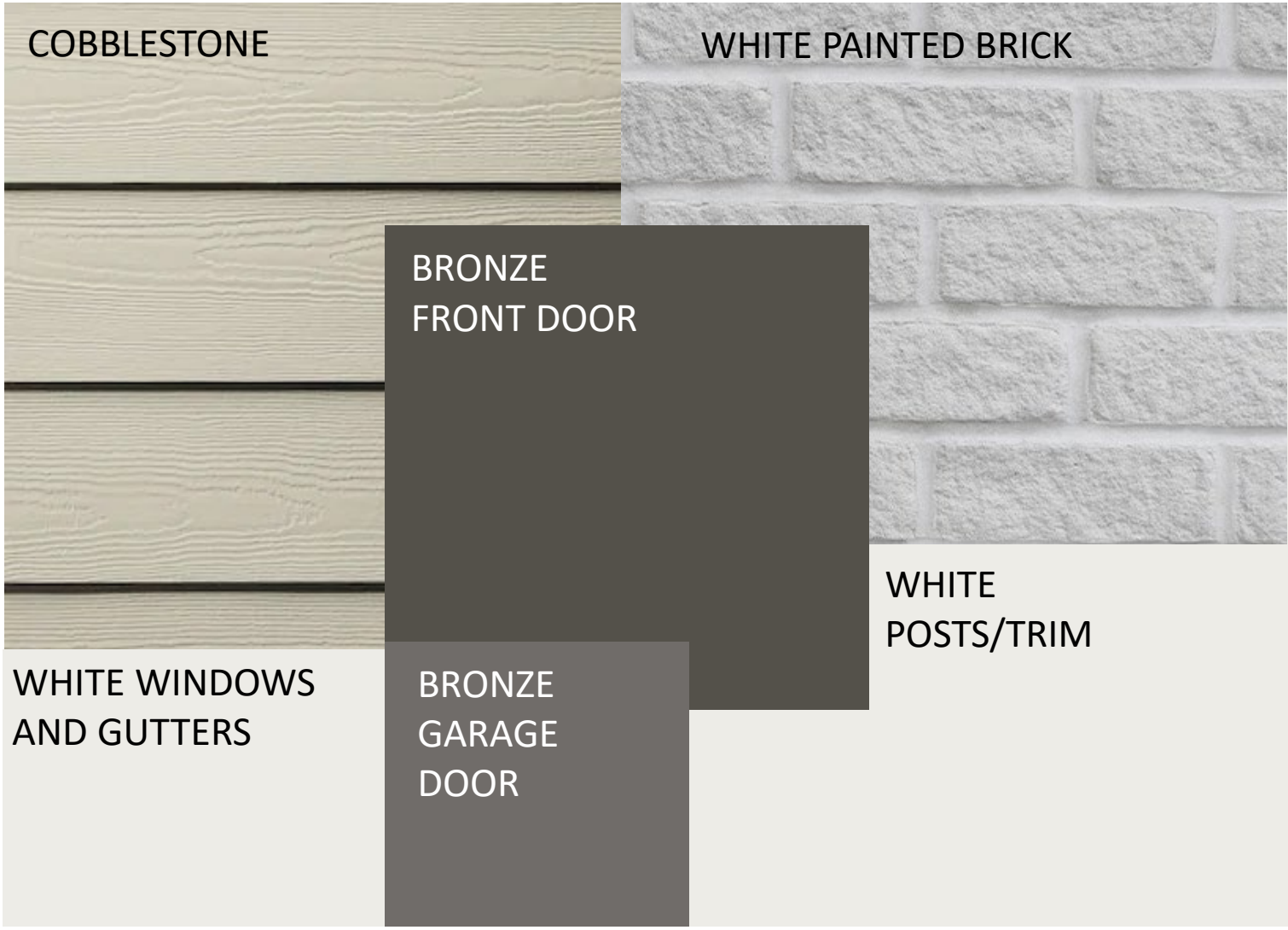
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 7



SCHEME 8



COBBLESTONE

WHITE PAINTED BRICK

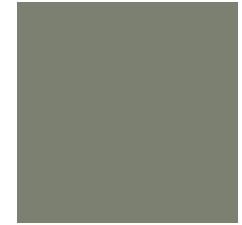
BRONZE
FRONT DOOR

WHITE WINDOWS
AND GUTTERS

BRONZE
GARAGE
DOOR

WHITE
POSTS/TRIM

ACCENT FRONT DOOR
• SW DRIED THYME



SCHEME 9

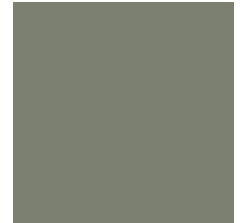


SCHEME 10

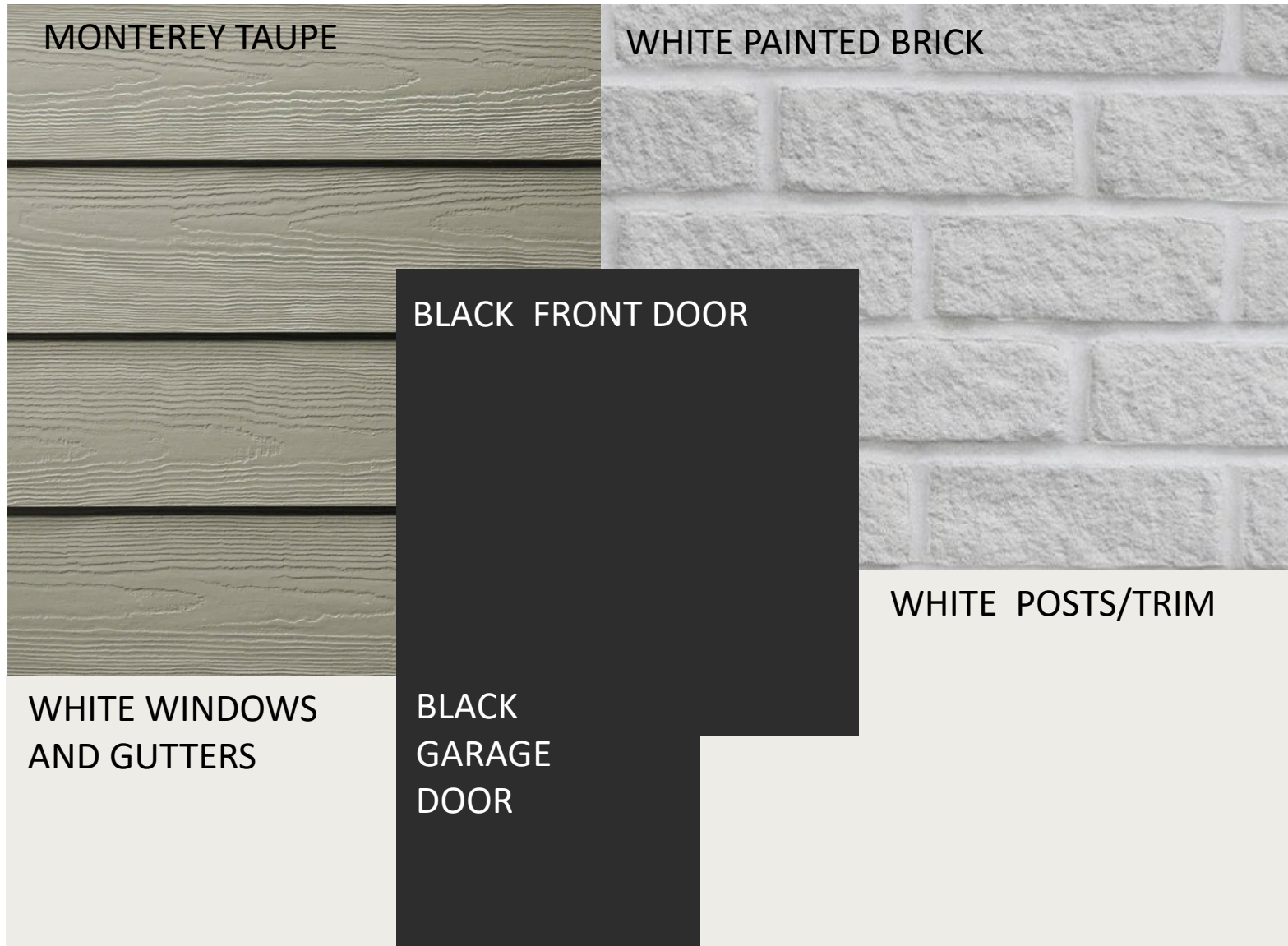


ACCENT DOOR OPTIONS

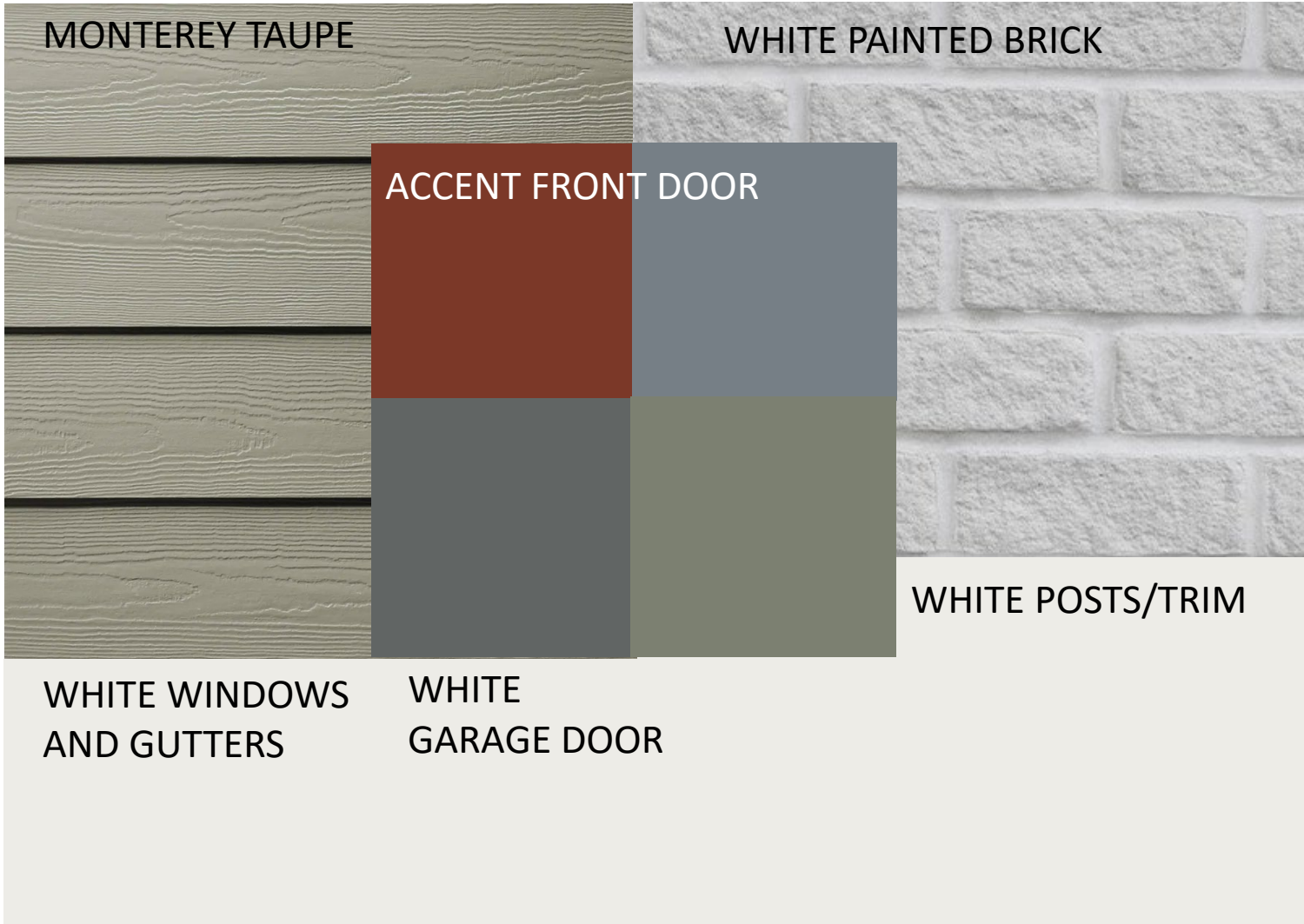
- SW DRIED THYME



SCHEME 11

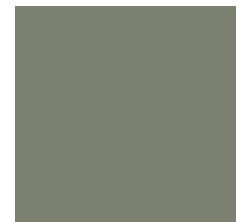
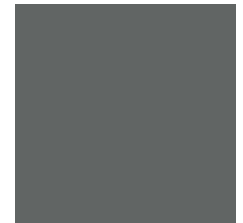
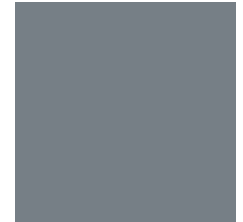


SCHEME 12

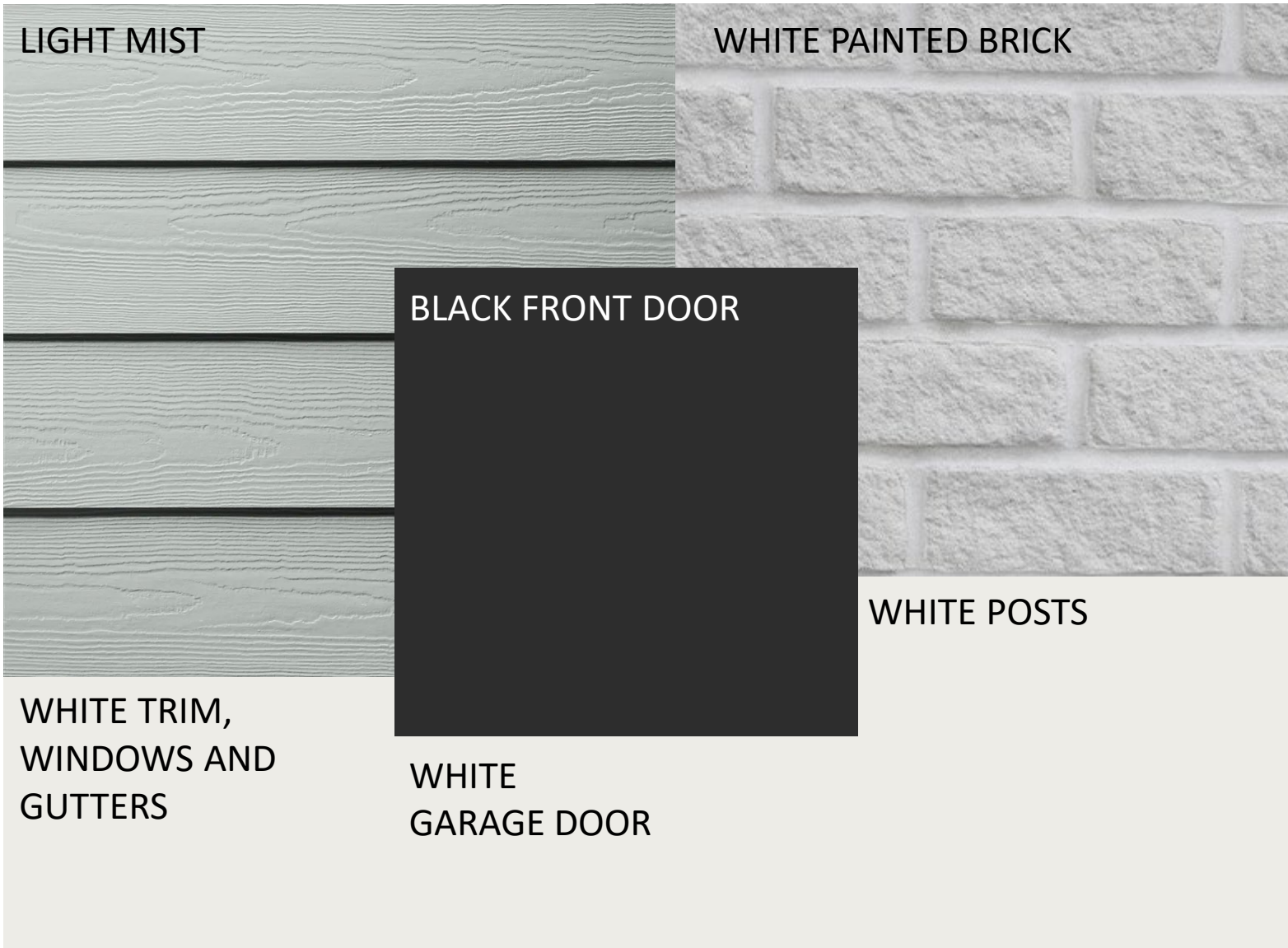


ACCENT DOOR OPTIONS

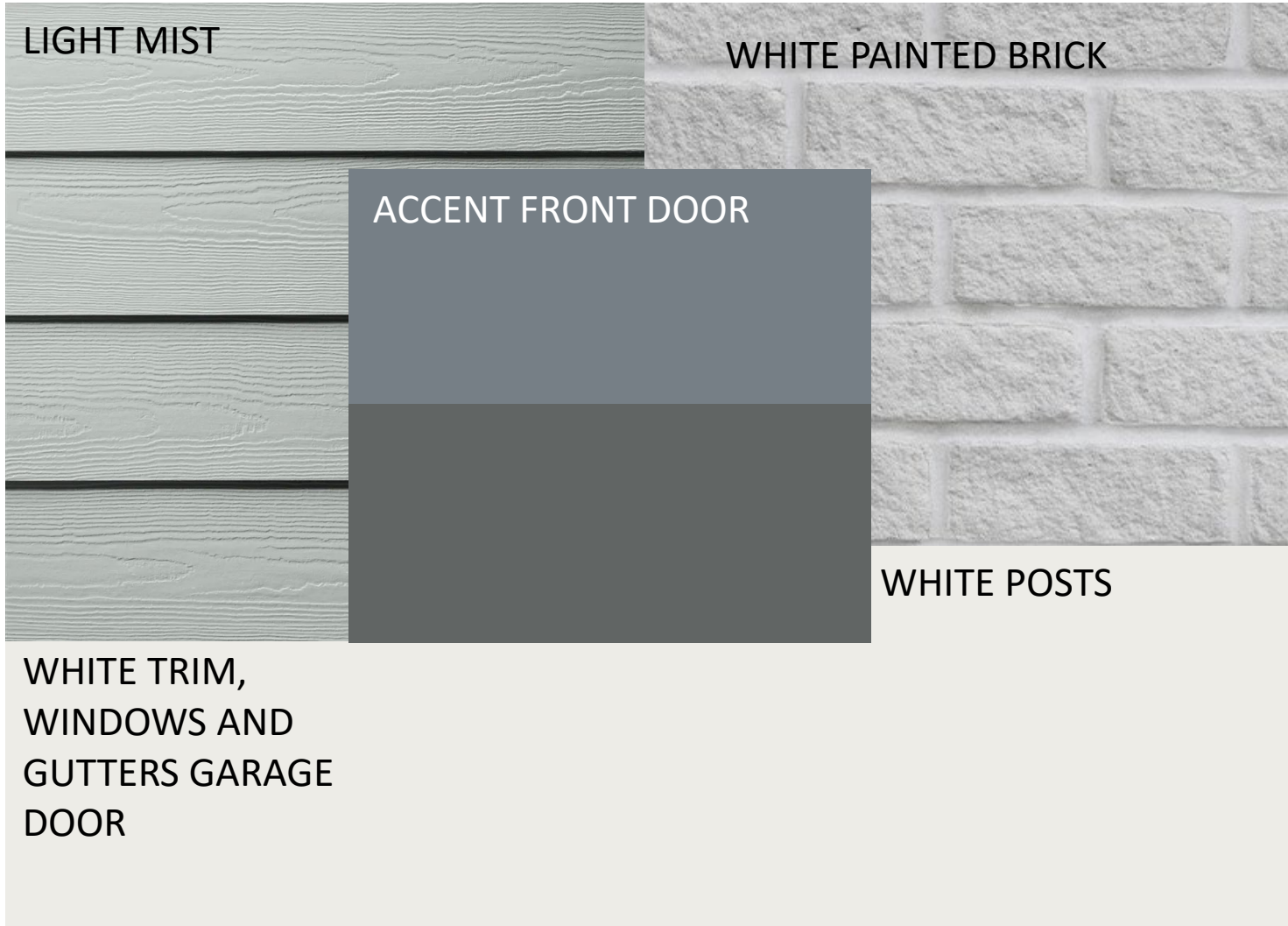
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13

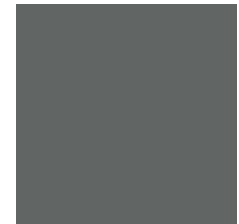
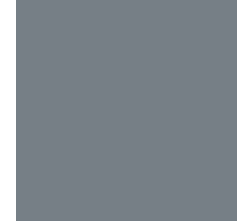


SCHEME 14

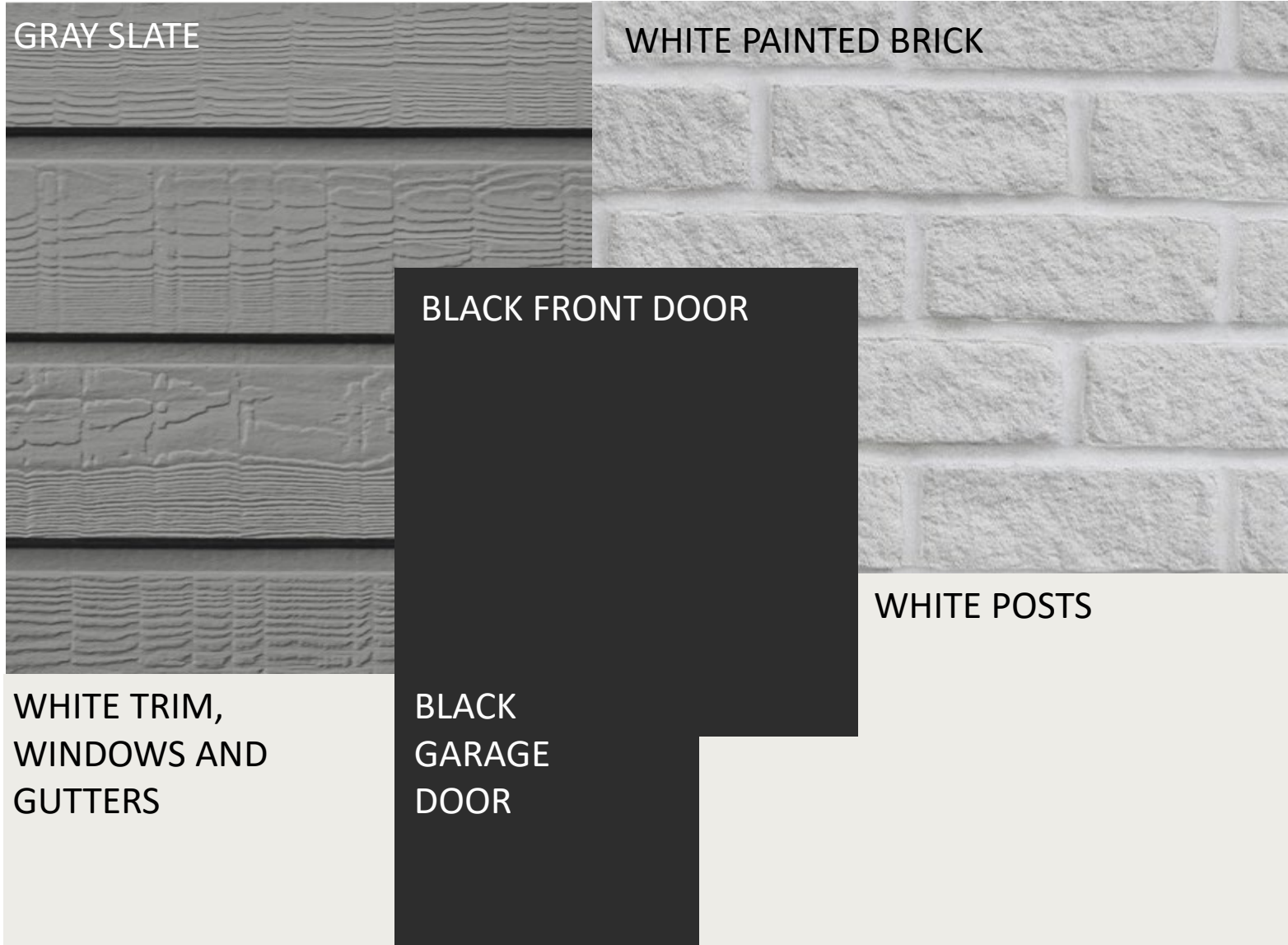


ACCENT DOOR OPTIONS

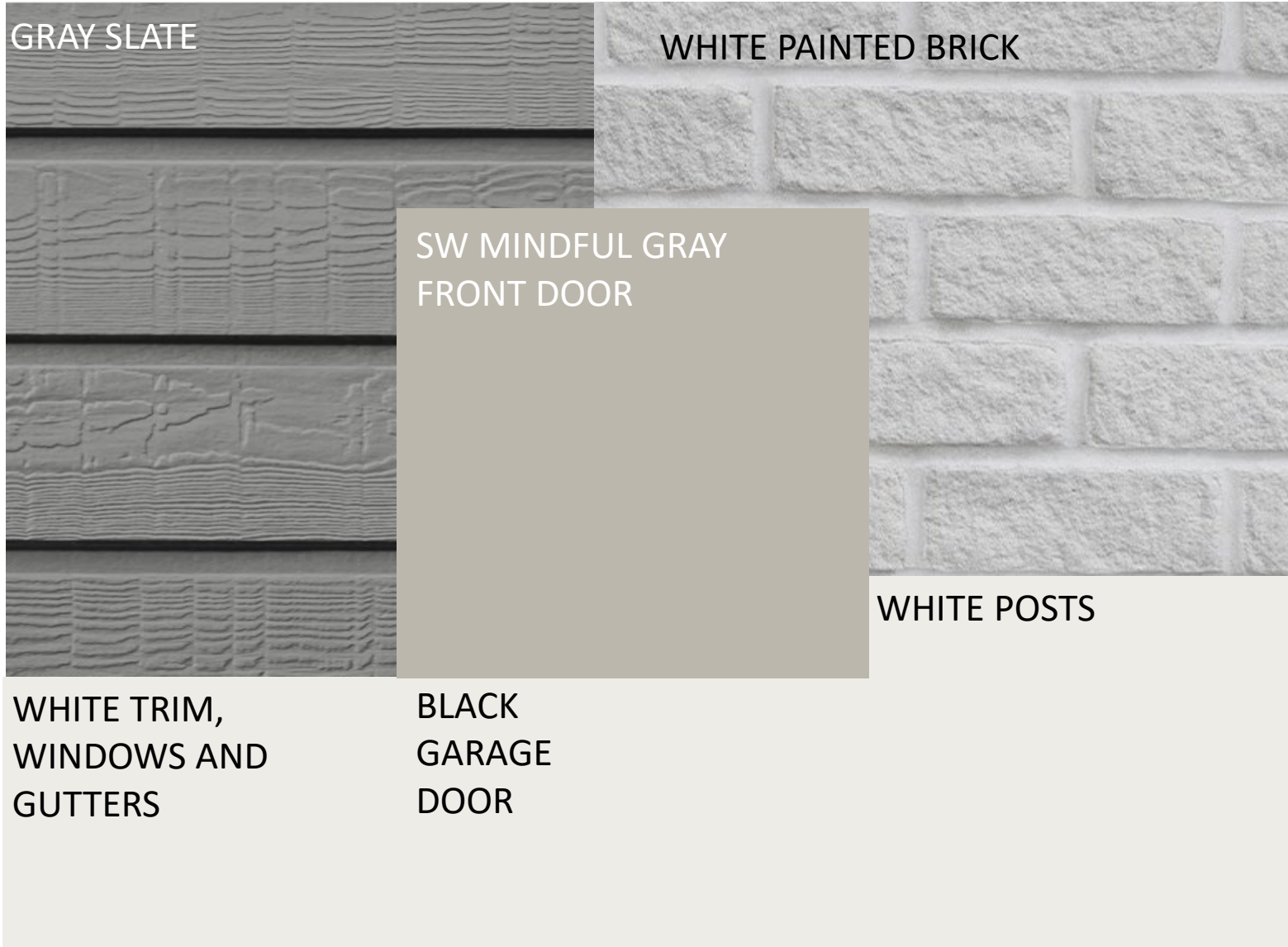
- SW DOWNING SLATE
- SW ROYCROFT PEWTER



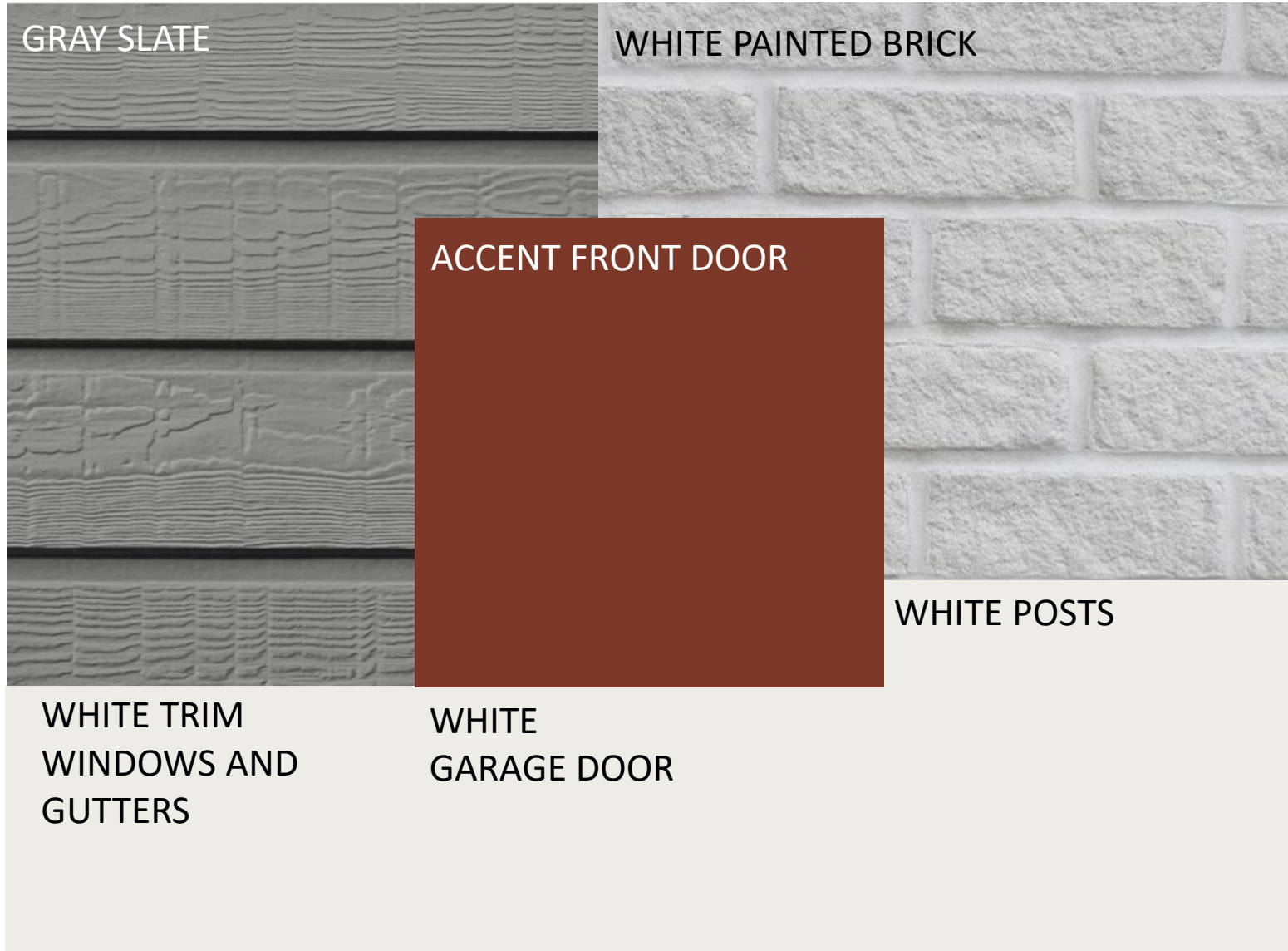
SCHEME 15



SCHEME 16

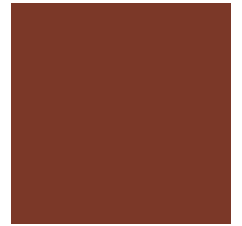


SCHEME 17

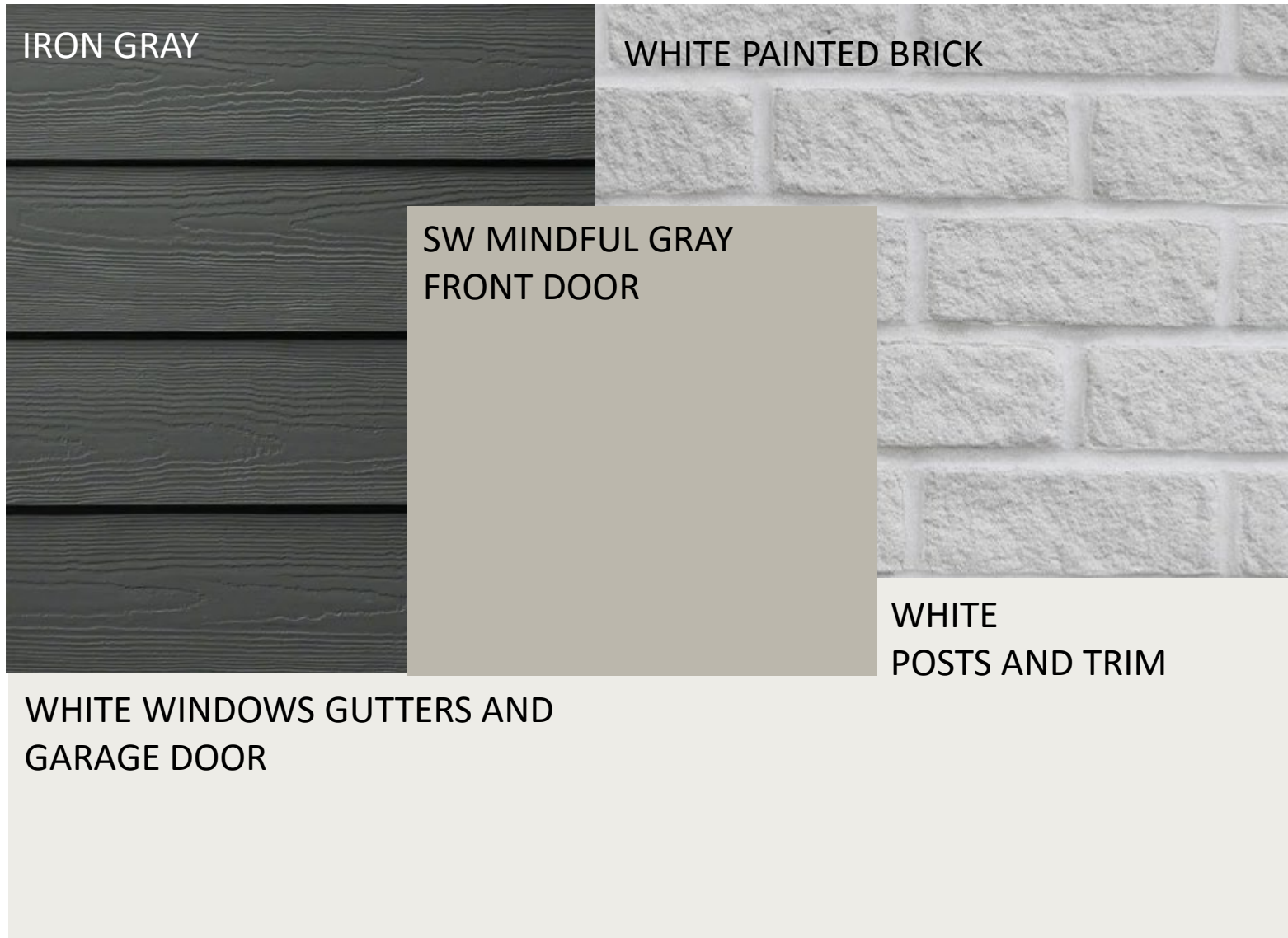


ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



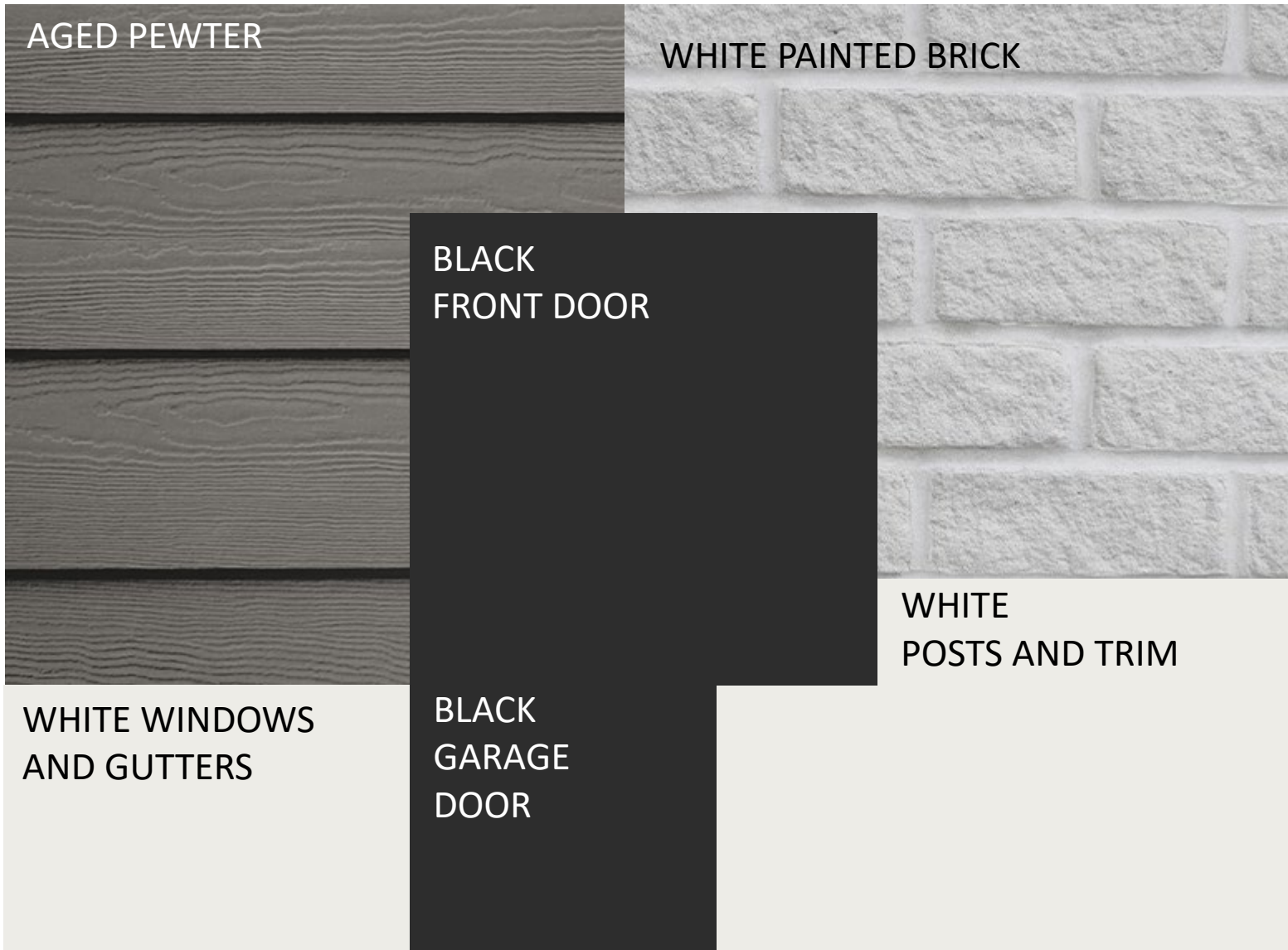
SCHEME 18



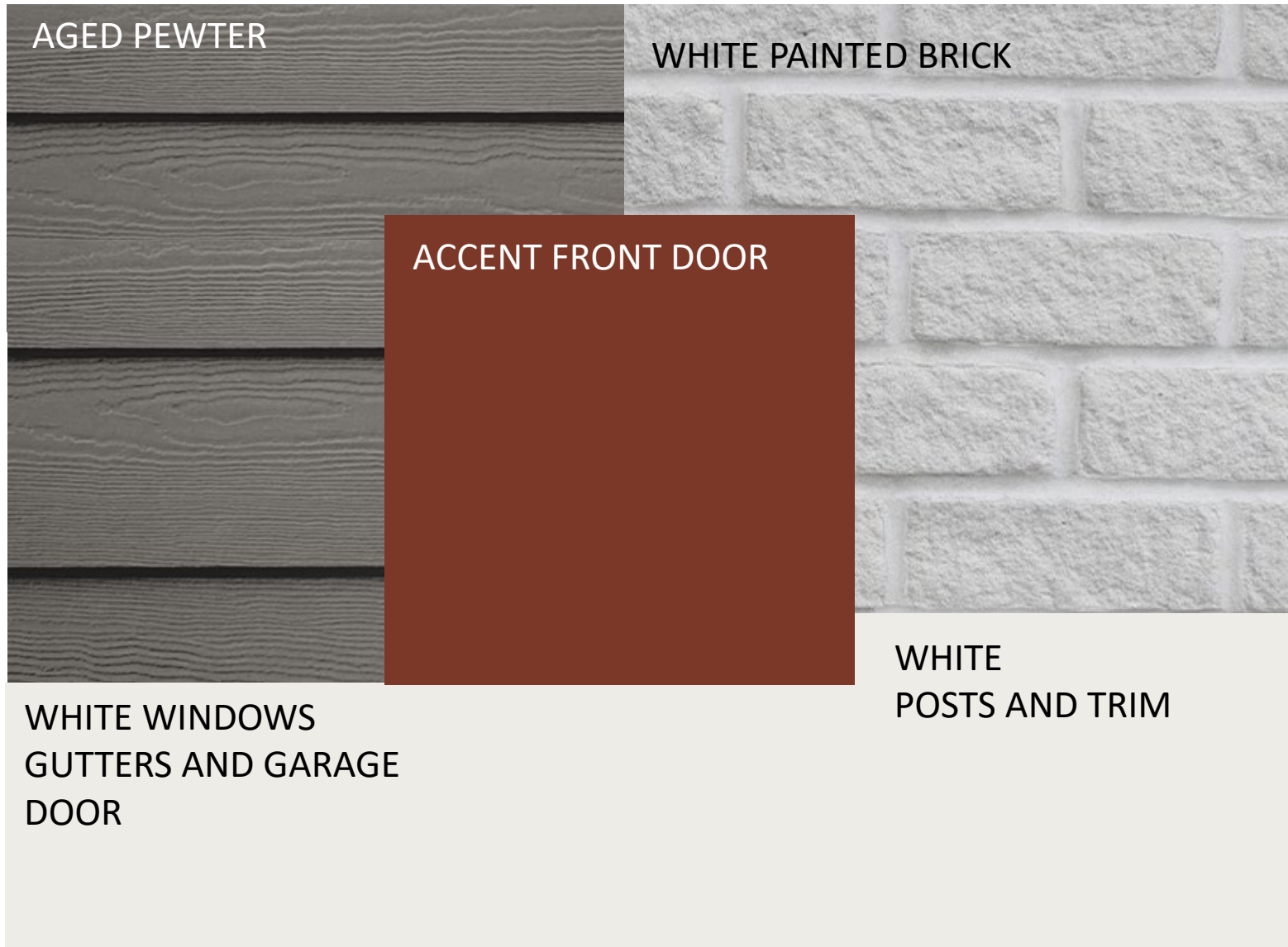
SCHEME 19



SCHEME 20



SCHEME 21



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



SCHEME 22



TIMBER BARK



WHITE PAINTED BRICK



SW PURE WHITE
FRONT DOOR

WHITE WINDOWS
GUTTERS

WHITE
POSTS AND TRIM

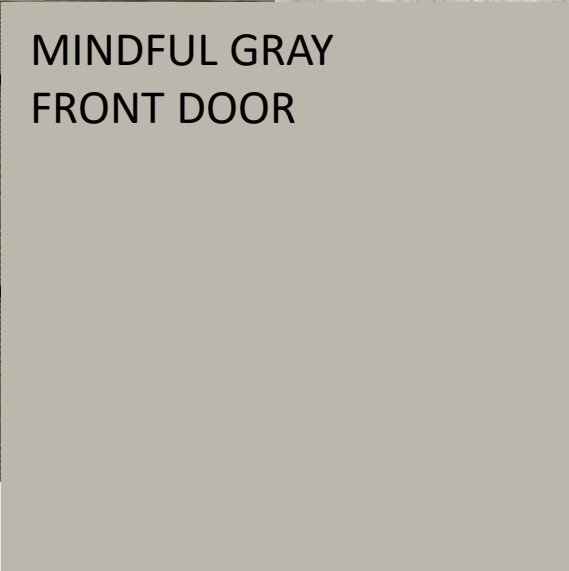
SCHEME 23



TIMBER BARK



WHITE PAINTED BRICK



MINDFUL GRAY
FRONT DOOR

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

WHITE
POSTS AND TRIM

SCHEME 24



TIMBER BARK

WHITE PAINTED BRICK

BRONZE
FRONT DOOR

WHITE WINDOWS
GUTTERS

BRONZE
GARAGE
DOOR

WHITE
POSTS AND TRIM

SCHEME 25



SCHEME 26

HEATHERED MOSS

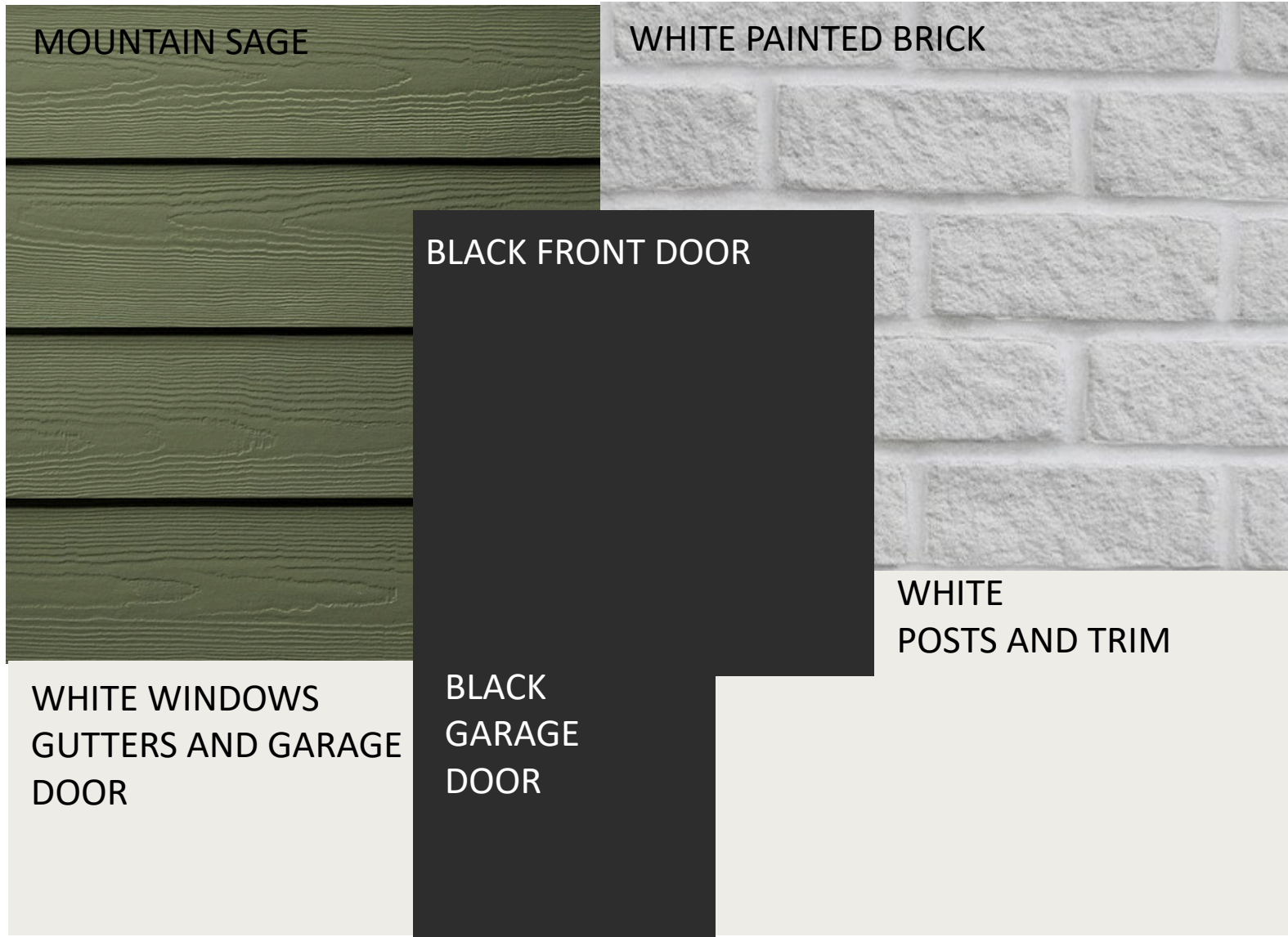
WHITE PAINTED BRICK

WHITE FRONT DOOR

WHITE WINDOWS
GUTTERS

WHITE
POSTS AND TRIM

SCHEME 27

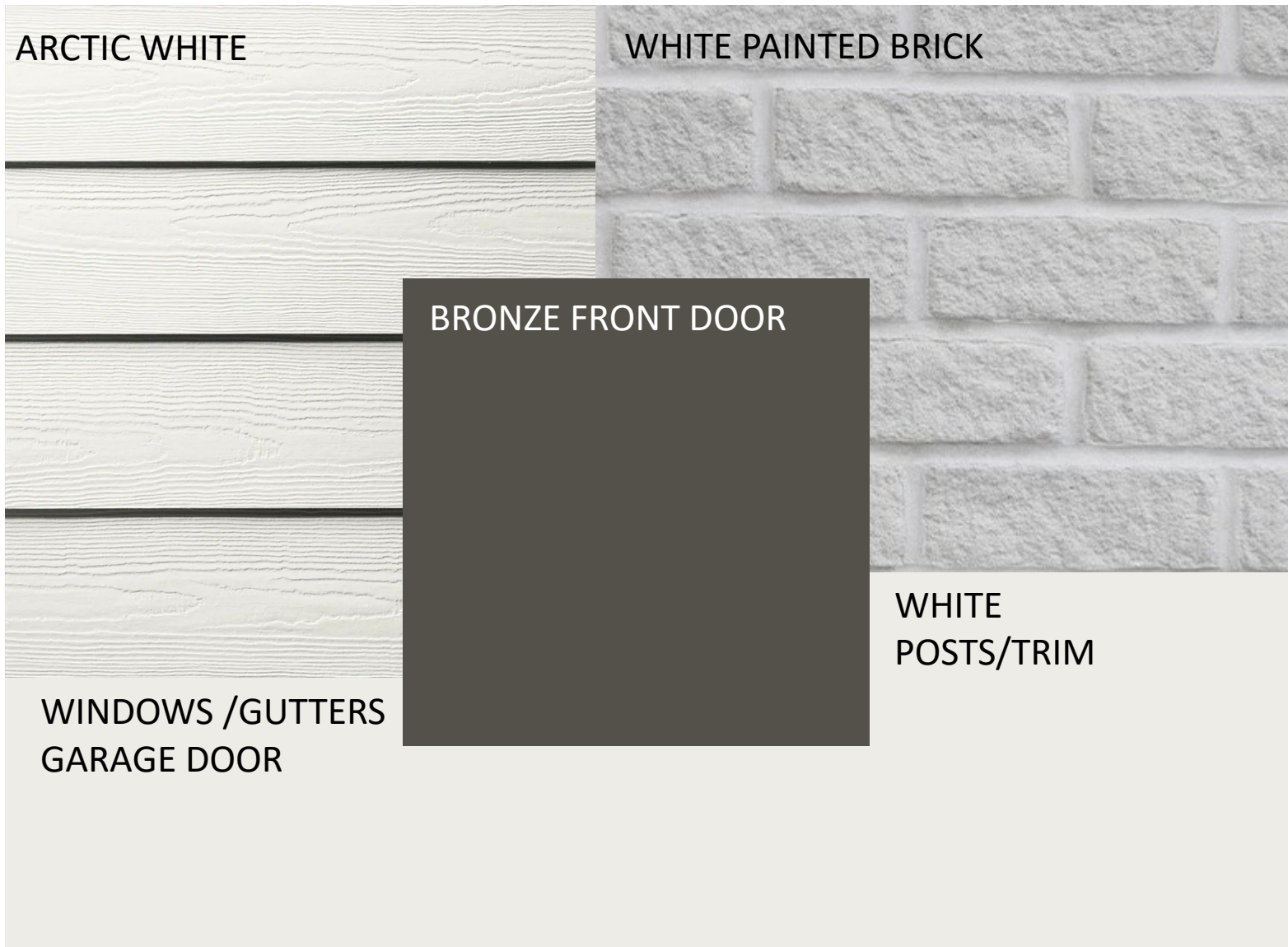


SCHEME 28

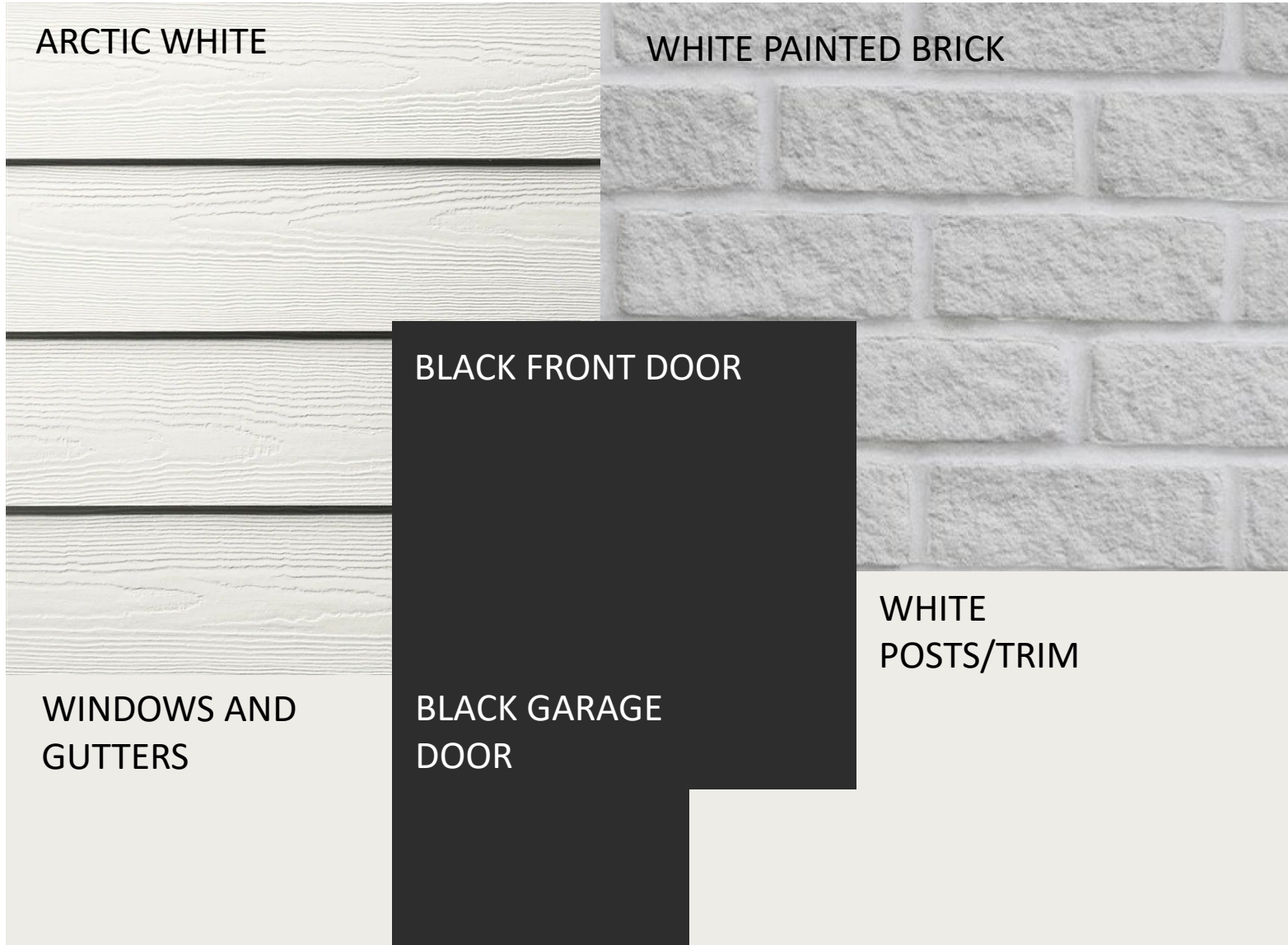


PLAN 3

SCHEME 1



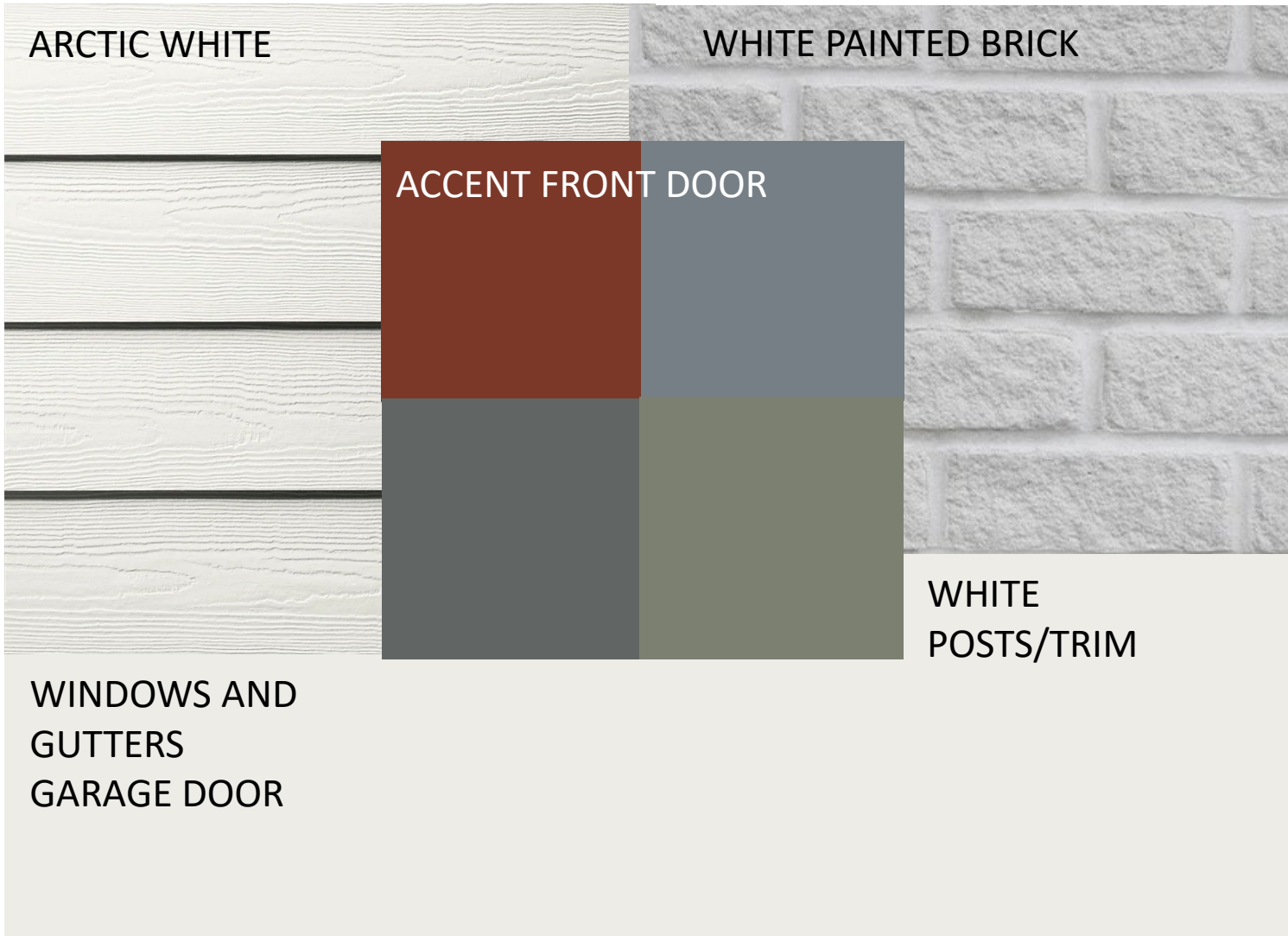
SCHEME 2



SCHEME 3

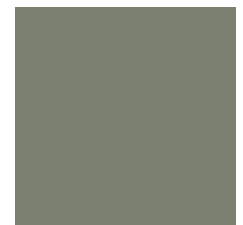
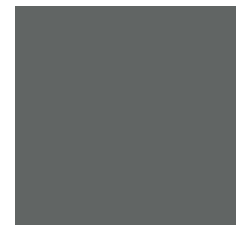
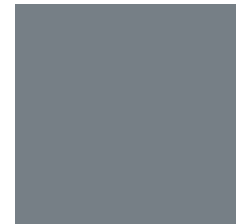


SCHEME 4

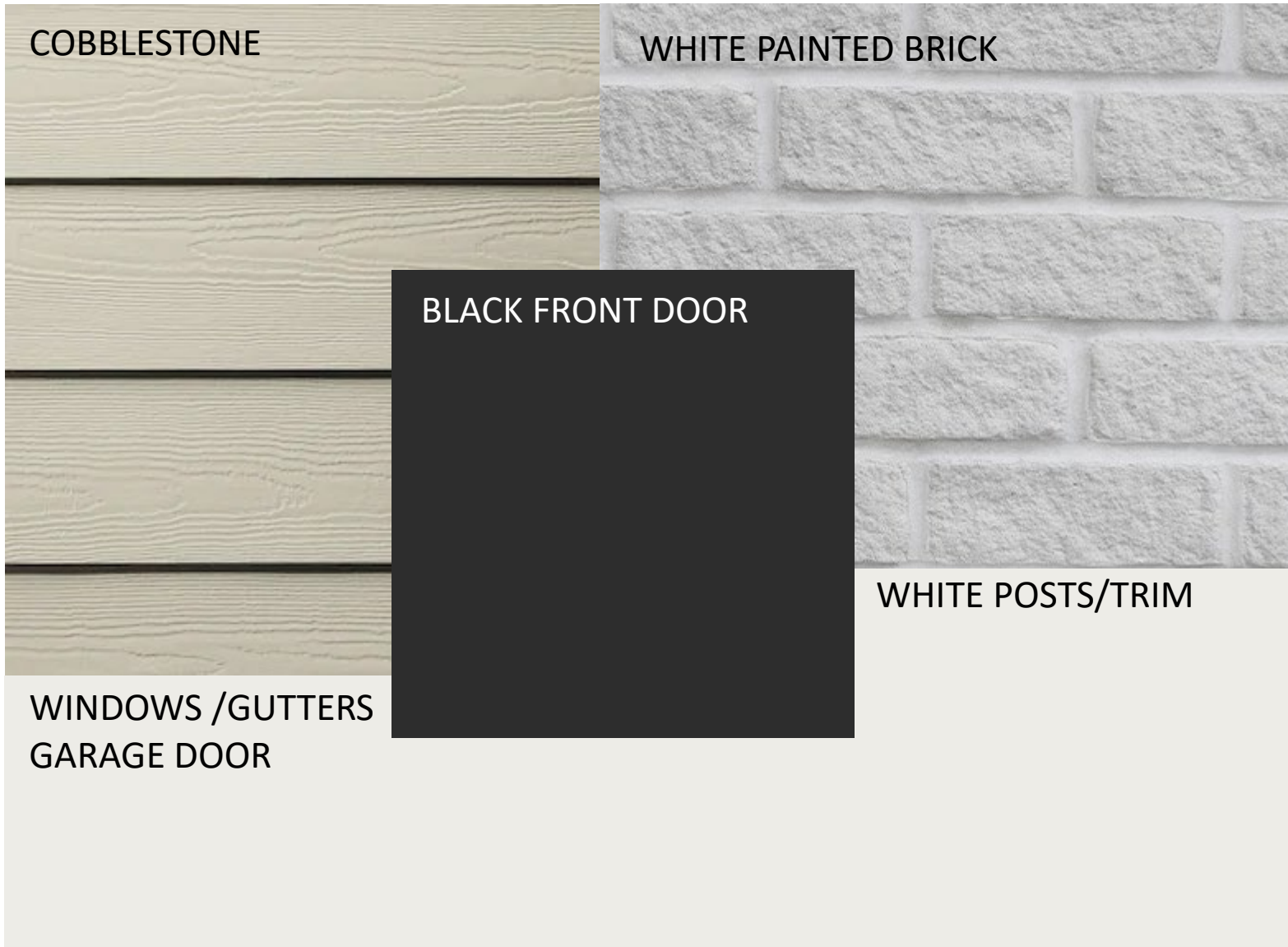


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME

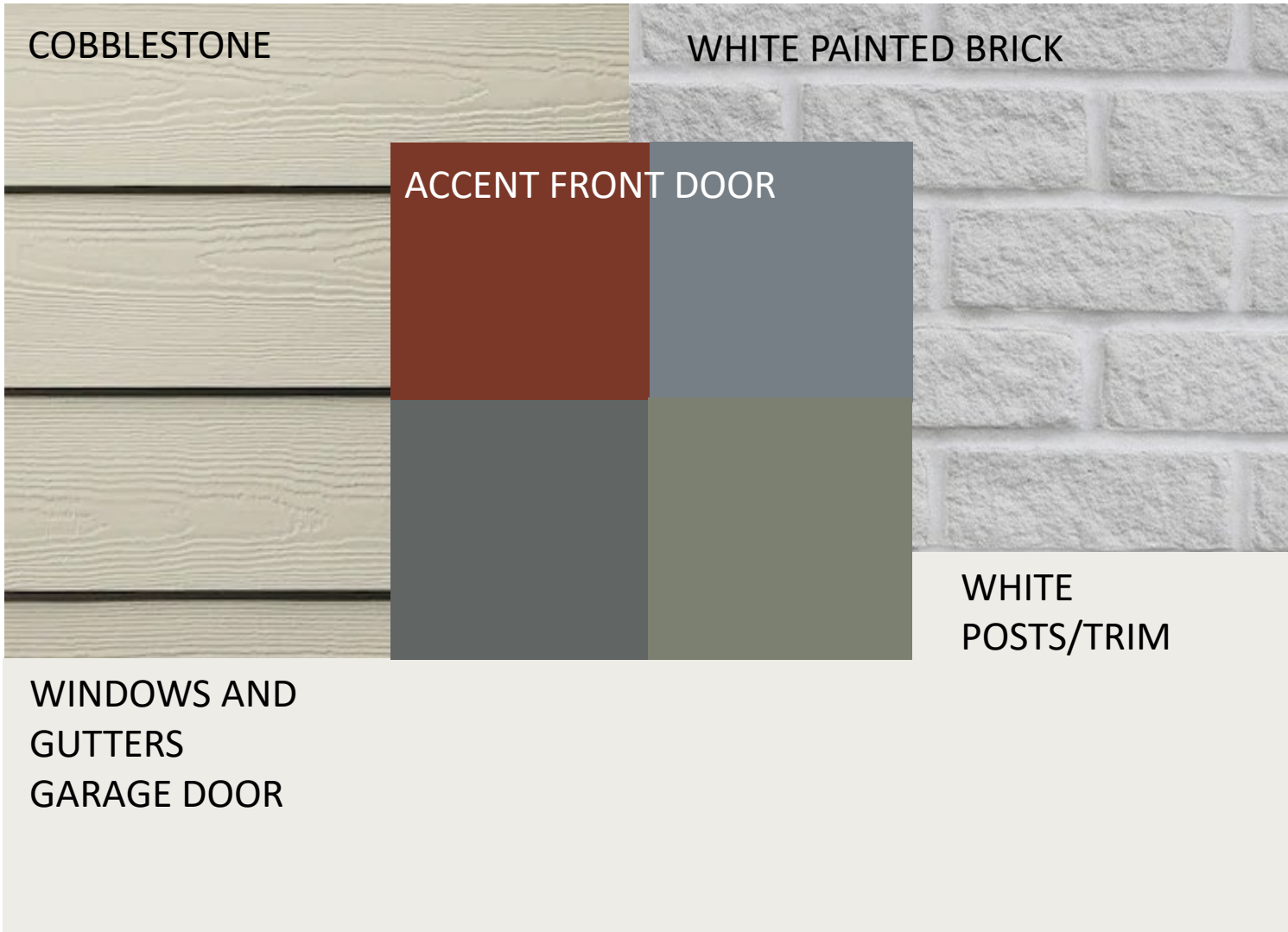


SCHEME 5



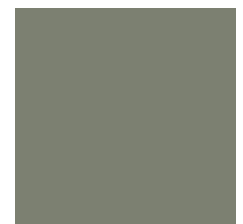
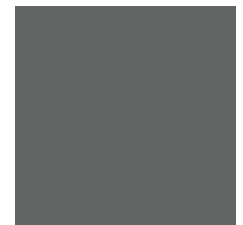
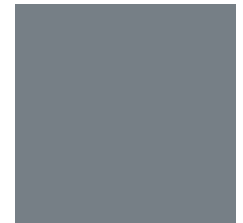
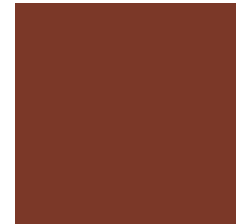
*Exterior color package may not be available depending on selections for neighboring lots

SCHEME 6



ACCENT DOOR OPTIONS

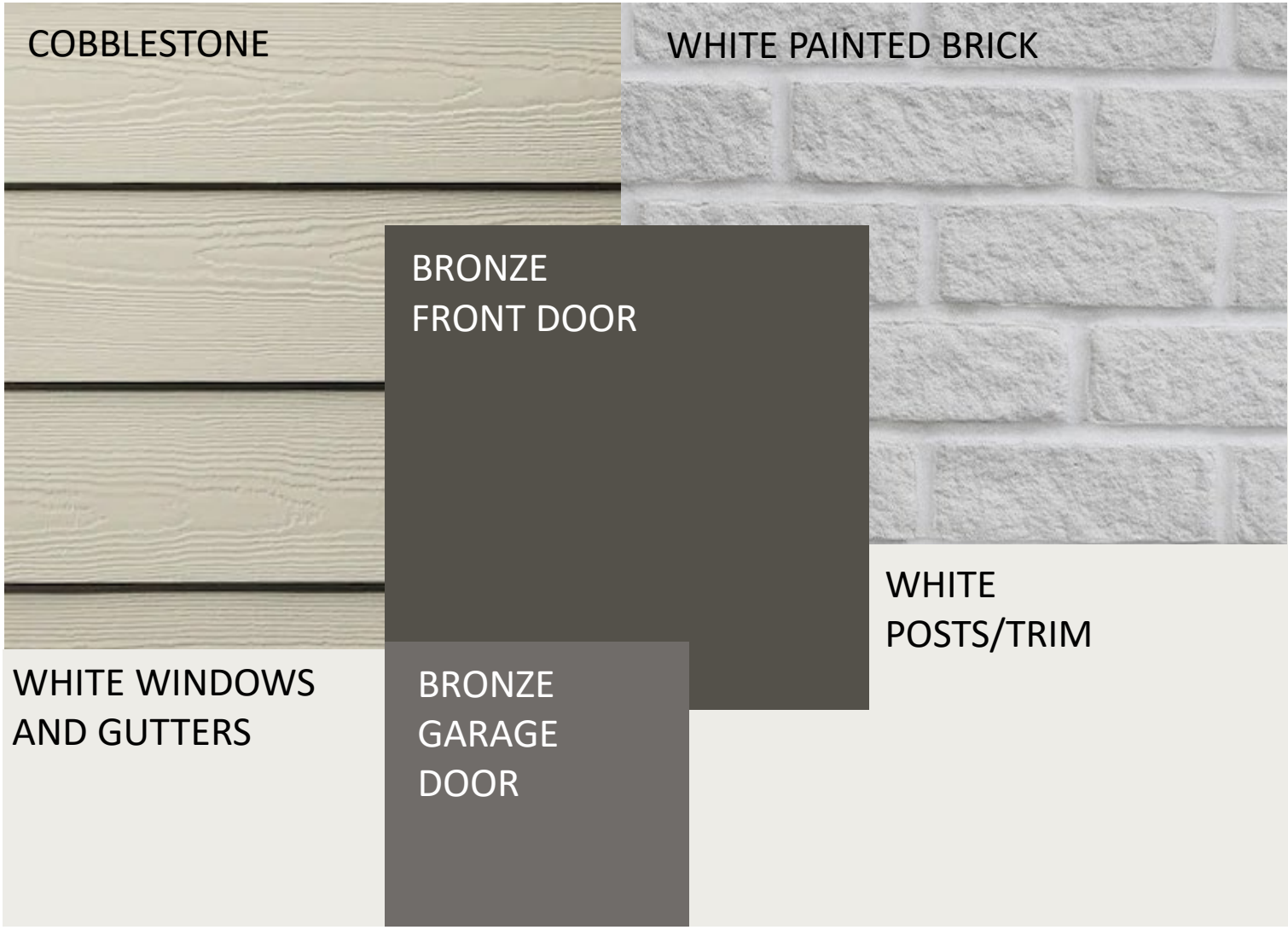
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 7



SCHEME 8



ACCENT FRONT DOOR
• SW DRIED THYME



SCHEME 9



SCHEME 10

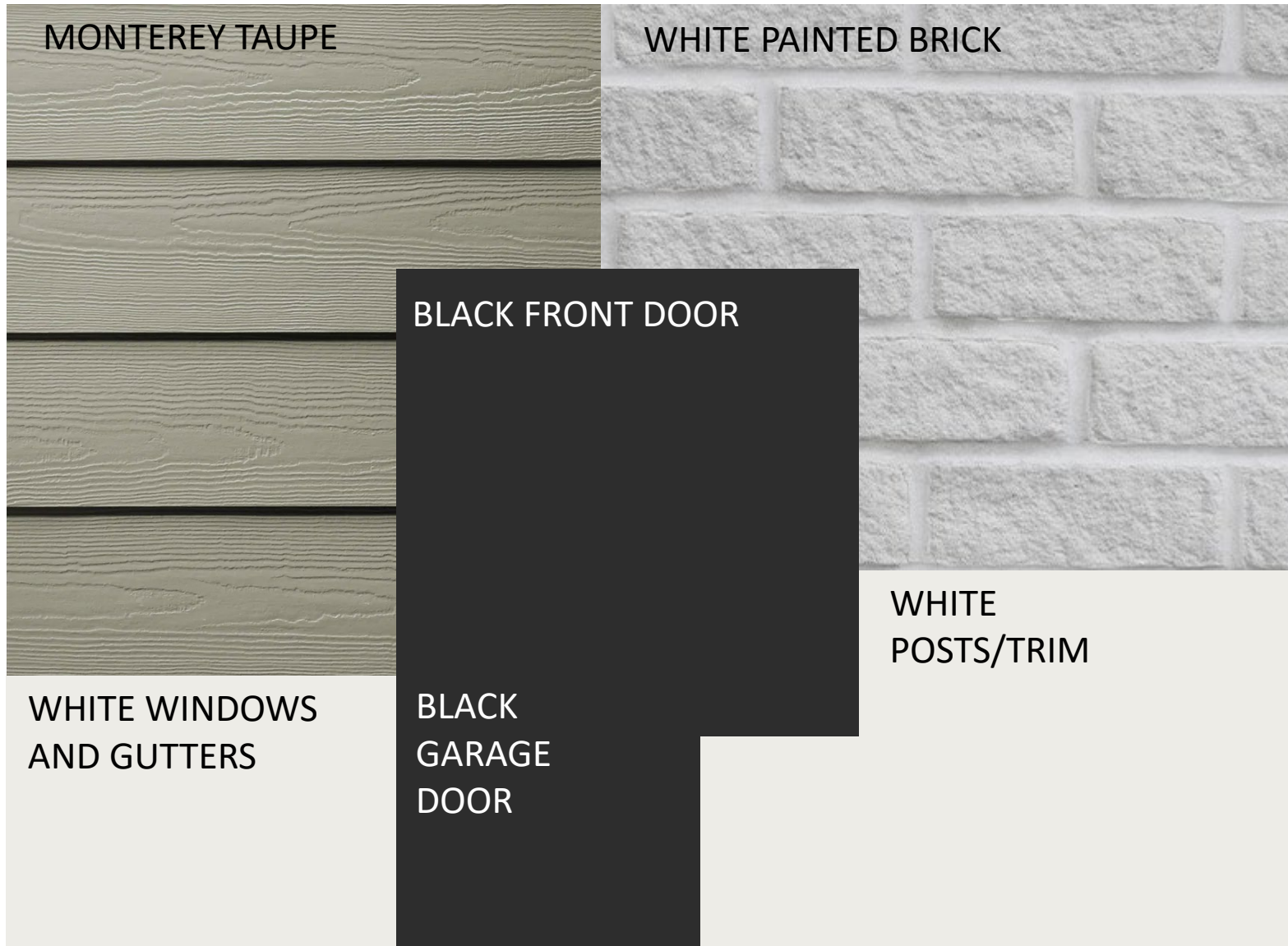


ACCENT DOOR OPTIONS

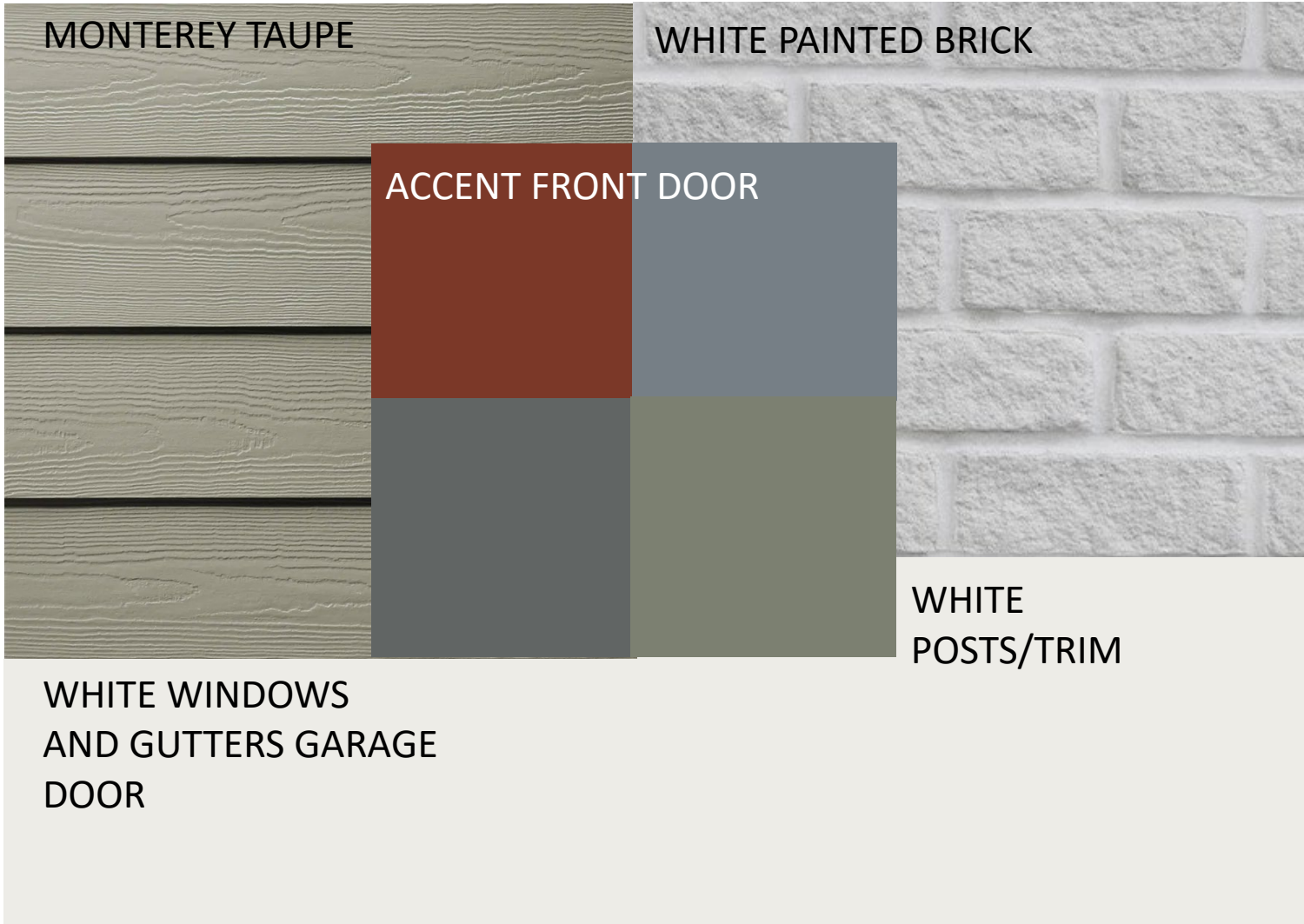
- SW DRIED THYME



SCHEME 11

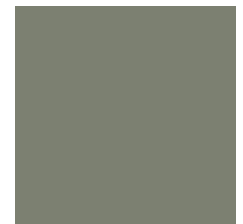
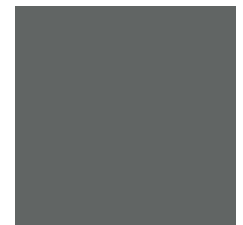
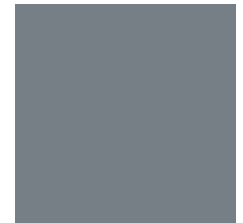
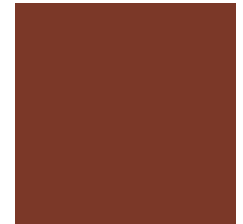


SCHEME 12

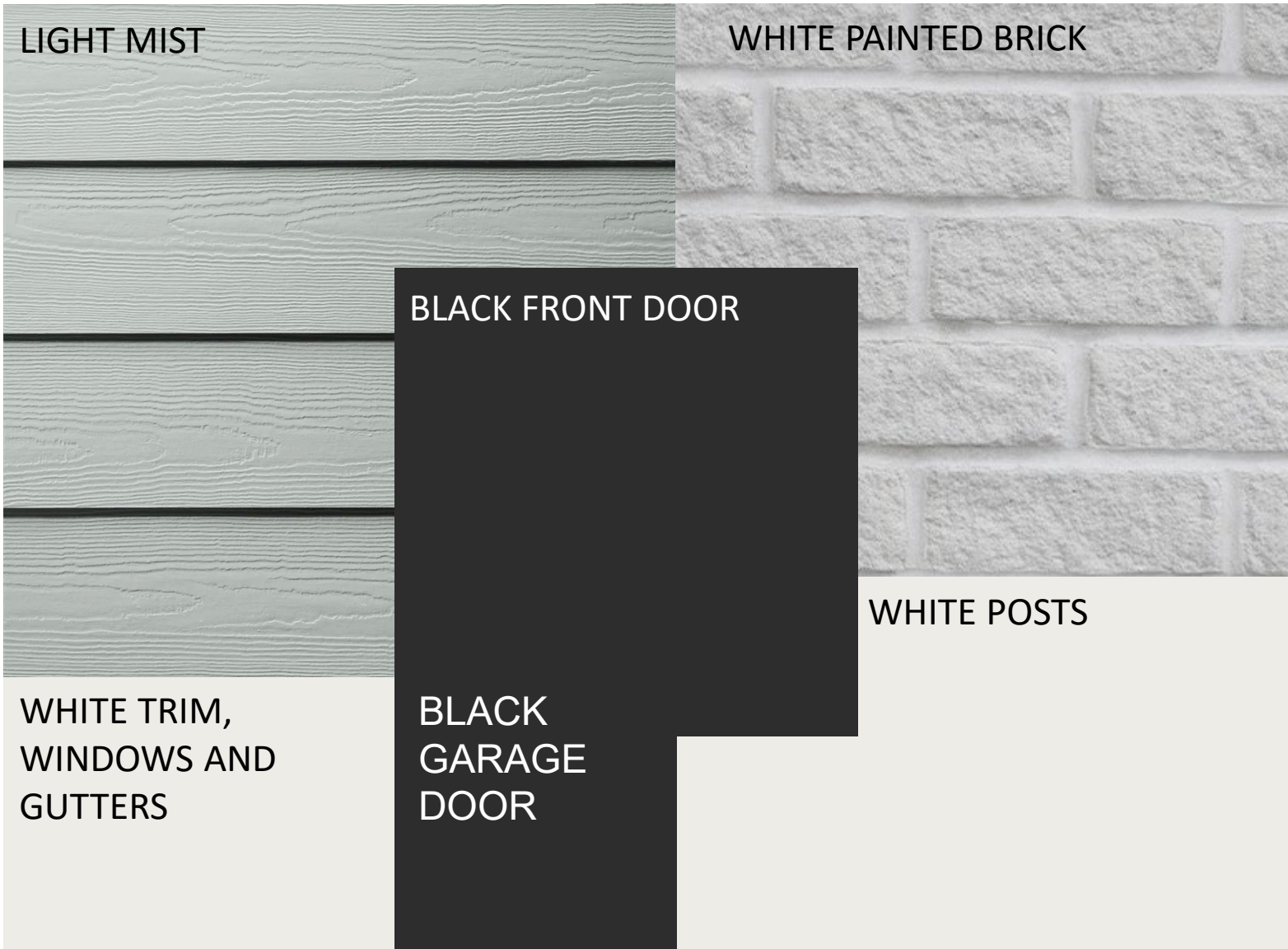


ACCENT DOOR OPTIONS

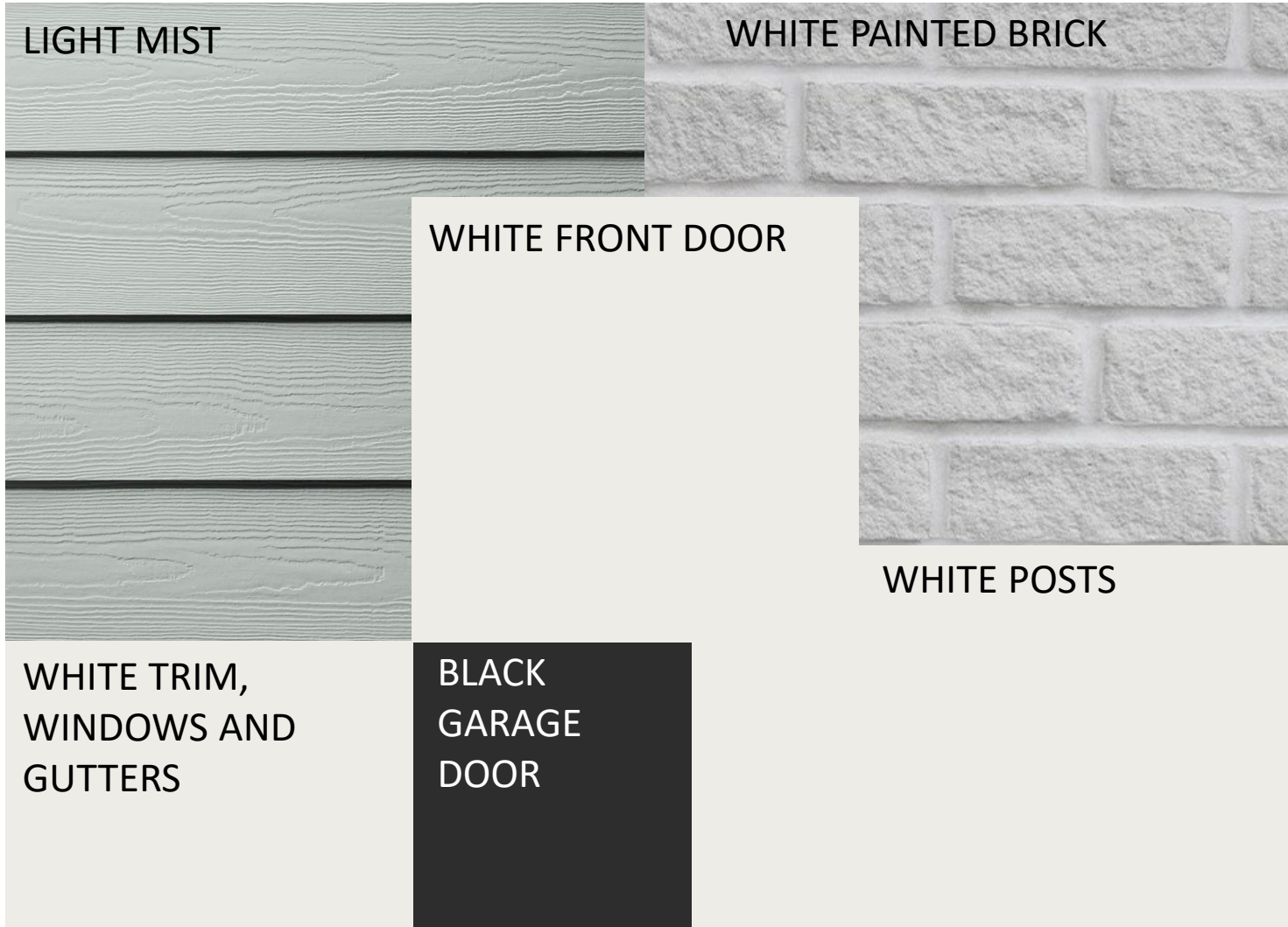
- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13



SCHEME 14



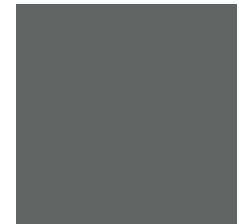
*LIKELY NOT APPLICABLE IF AROUND DOOR IS PAINTED WHITE BRICK

SCHEME 15

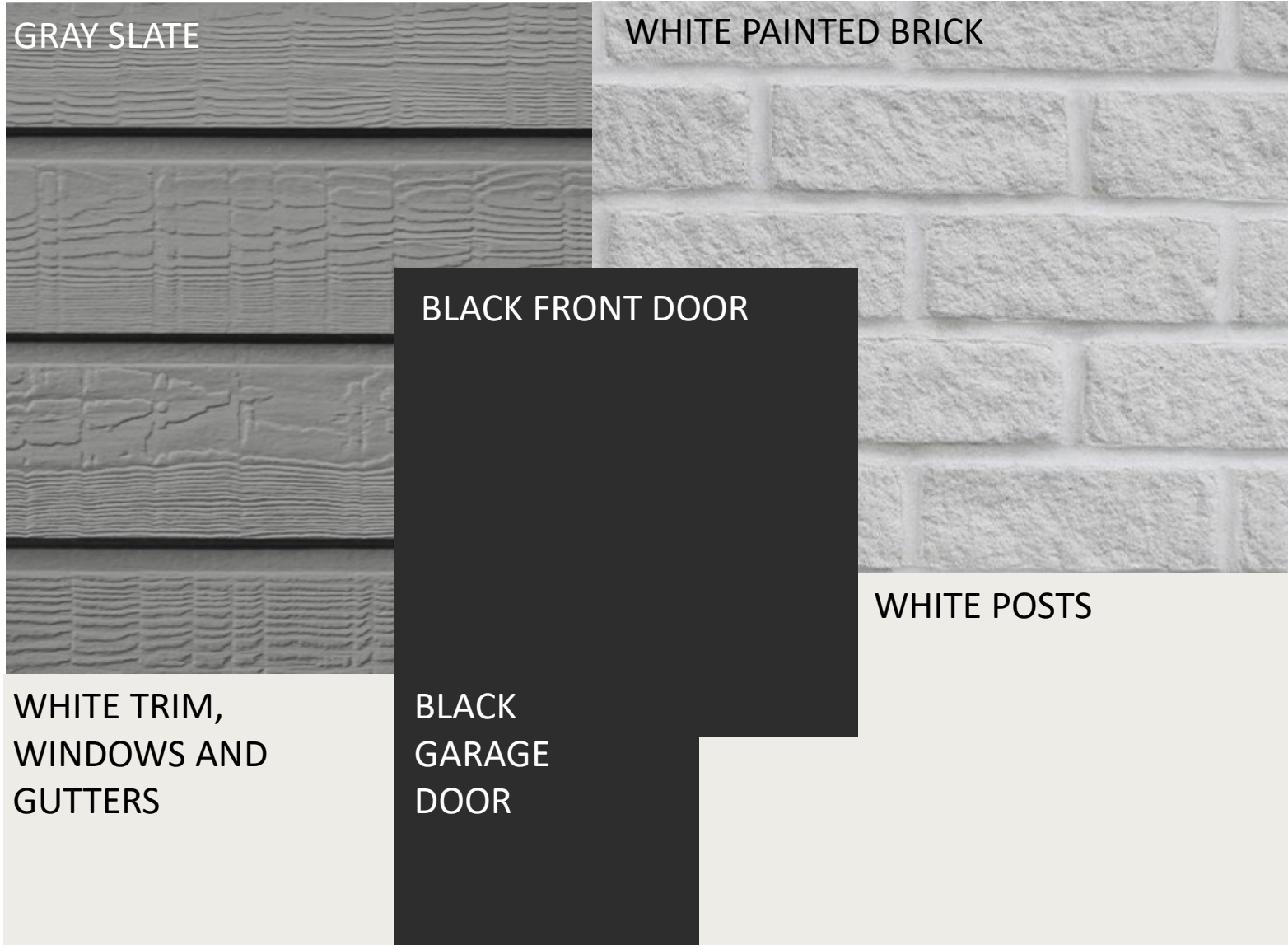


ACCENT DOOR OPTIONS

- SW DOWNING SLATE
- SW ROYCROFT PEWTER



SCHEME 16



SCHEME 17



SCHEME 18

GRAY SLATE

WHITE PAINTED BRICK

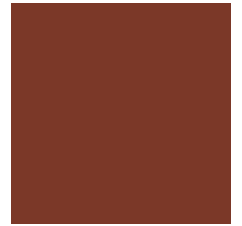
ACCENT FRONT DOOR

WHITE POSTS

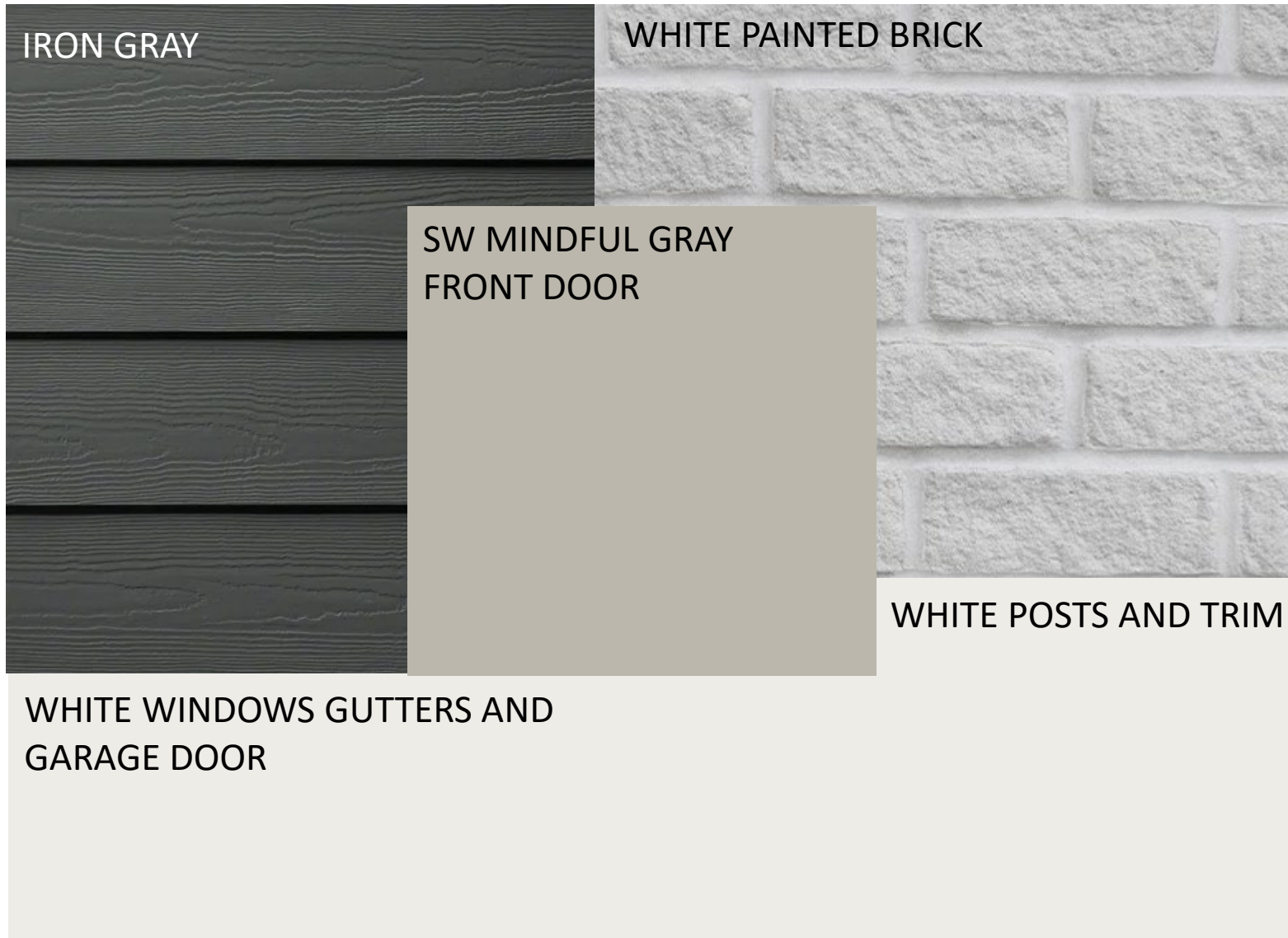
WHITE TRIM
WINDOWS AND
GUTTERS GARAGE
DOOR

ACCENT DOOR OPTIONS

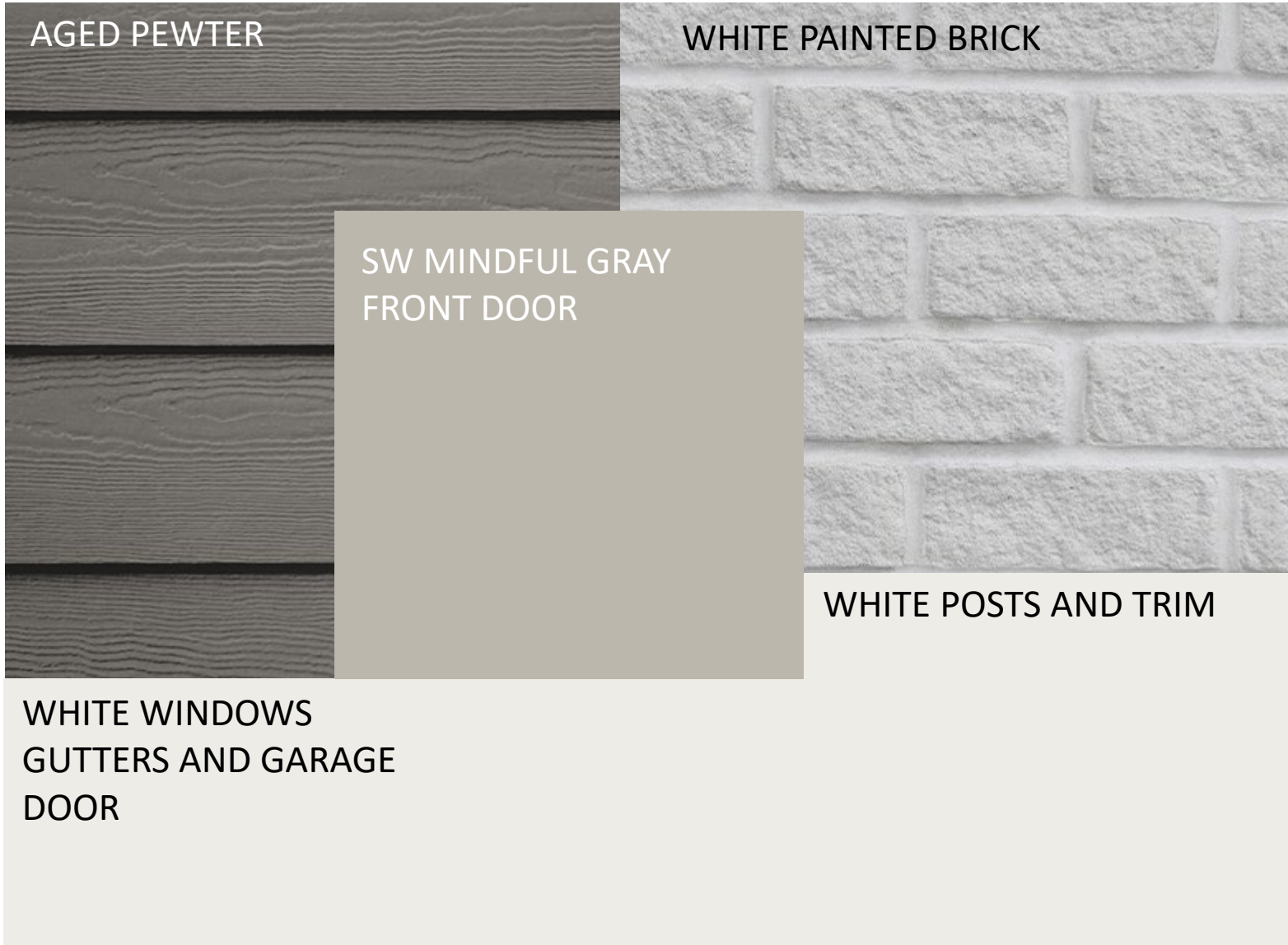
- SW ROYCROFT
COPPER RED



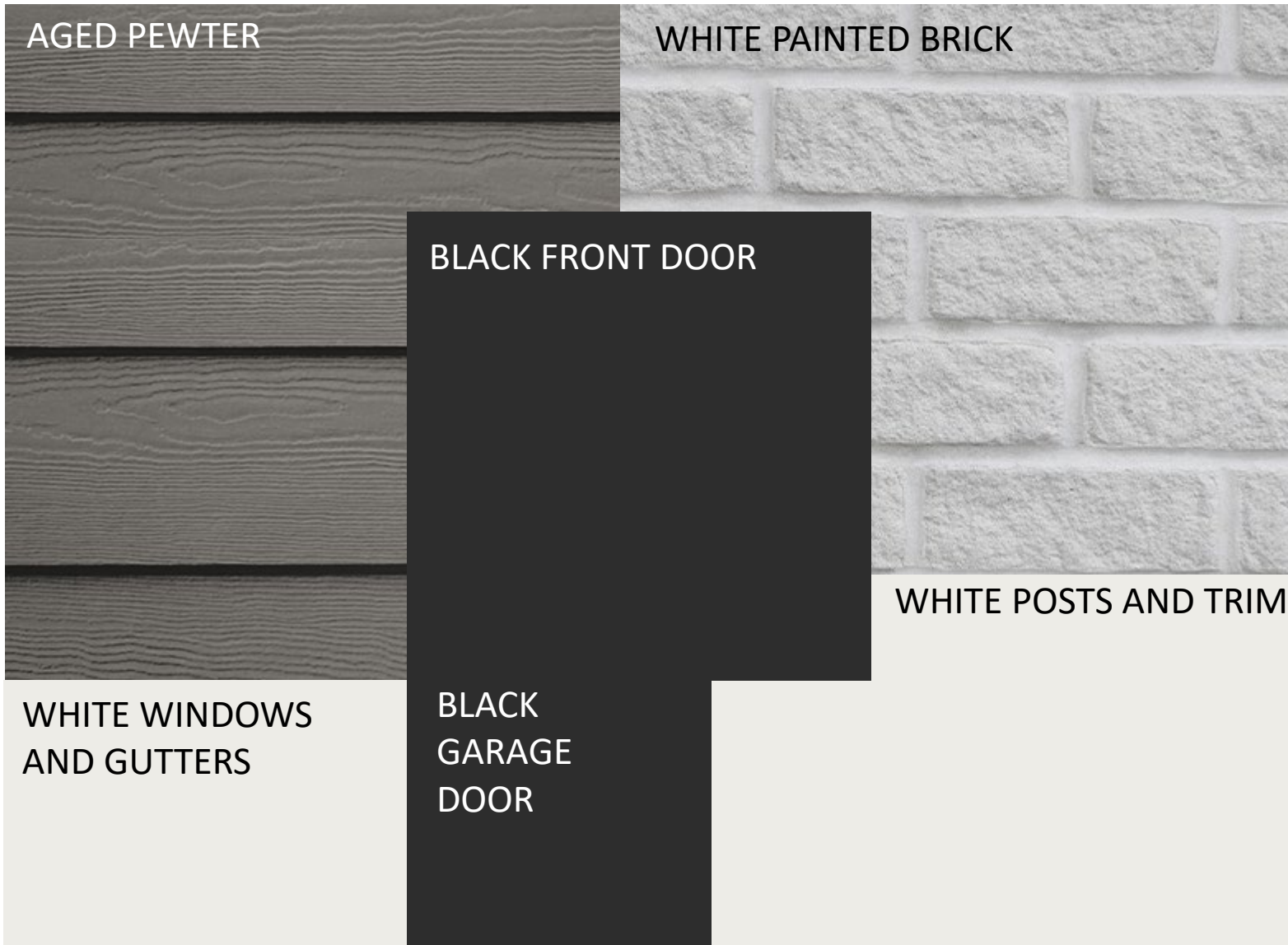
SCHEME 19



SCHEME 20



SCHEME 21

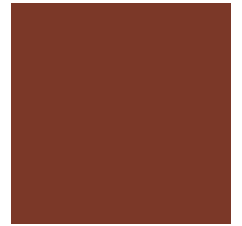


SCHEME 22



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



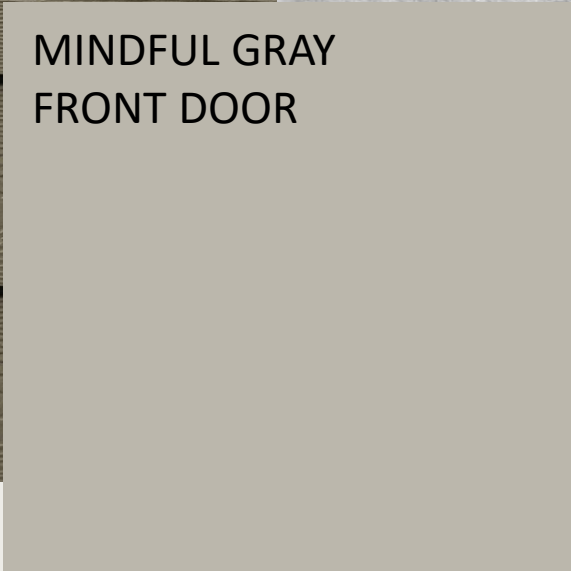
SCHEME 24



TIMBER BARK



WHITE PAINTED BRICK

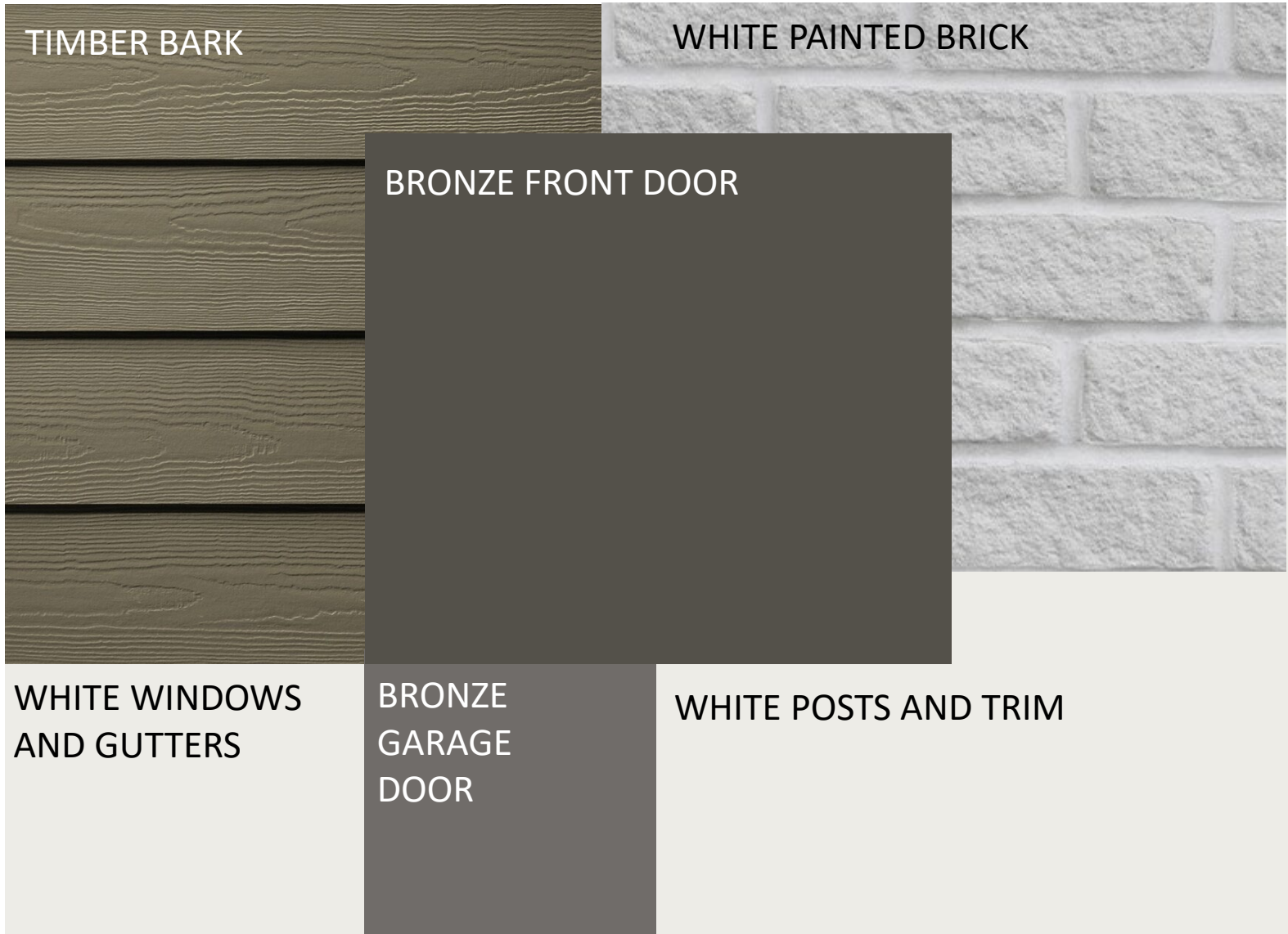


MINDFUL GRAY
FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

SCHEME 25



TIMBER BARK

WHITE PAINTED BRICK

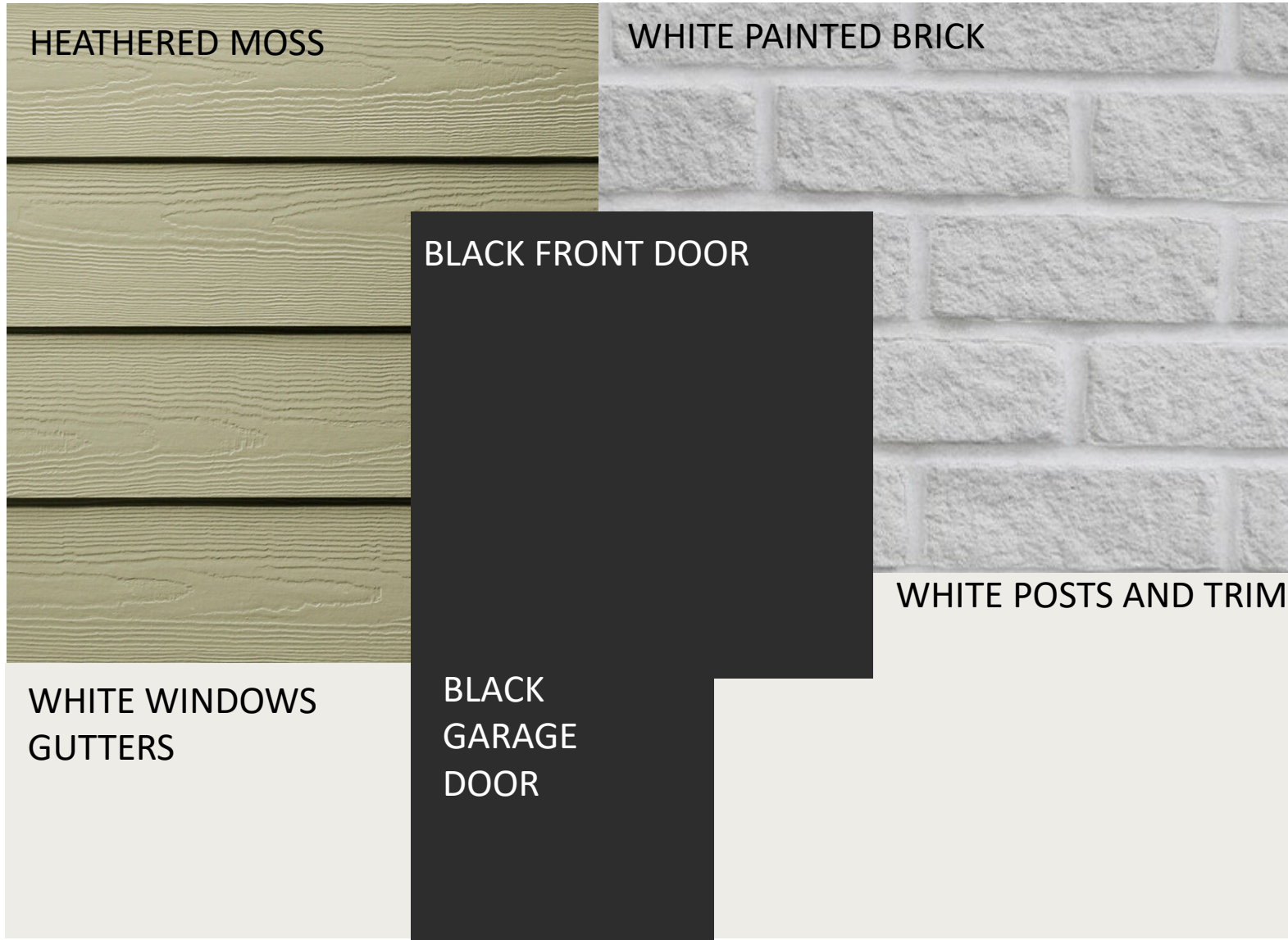
BRONZE FRONT DOOR

WHITE WINDOWS
AND GUTTERS

BRONZE
GARAGE
DOOR

WHITE POSTS AND TRIM

SCHEME 25



SCHEME 26

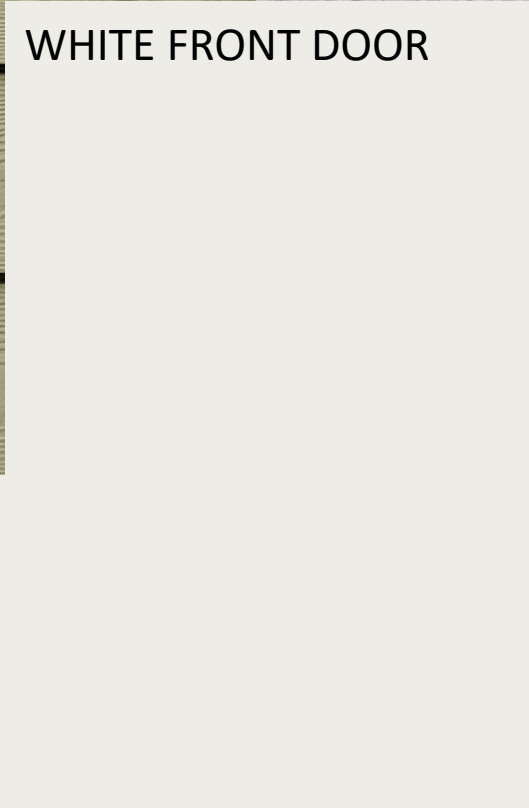
HEATHERED MOSS



WHITE PAINTED BRICK



WHITE FRONT DOOR



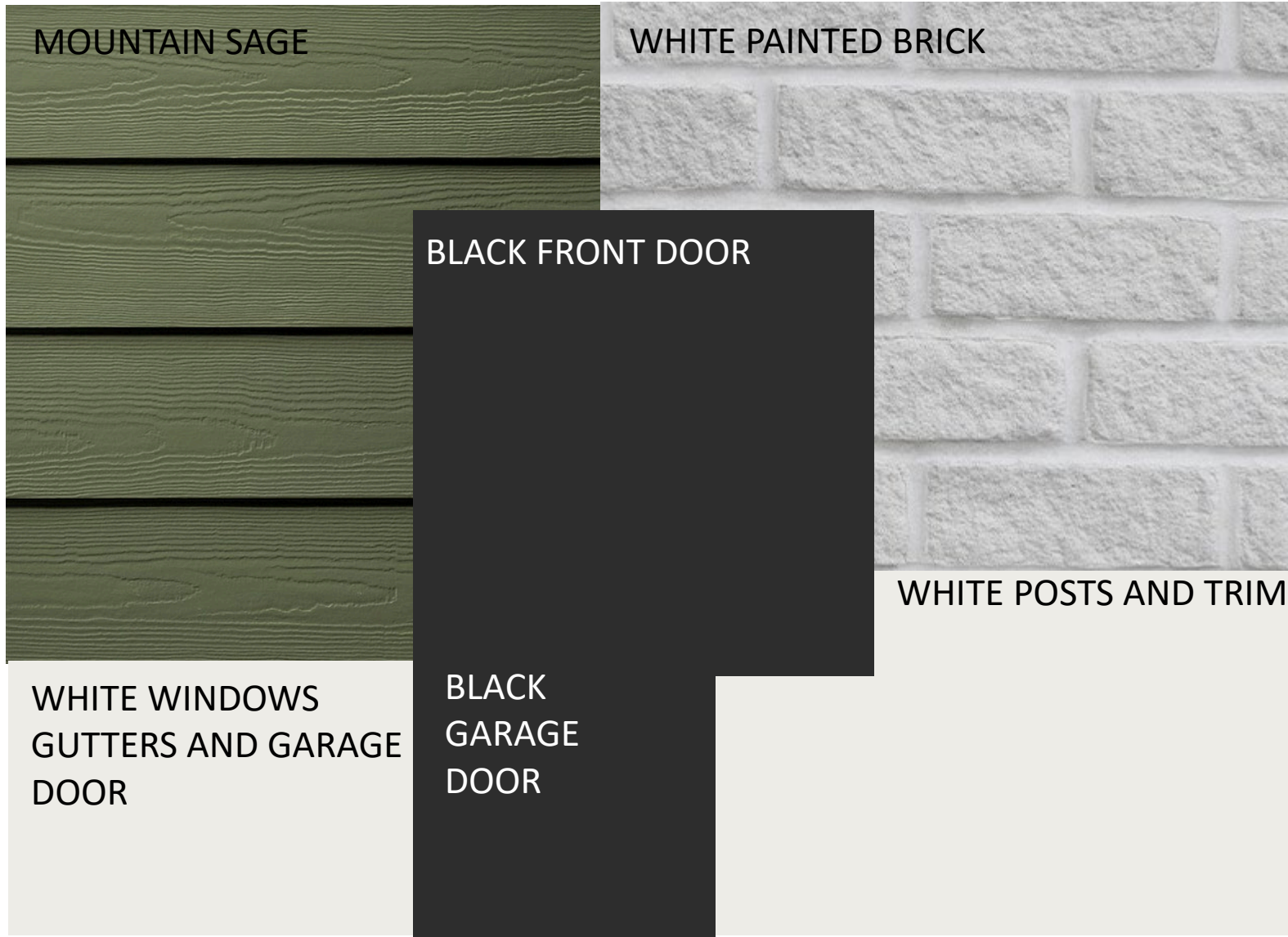
WHITE POSTS AND TRIM



WHITE WINDOWS
GUTTERS



SCHEME 27

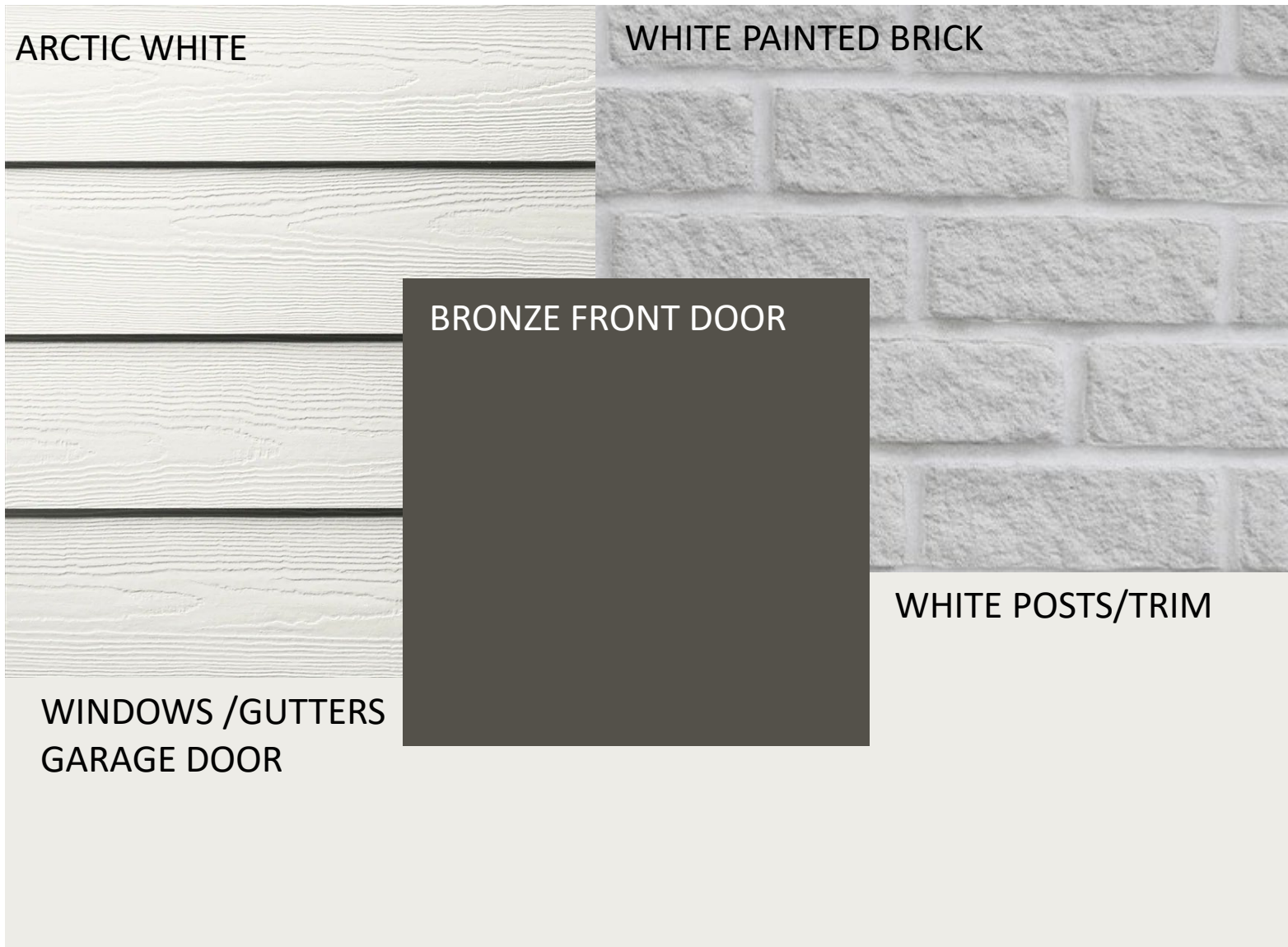


SCHEME 28

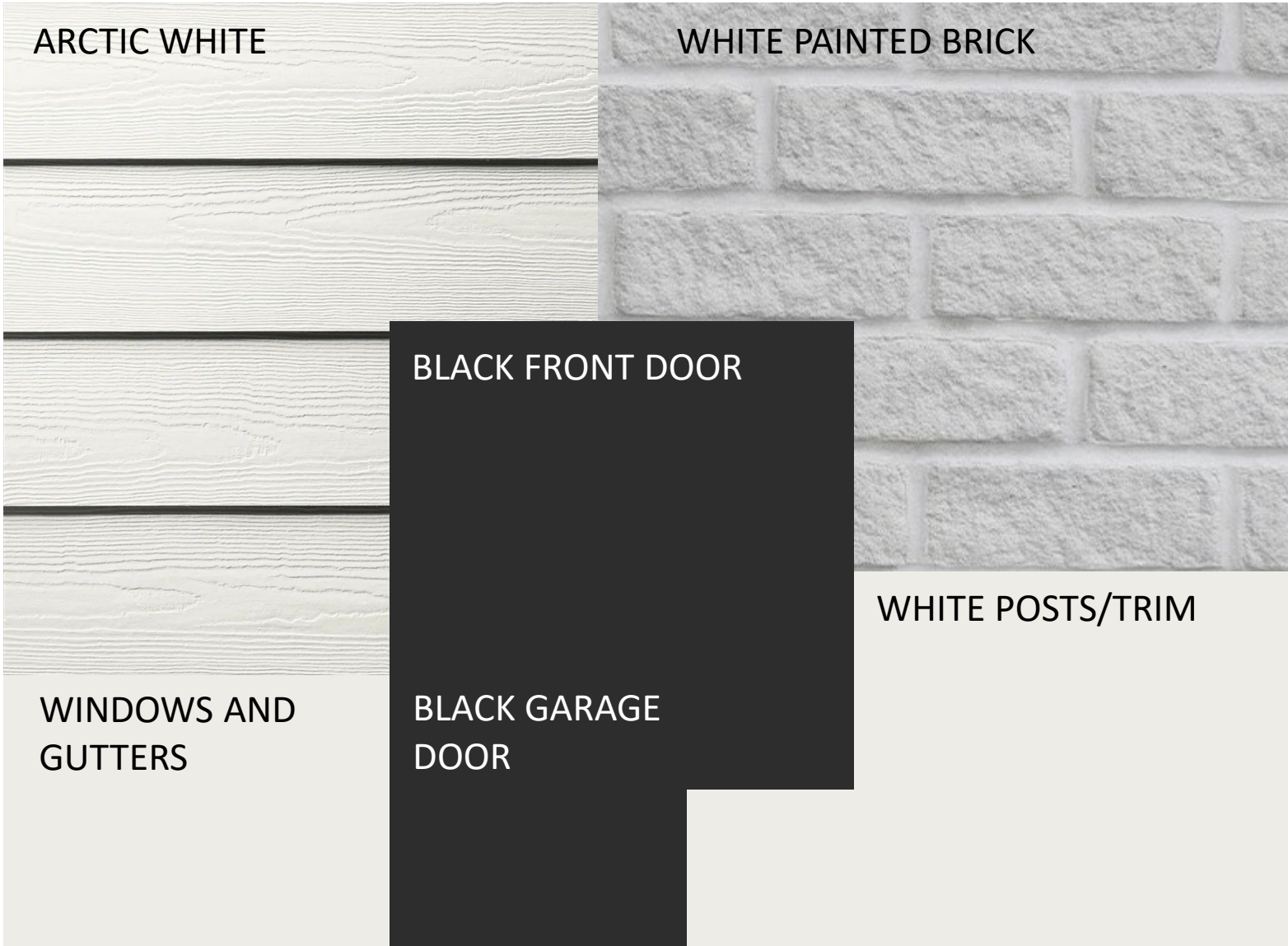


PLAN 2B

SCHEME 1



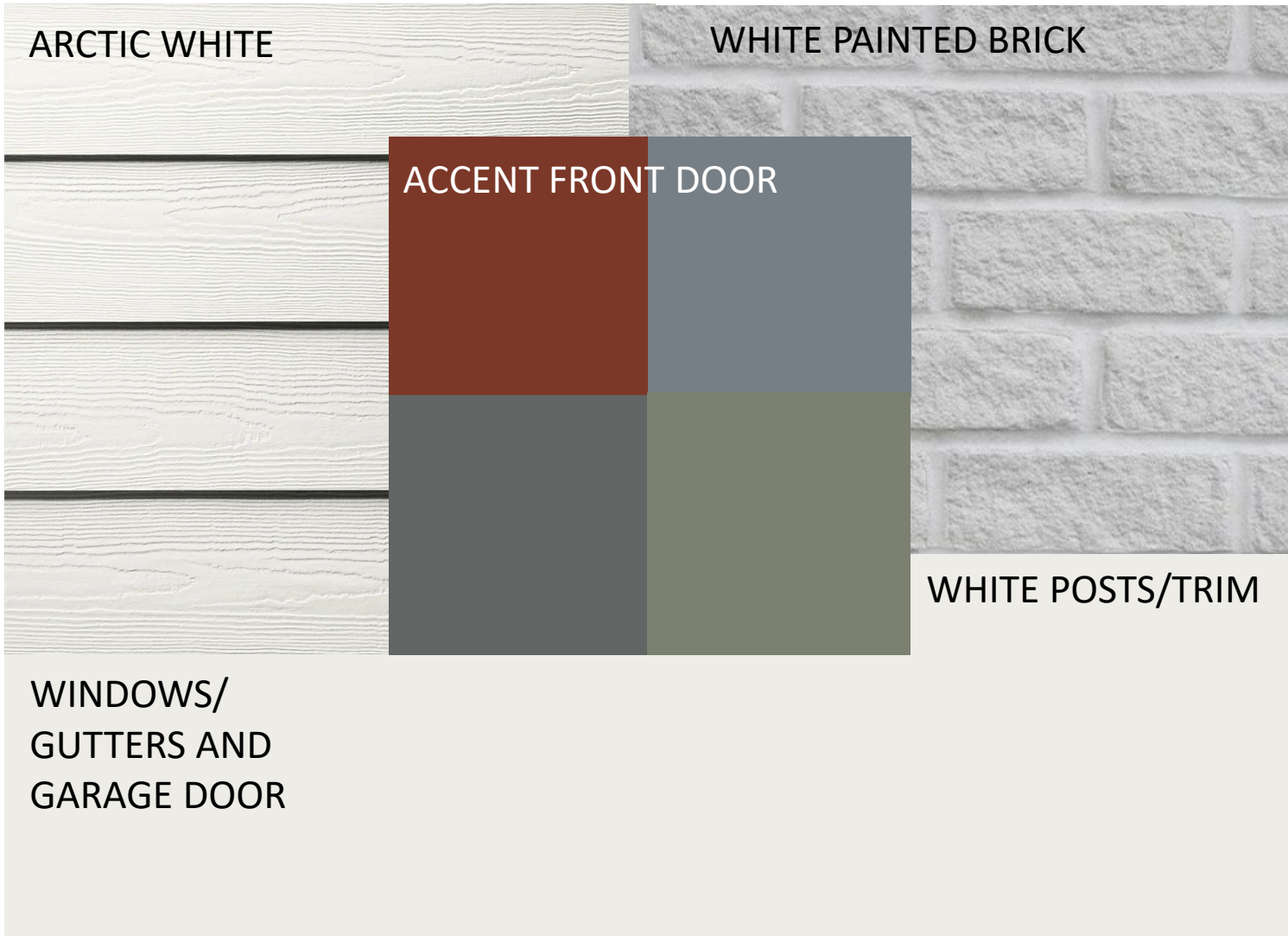
SCHEME 2



SCHEME 3

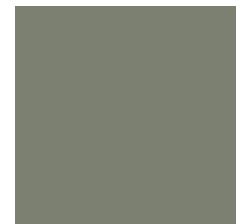
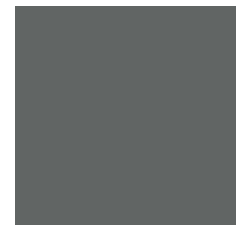
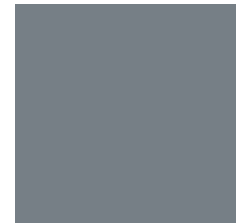
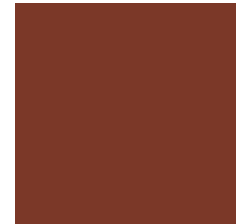


SCHEME 4



ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 5

COBBLESTONE

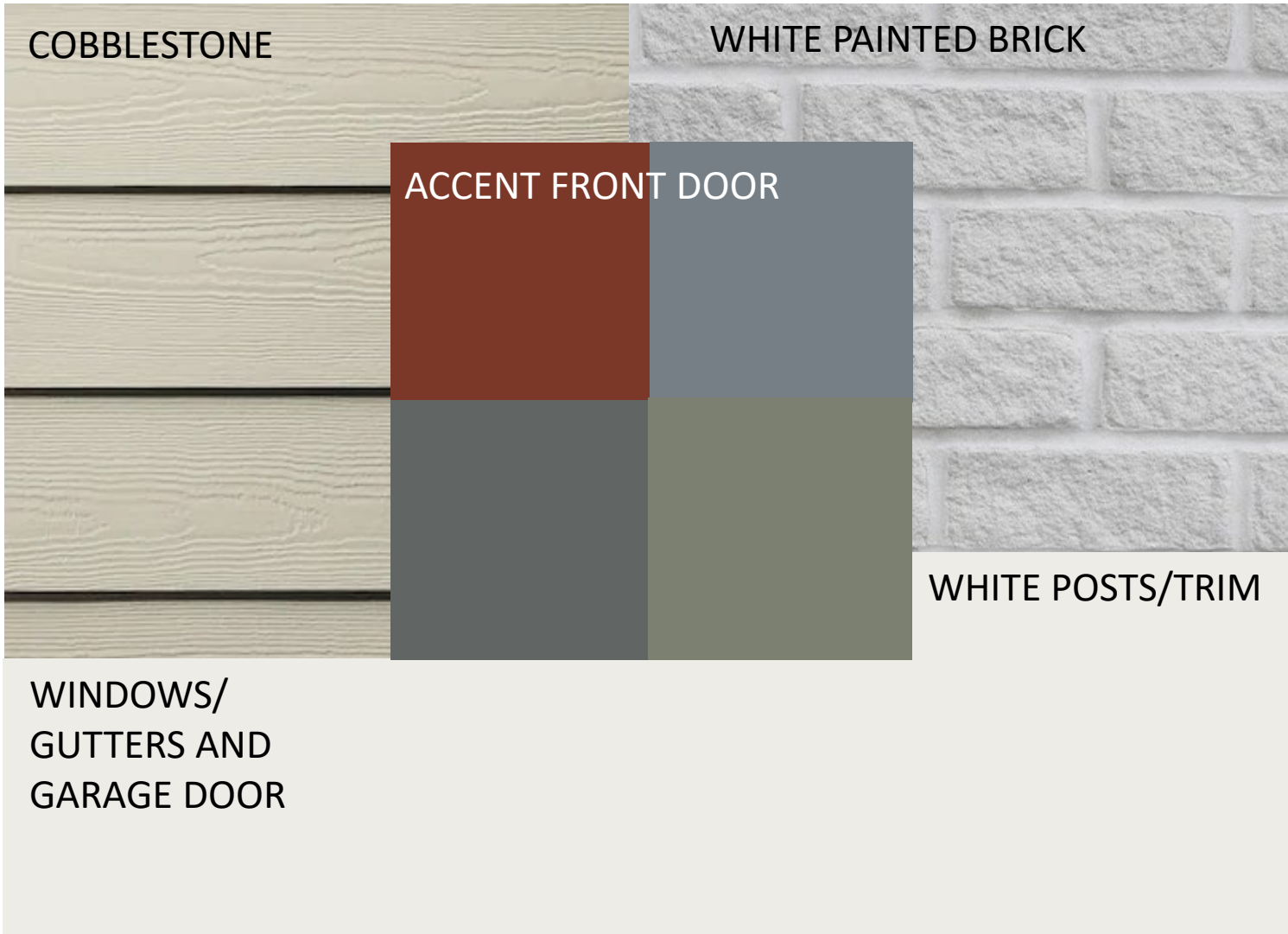
WHITE PAINTED BRICK

BLACK FRONT DOOR

WHITE POSTS/TRIM

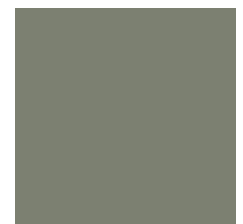
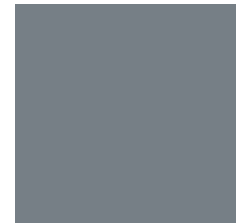
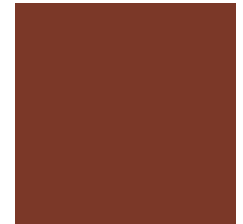
WINDOWS /GUTTERS
GARAGE DOOR

SCHEME 6



ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



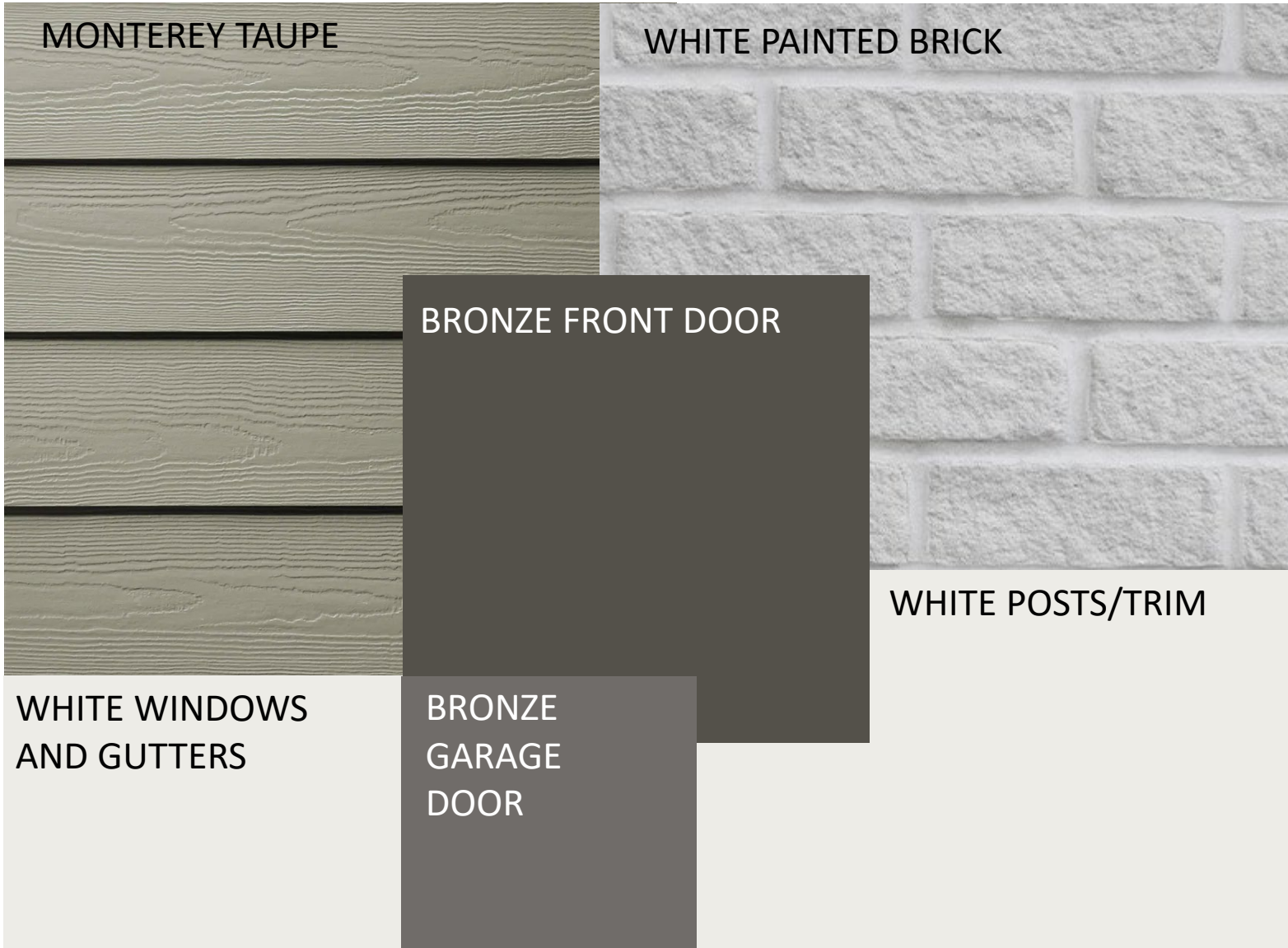
SCHEME 7



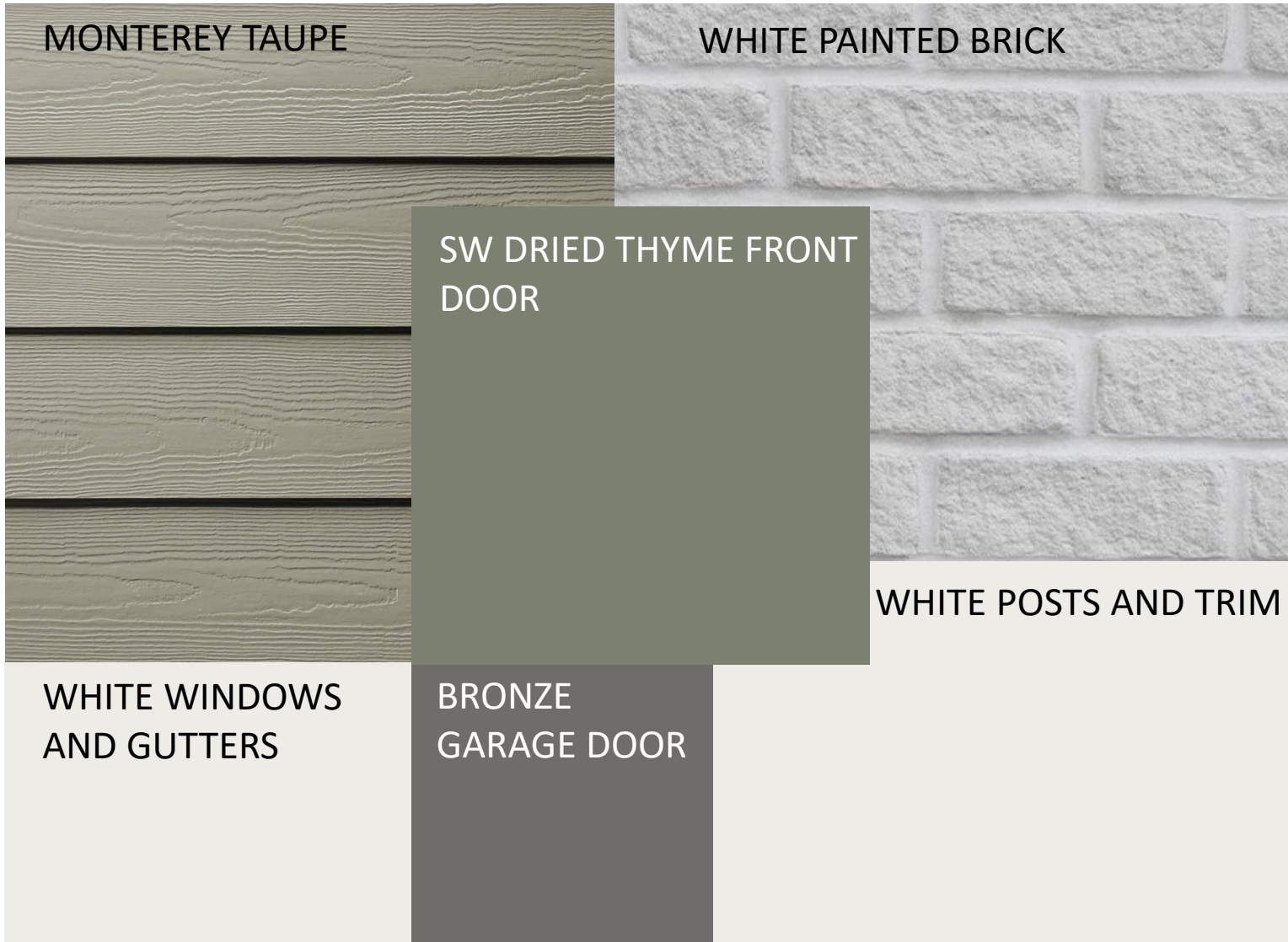
SCHEME 8



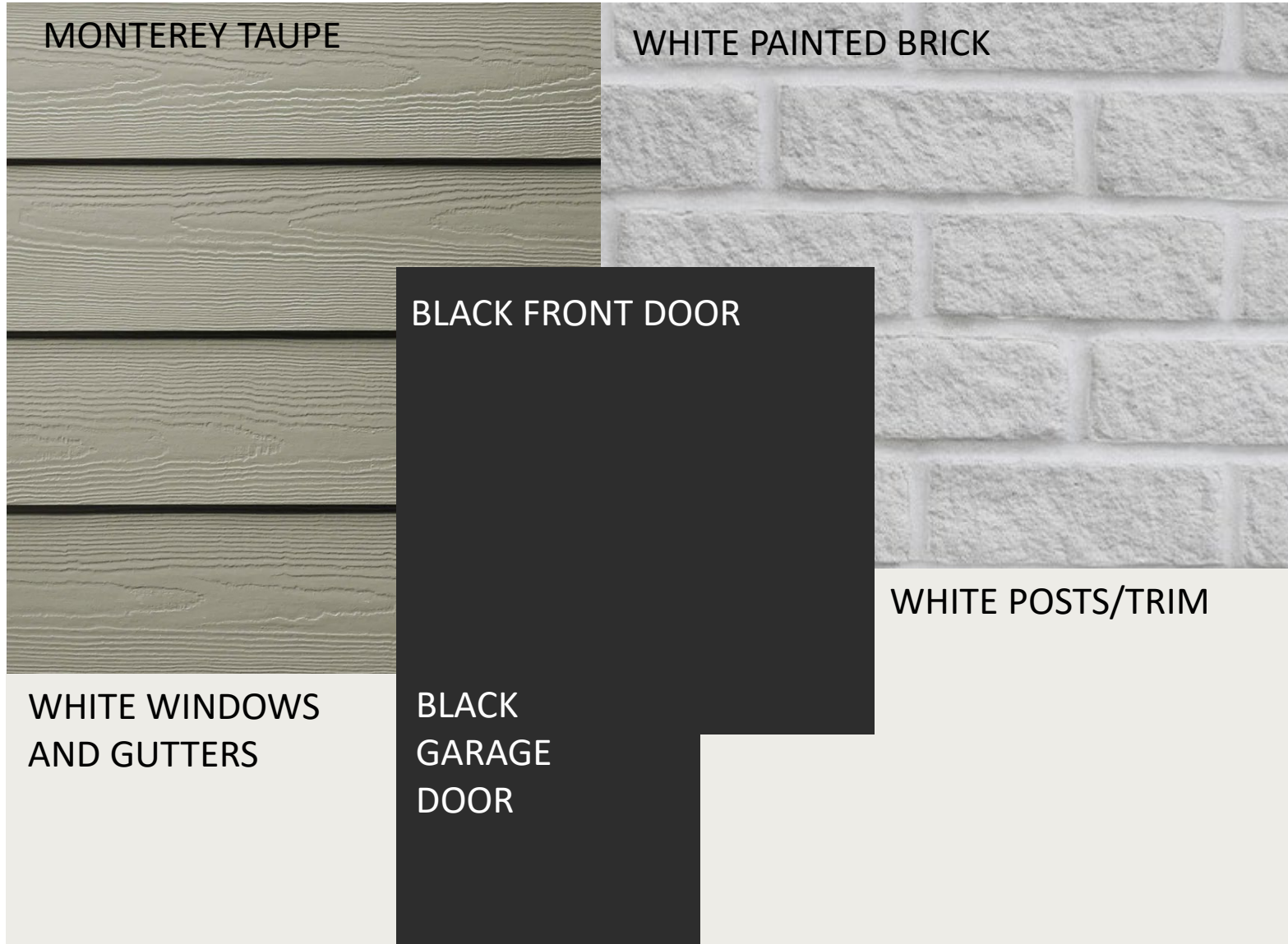
SCHEME 9



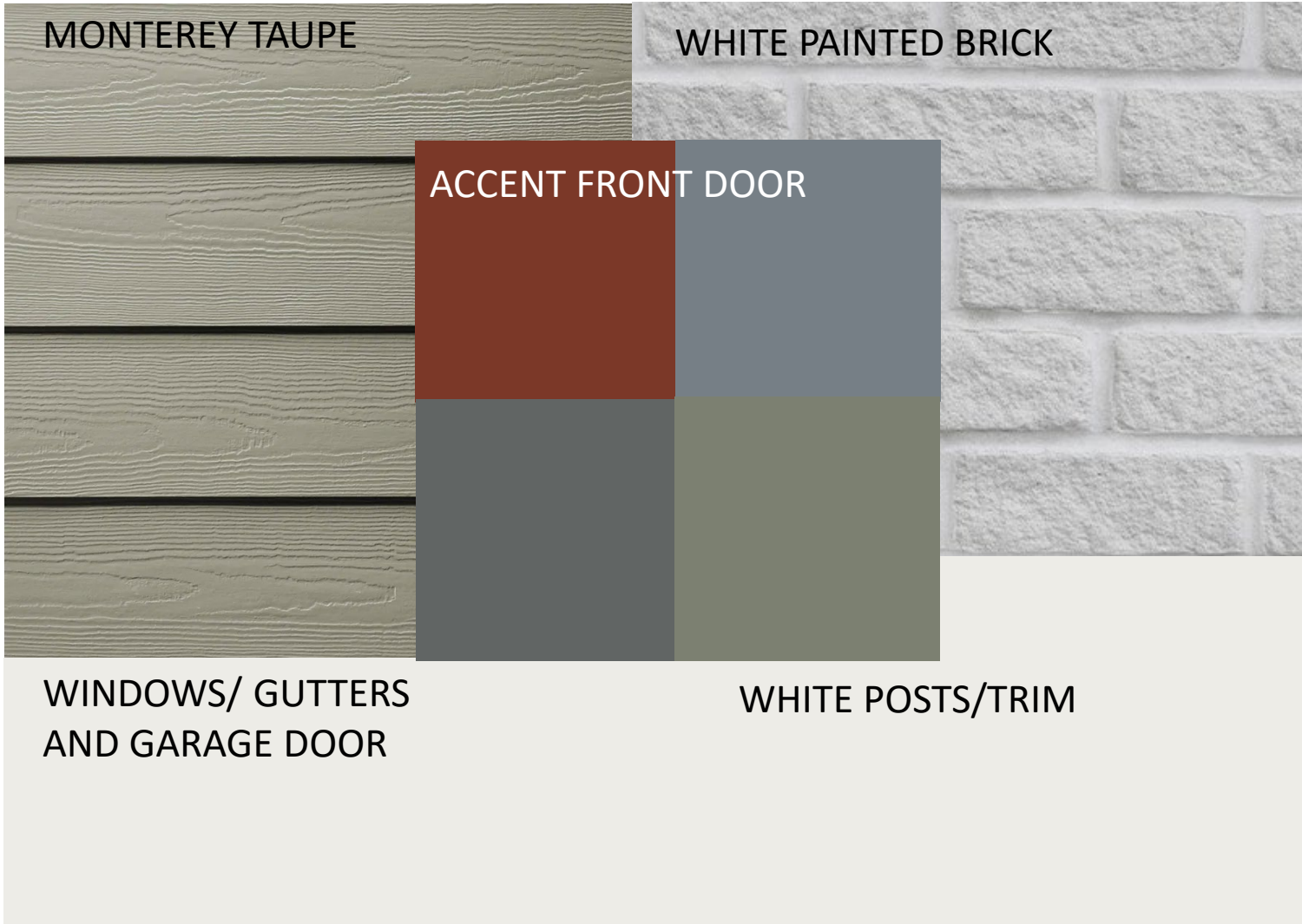
SCHEME 10



SCHEME 11

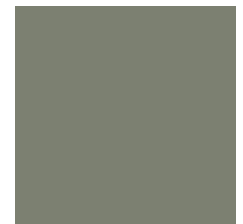
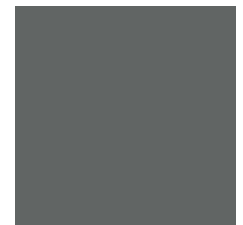
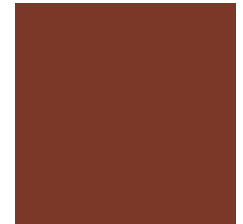


SCHEME 12

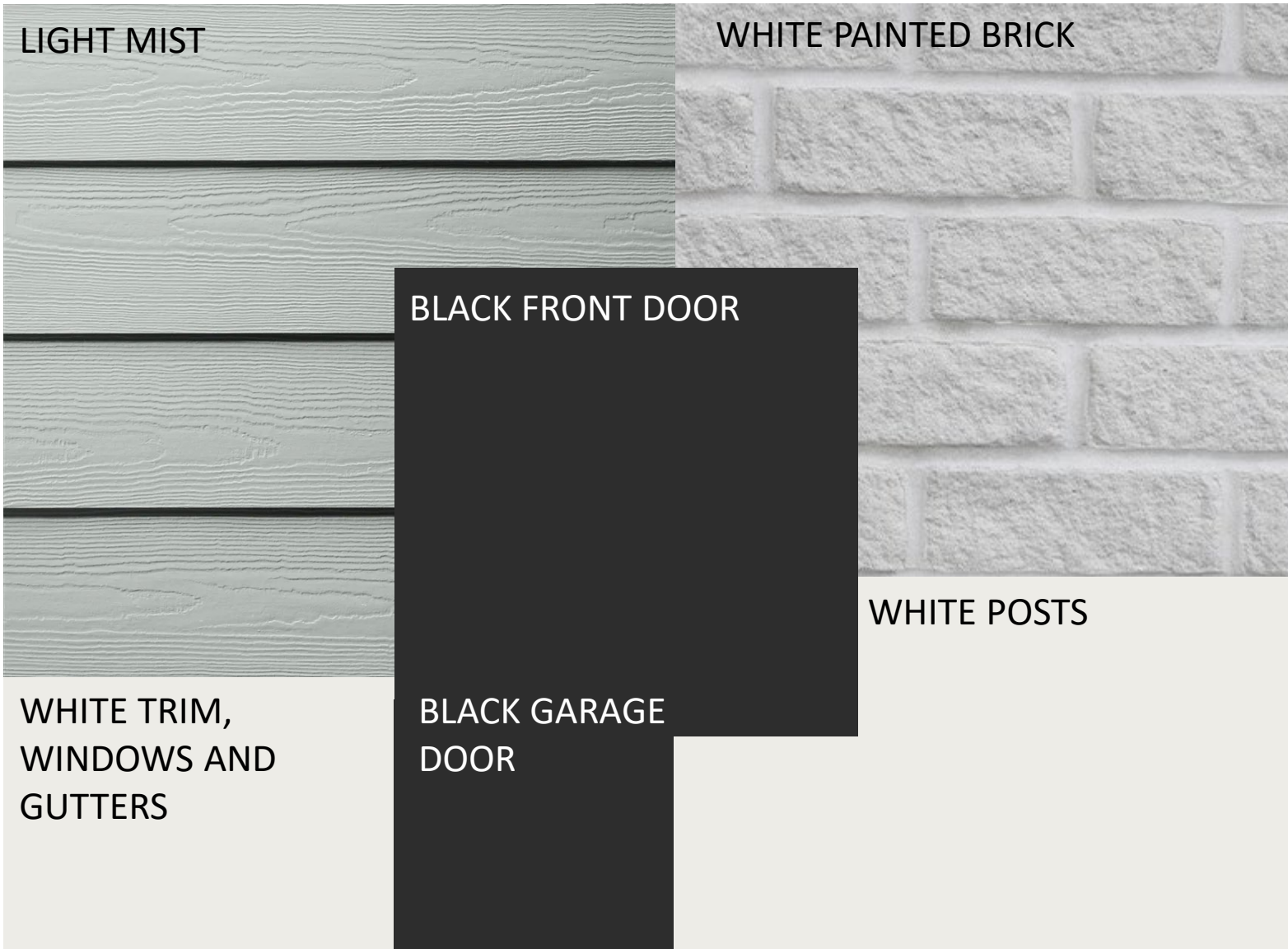


ACCENT DOOR OPTIONS

- SW ROYCROFT COPPER RED
- SW DOWNING SLATE
- SW ROYCROFT PEWTER
- SW DRIED THYME



SCHEME 13



LIGHT MIST

WHITE PAINTED BRICK

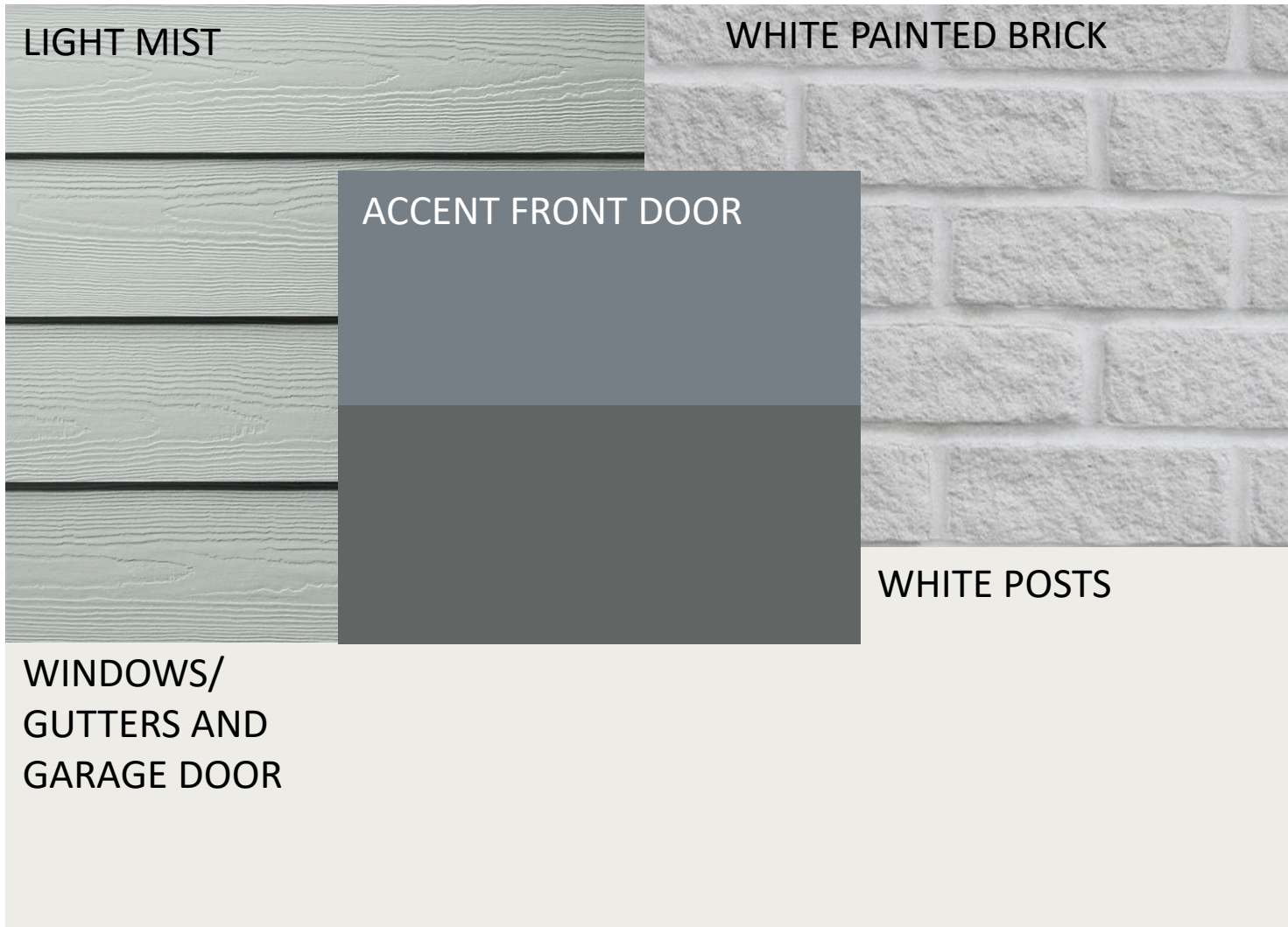
BLACK FRONT DOOR

WHITE POSTS

WHITE TRIM,
WINDOWS AND
GUTTERS

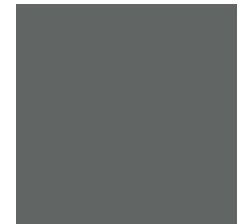
BLACK GARAGE
DOOR

SCHEME 15



ACCENT DOOR OPTIONS

- SW DOWNING SLATE
- SW ROYCROFT PEWTER



SCHEME 16

GRAY SLATE

WHITE PAINTED BRICK

BLACK FRONT DOOR

WHITE POSTS

WHITE TRIM,
WINDOWS AND
GUTTERS

BLACK
GARAGE
DOOR

SCHEME 17



SCHEME 18



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



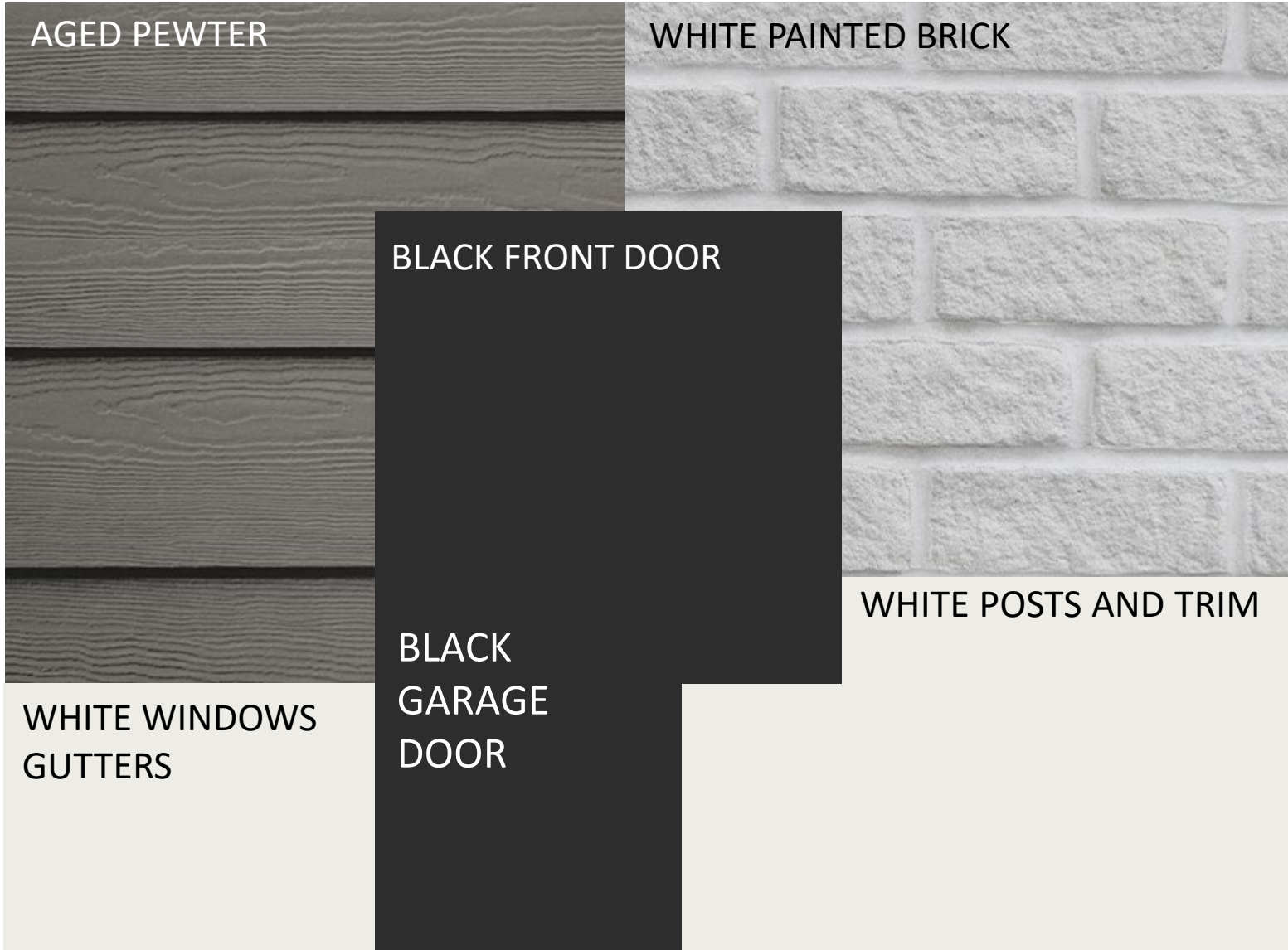
SCHEME 19



SCHEME 20



SCHEME 21



SCHEME 22



ACCENT DOOR OPTIONS

- SW ROYCROFT
COPPER RED



SCHEME 24



TIMBER BARK



WHITE PAINTED BRICK

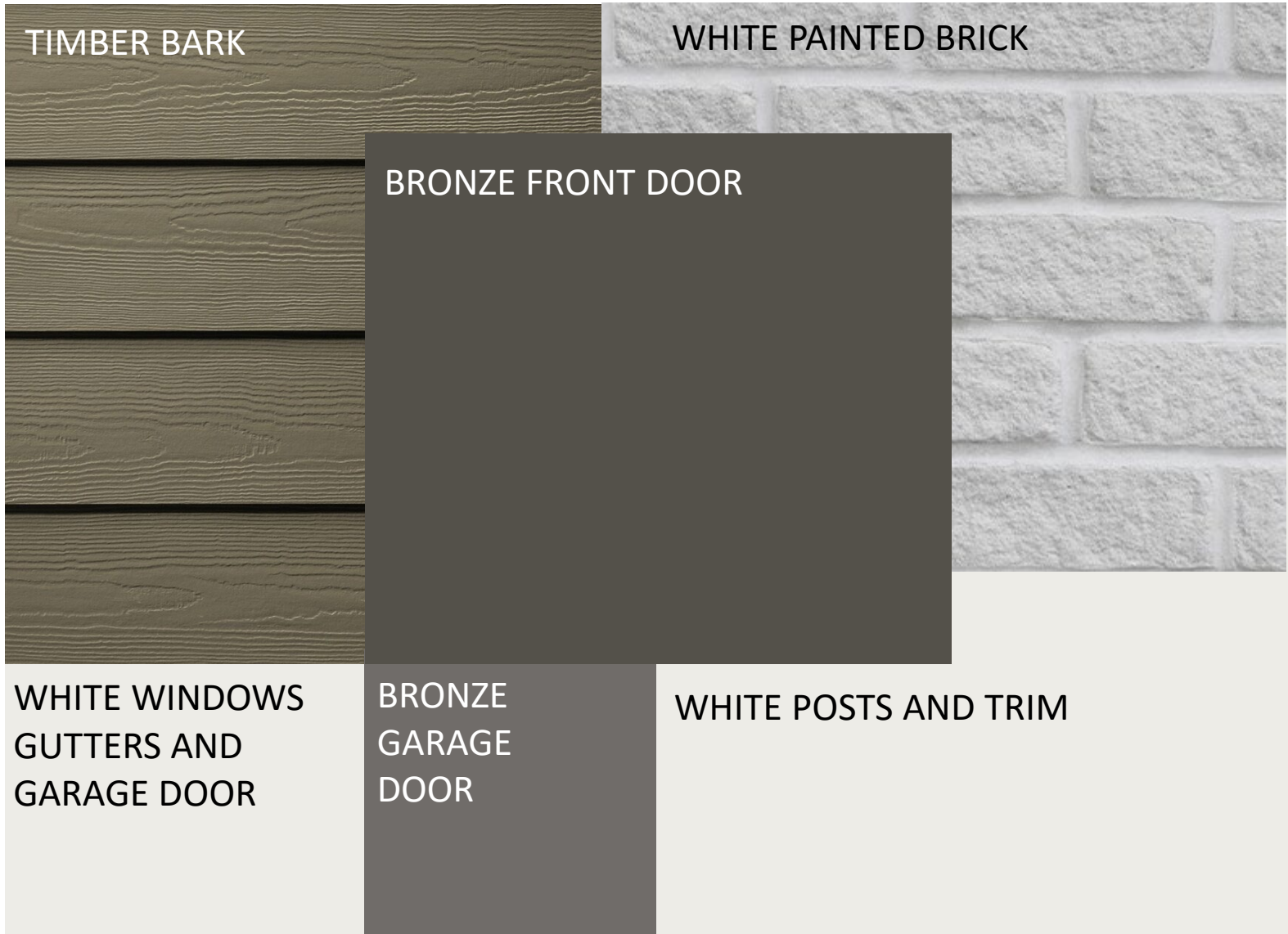


SW MINDFUL GRAY
FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

SCHEME 25



TIMBER BARK

WHITE PAINTED BRICK

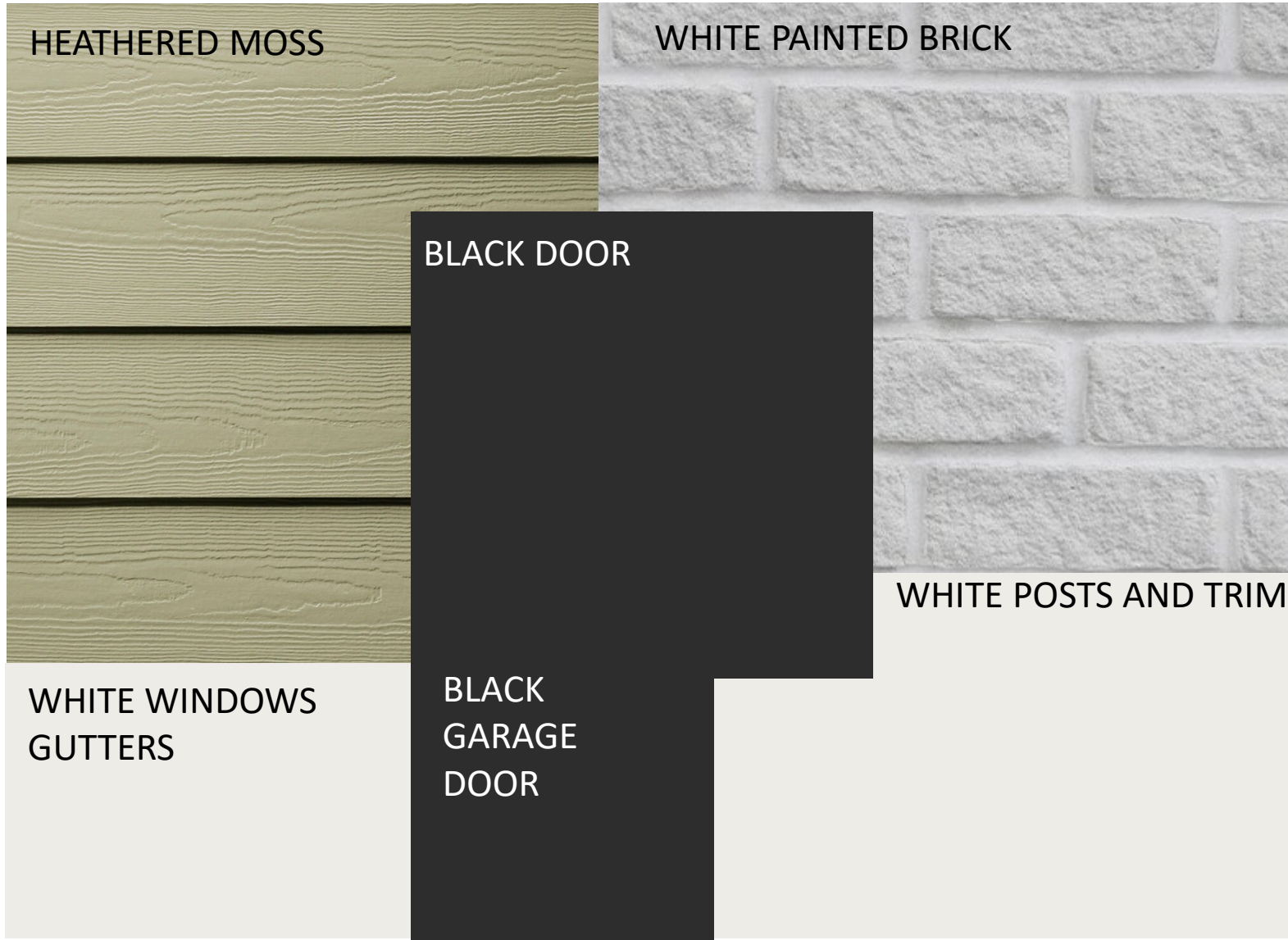
BRONZE FRONT DOOR

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

BRONZE
GARAGE
DOOR

WHITE POSTS AND TRIM

SCHEME 25



SCHEME 26

HEATHERED MOSS

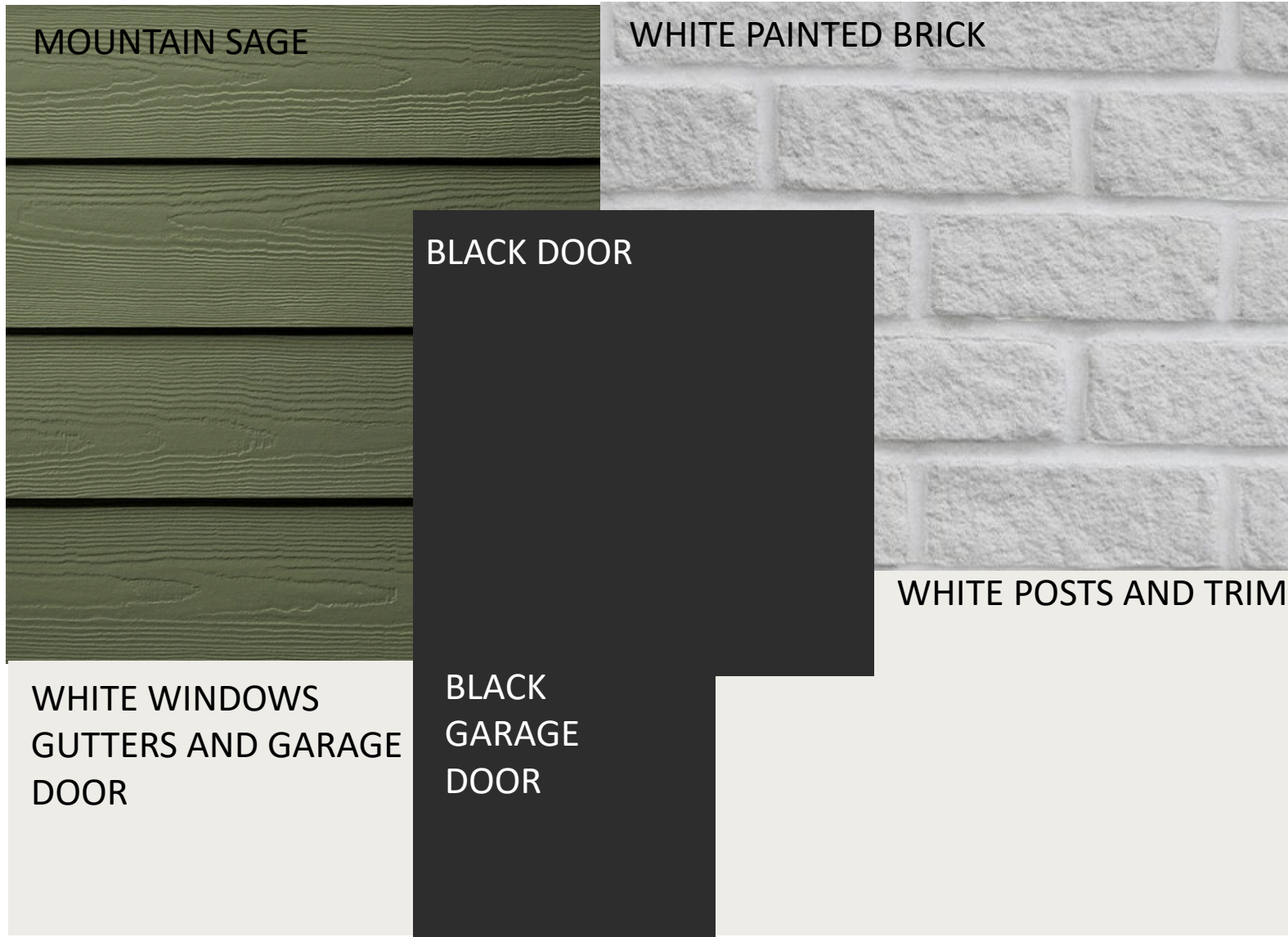
WHITE PAINTED BRICK

WHITE FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS

SCHEME 27

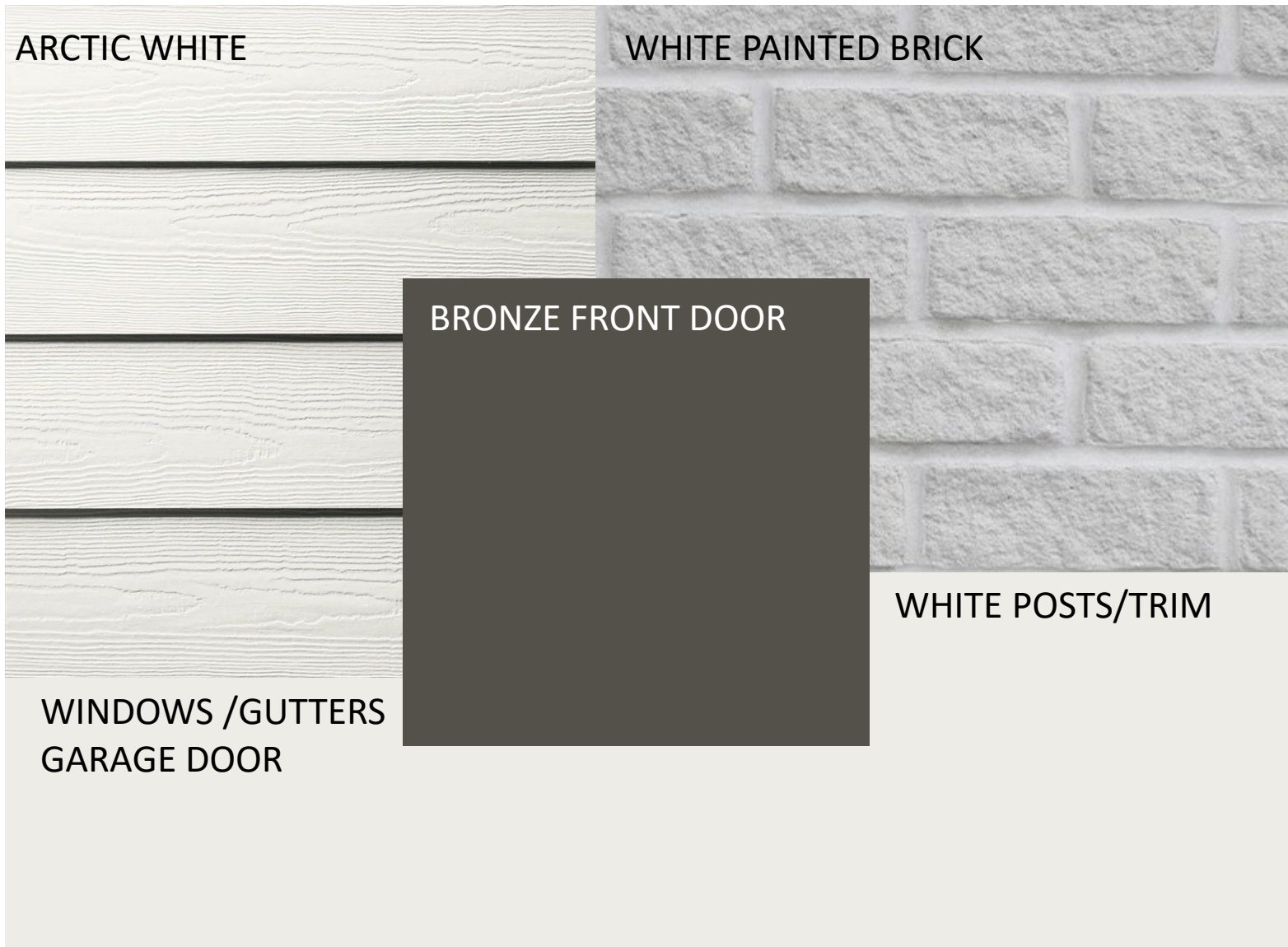


SCHEME 28

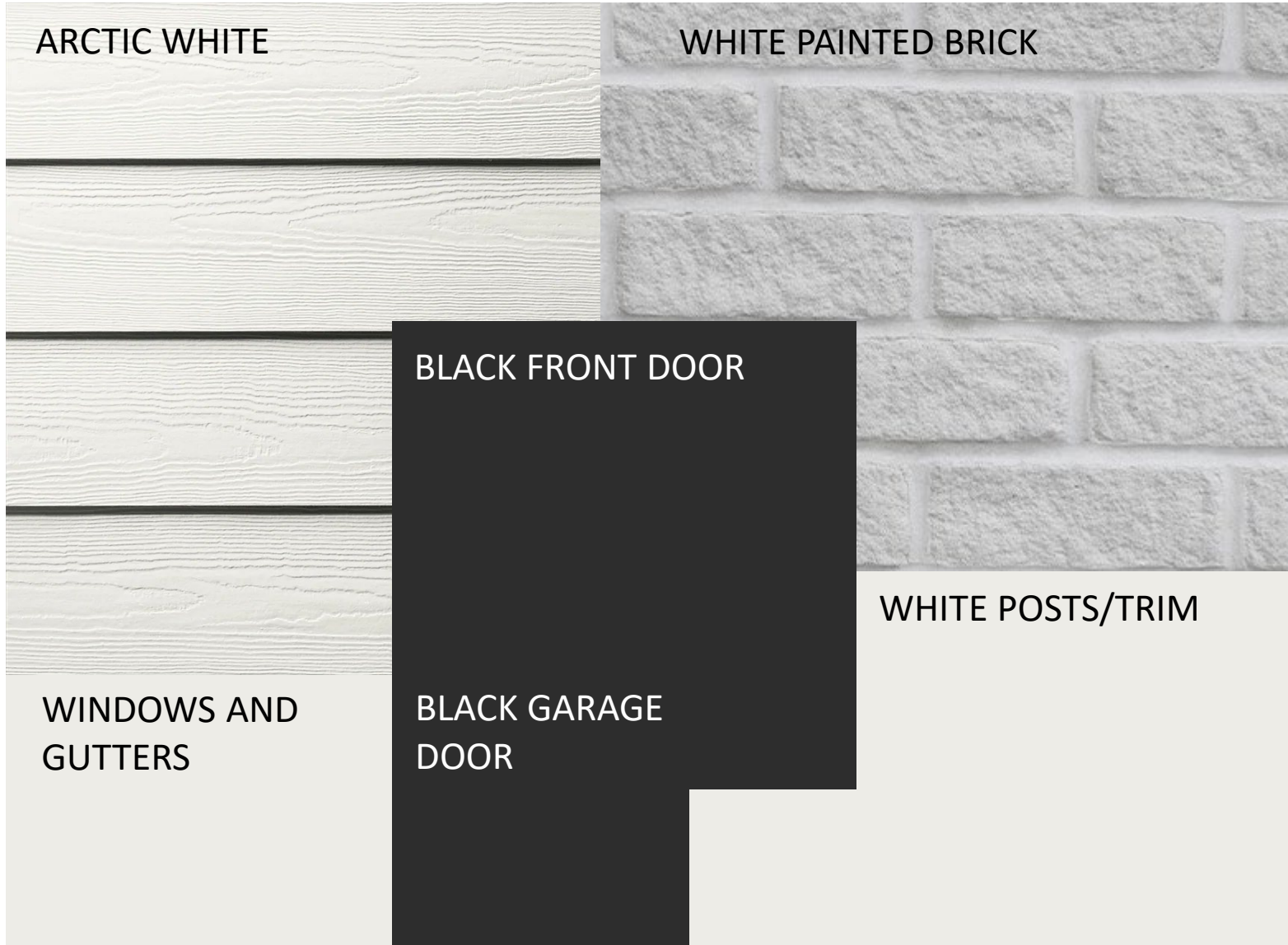


MCCALLIE PLAN

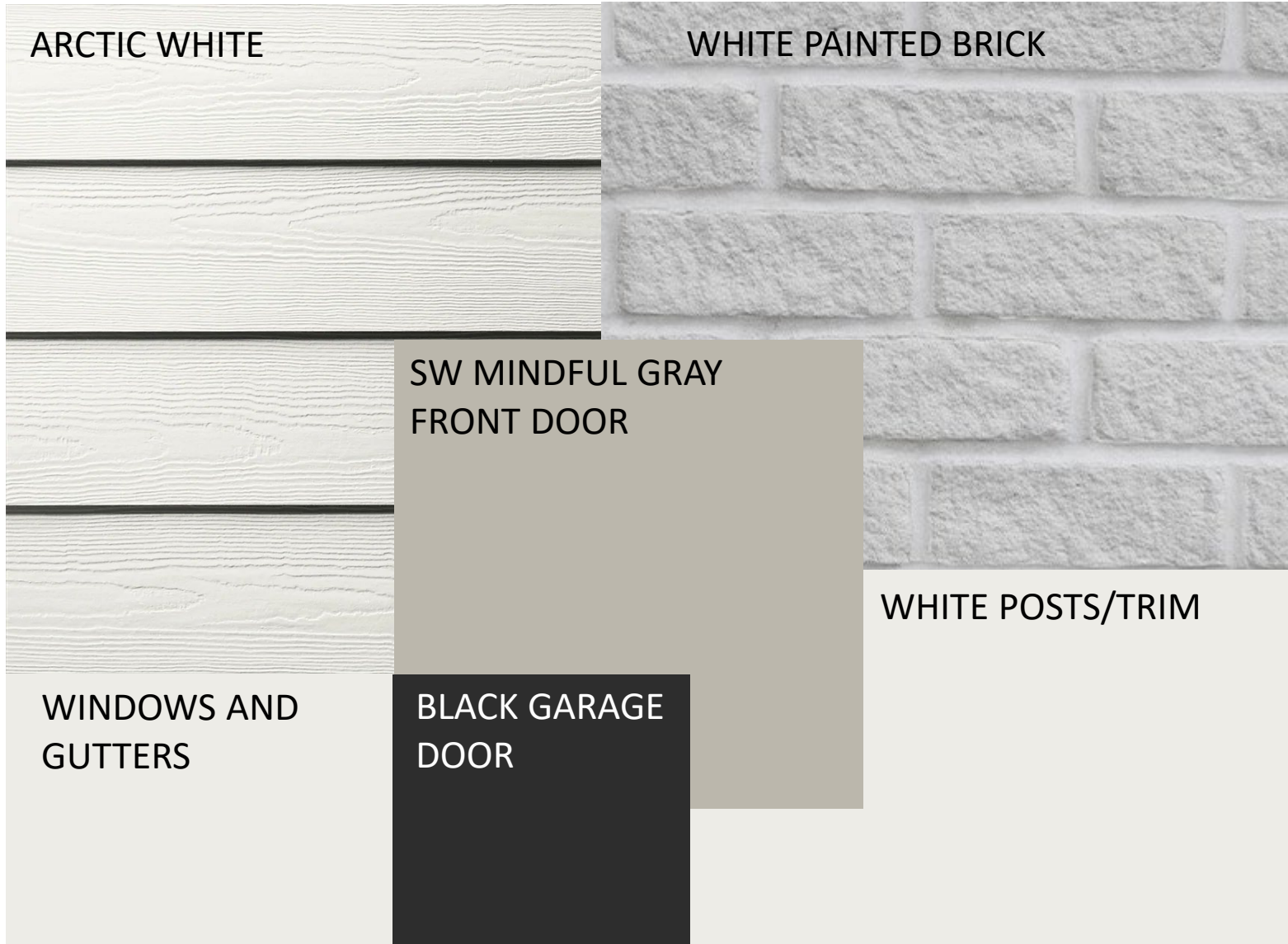
SCHEME 1



SCHEME 2



SCHEME 3



SCHEME 4

COBBLESTONE

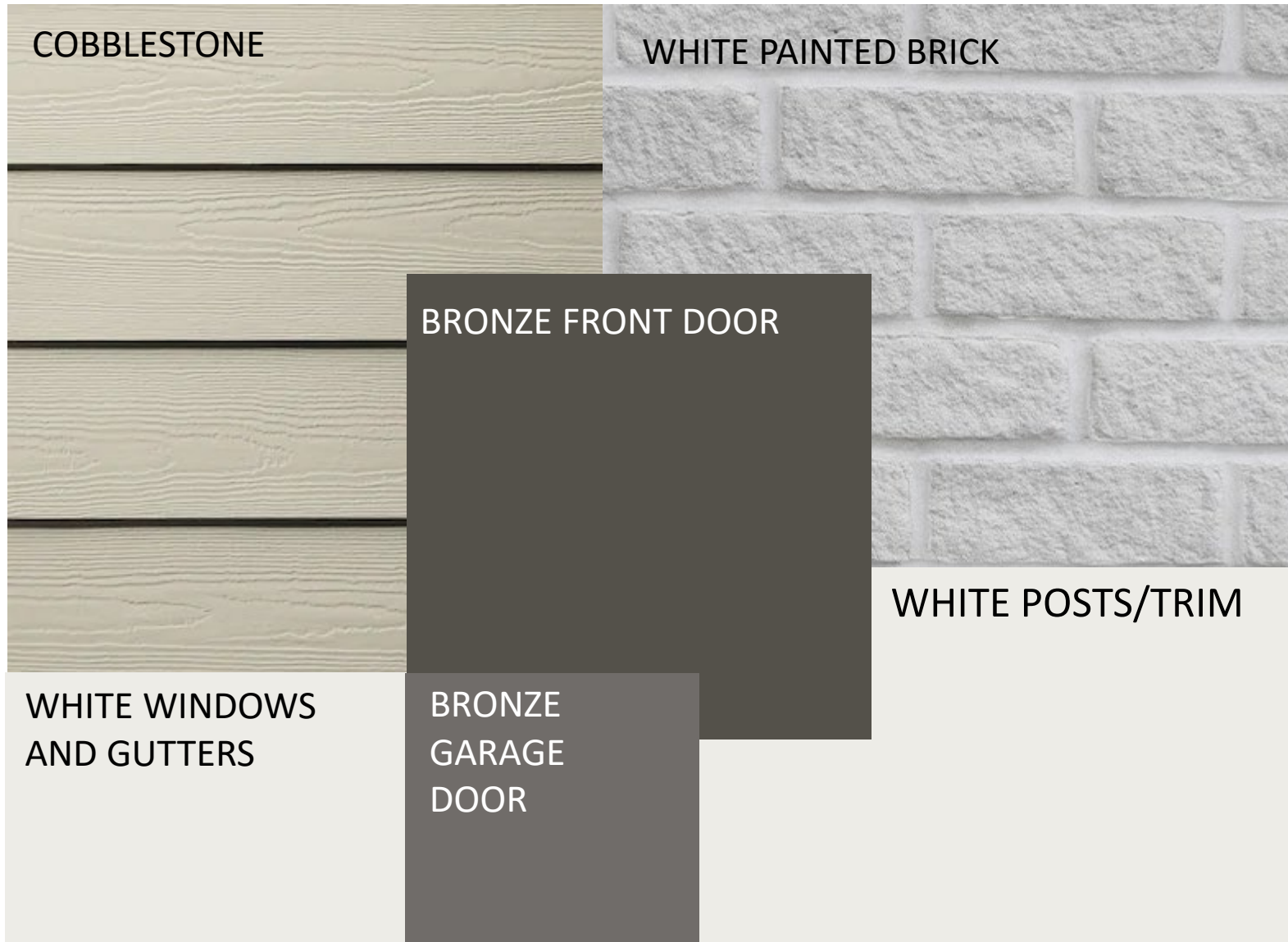
WHITE PAINTED BRICK

BLACK FRONT DOOR

WHITE POSTS/TRIM

WINDOWS /GUTTERS
GARAGE DOOR

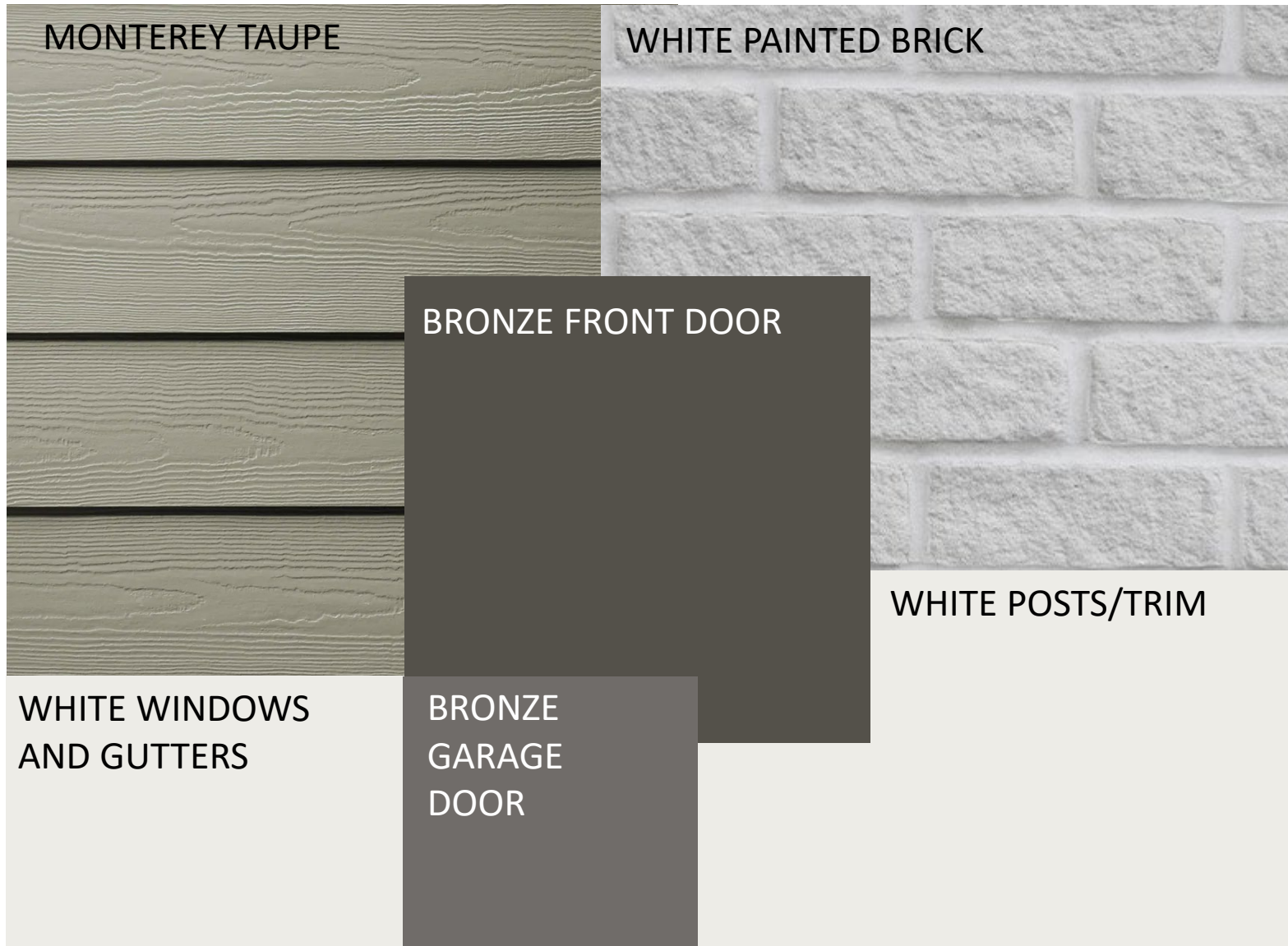
SCHEME 5



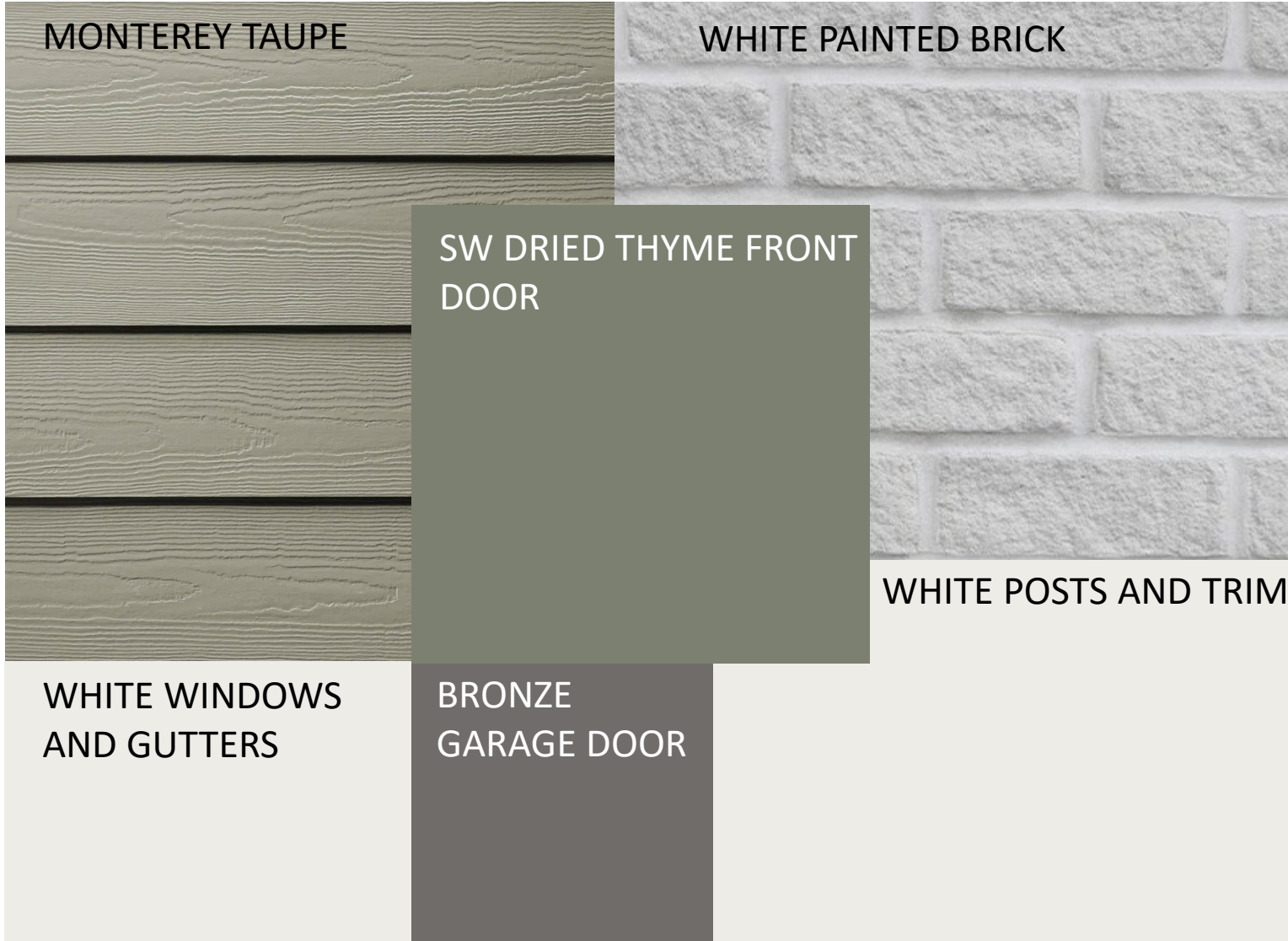
SCHEME 6



SCHEME 7



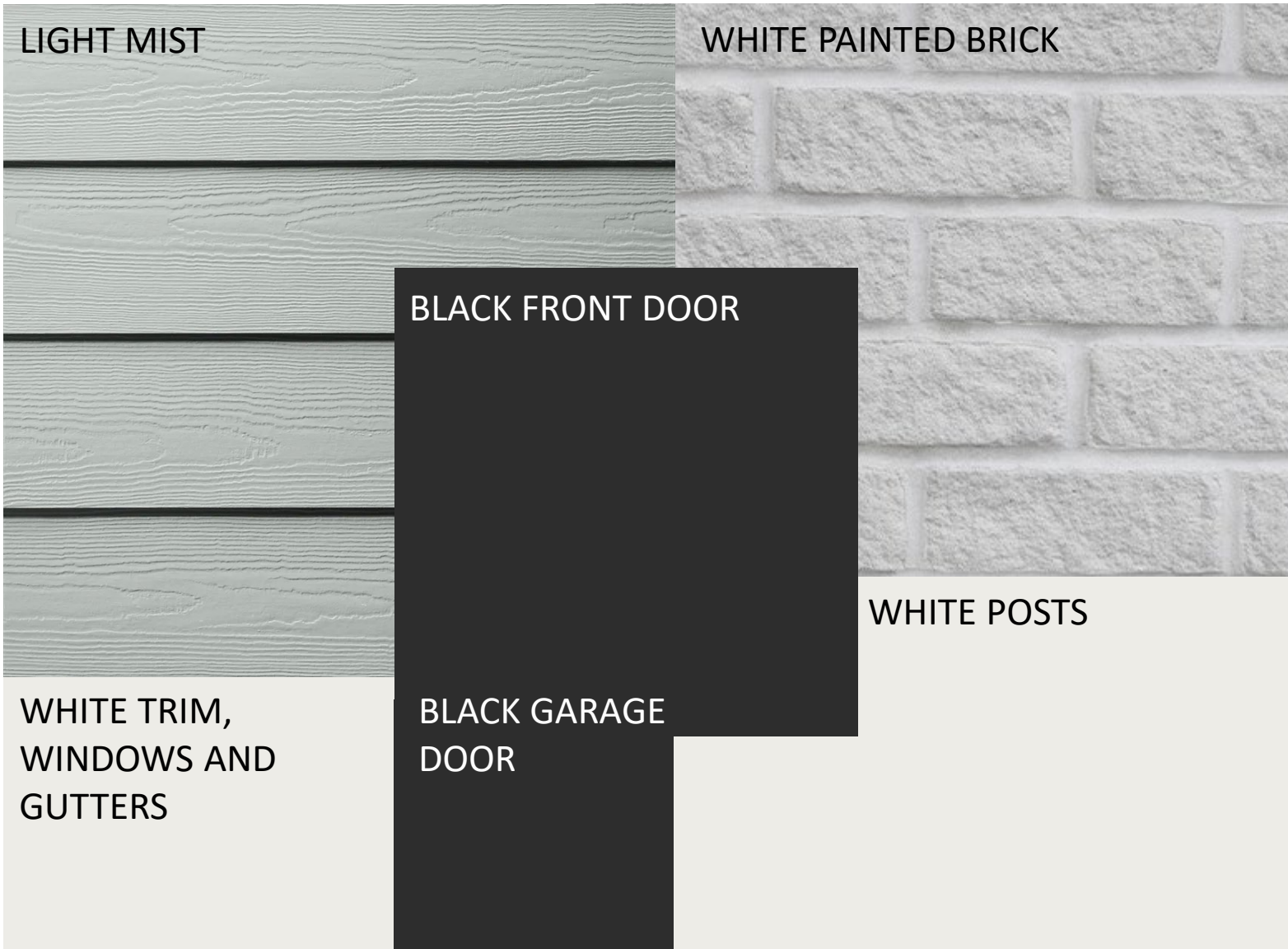
SCHEME 8



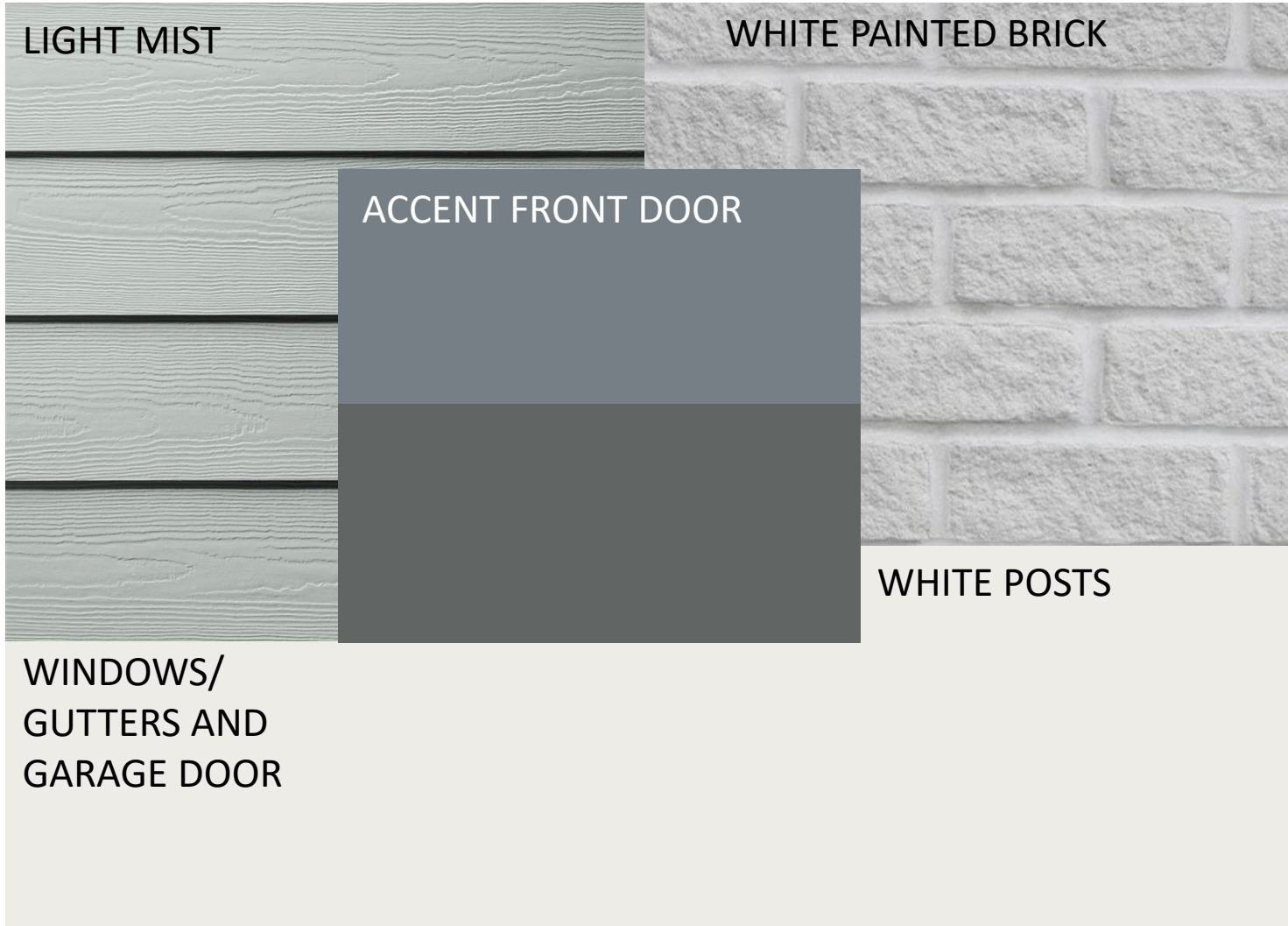
SCHEME 9



SCHEME 10

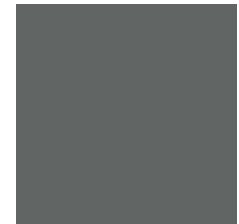
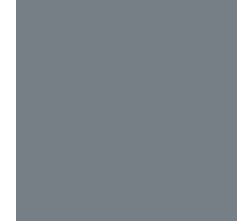


SCHEME 11



ACCENT DOOR OPTIONS

- SW DOWNING SLATE
- SW ROYCROFT PEWTER



SCHEME 12

GRAY SLATE

WHITE PAINTED BRICK

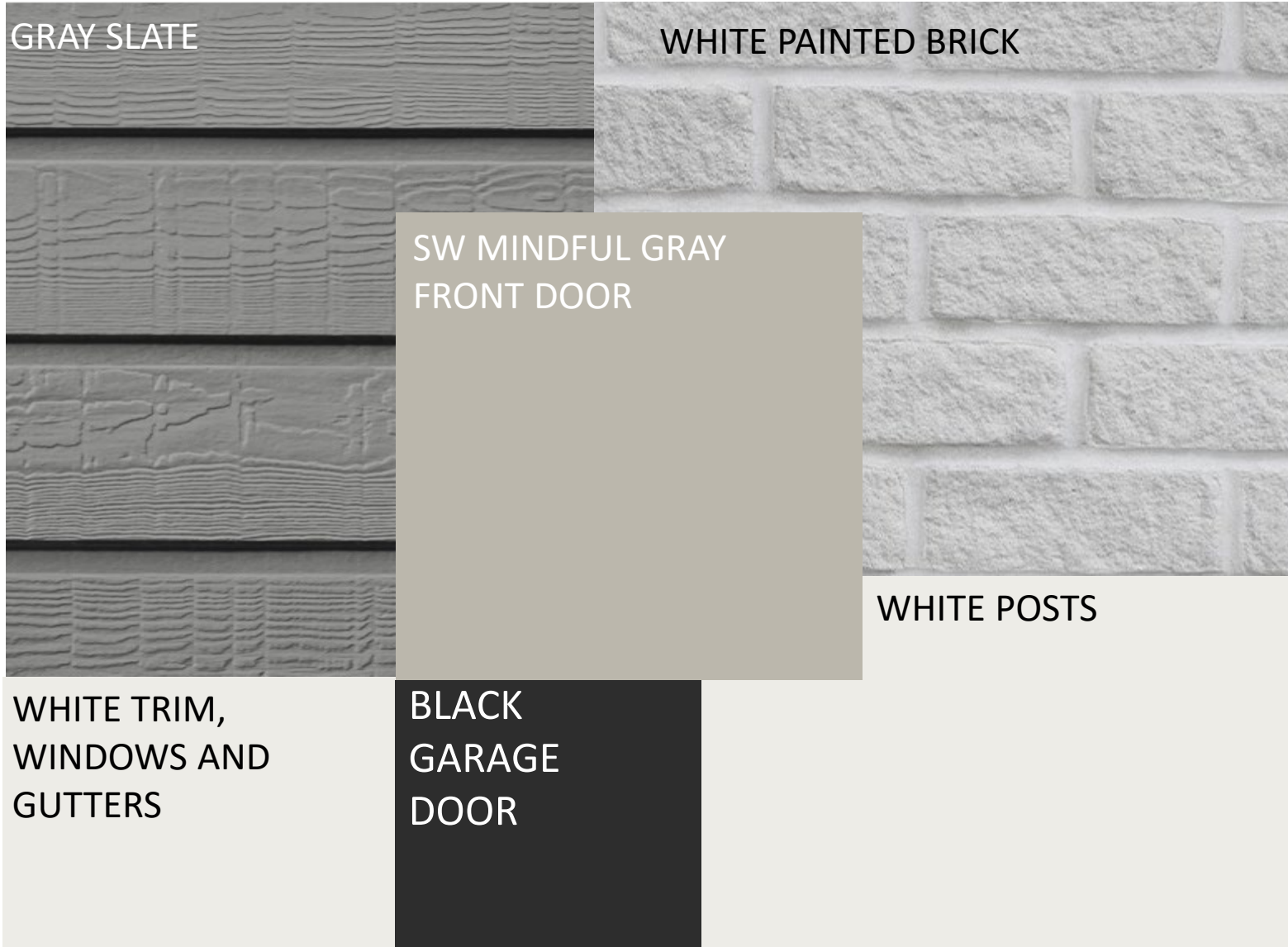
BLACK FRONT DOOR

WHITE POSTS

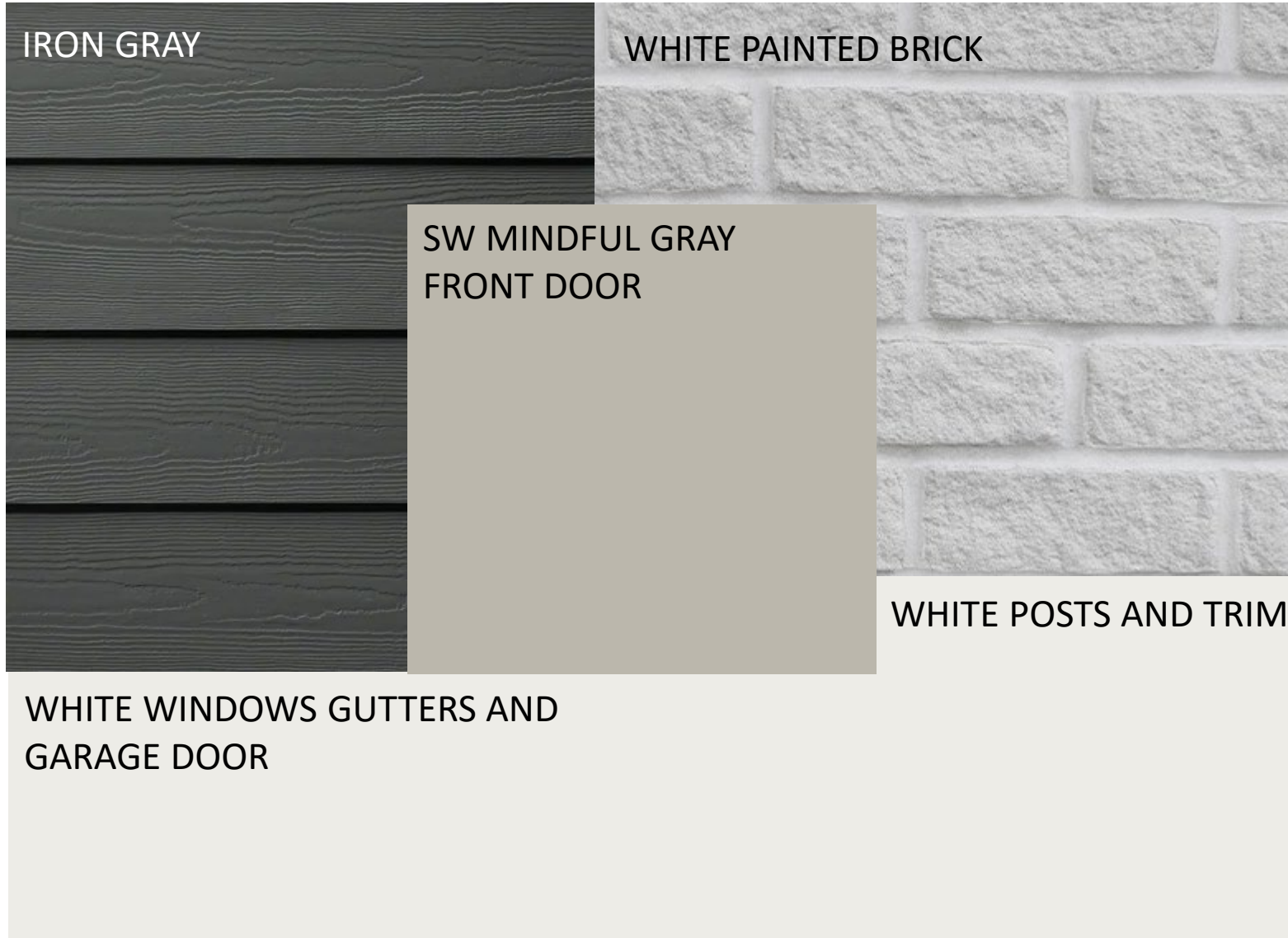
WHITE TRIM,
WINDOWS AND
GUTTERS

BLACK
GARAGE
DOOR

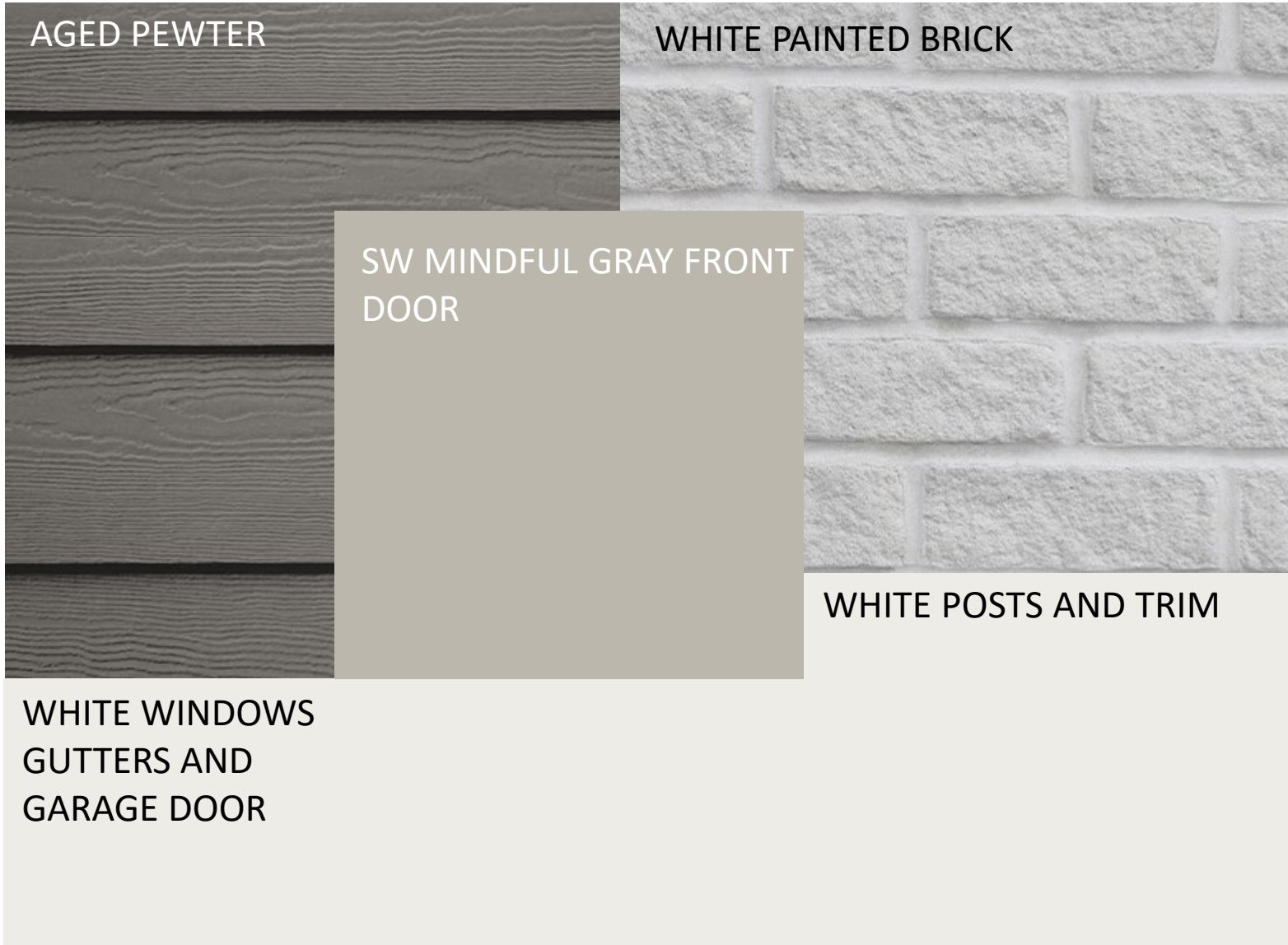
SCHEME 13



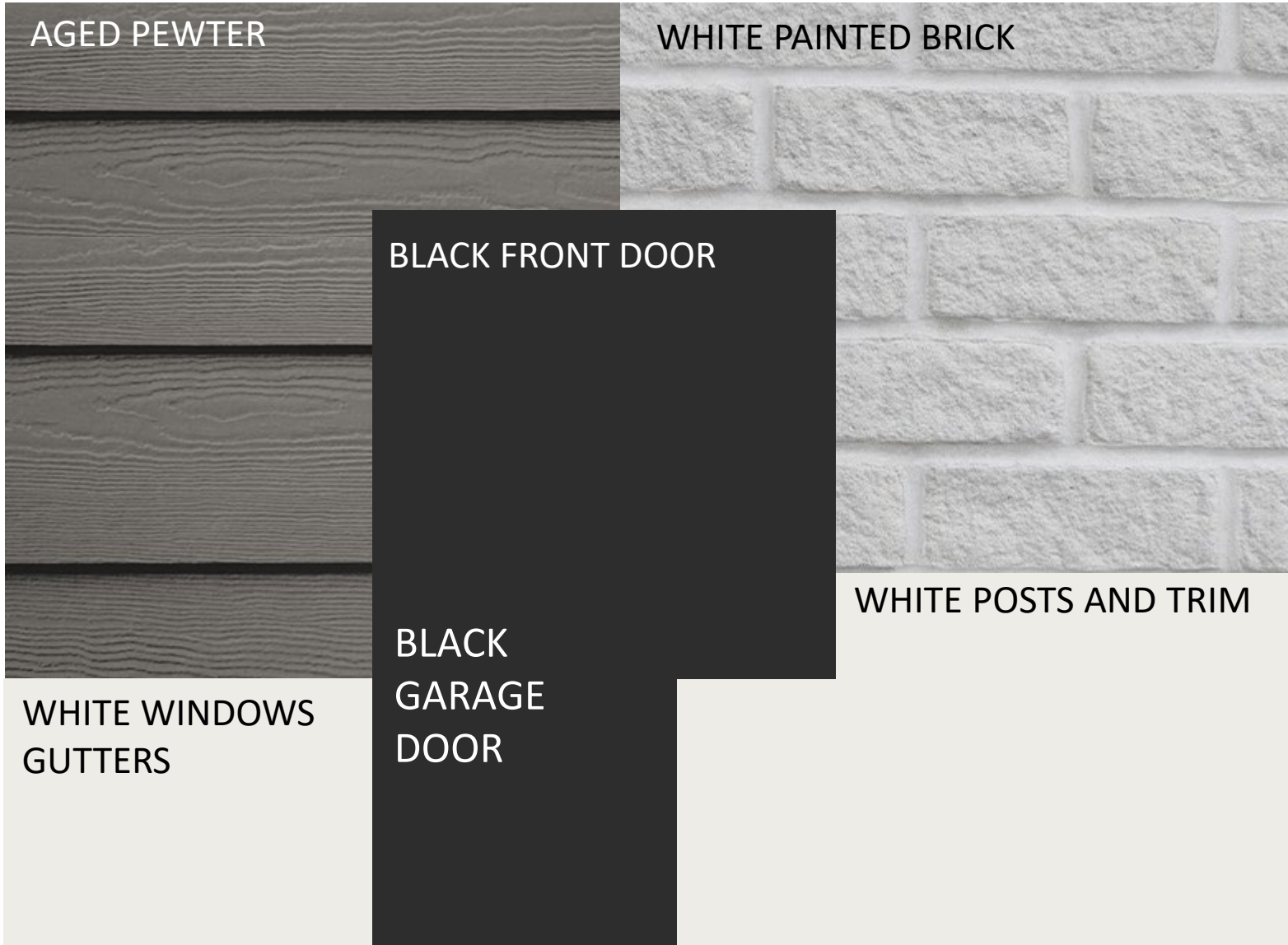
SCHEME 14



SCHEME 15



SCHEME 16



SCHEME 17



TIMBER BARK



WHITE PAINTED BRICK

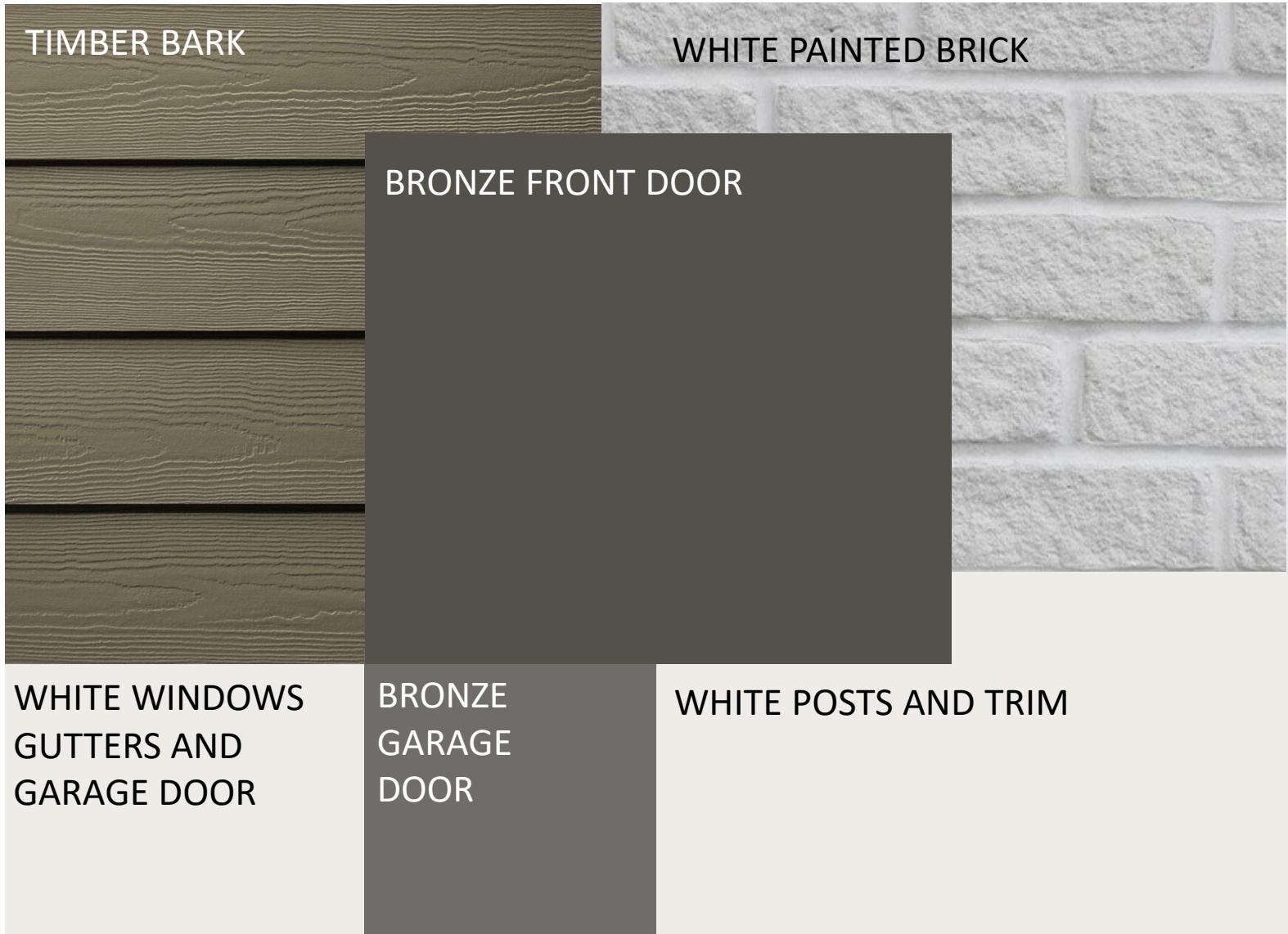


SW MINDFUL GRAY
FRONT DOOR

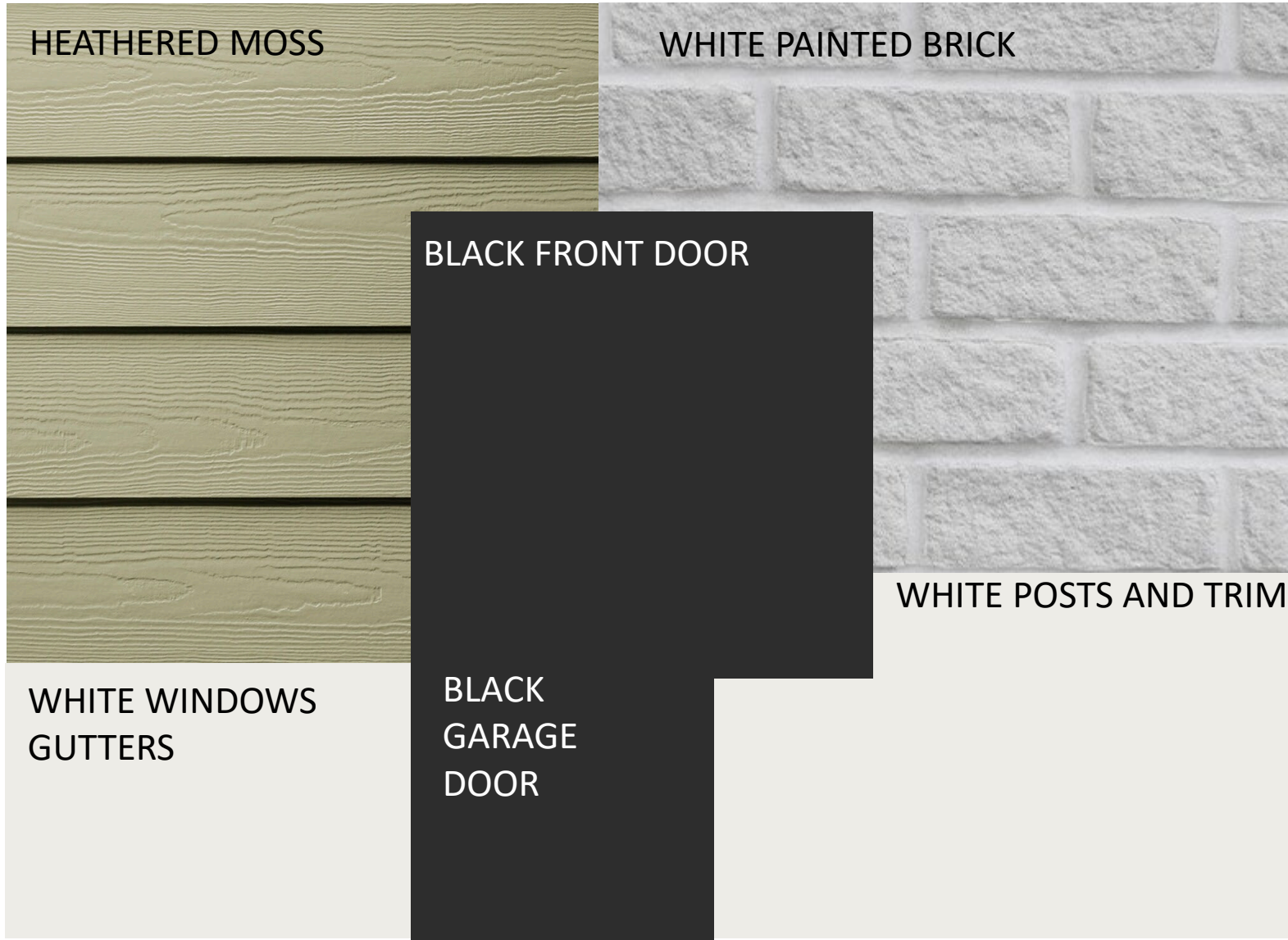
WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS AND
GARAGE DOOR

SCHEME 18



SCHEME 19



SCHEME 20

HEATHERED MOSS

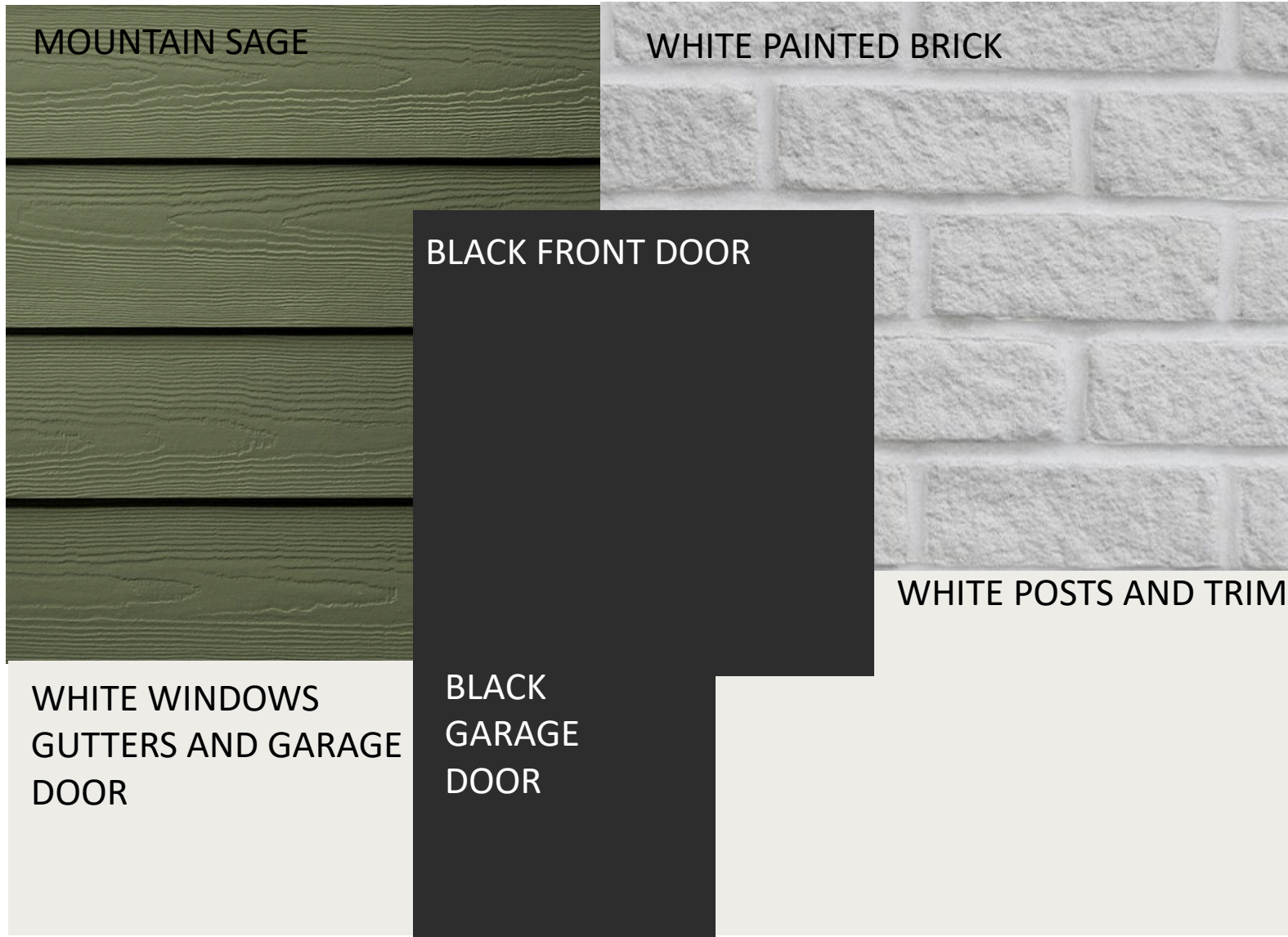
WHITE PAINTED BRICK

WHITE FRONT DOOR

WHITE POSTS AND TRIM

WHITE WINDOWS
GUTTERS

SCHEME 21



SCHEME 22





Honey Farms BFR Specifications

Revised 09/12/2022

Interior

Interior Paint & Drywall:

- Sherwin Williams – One paint color throughout per selections package. Garage, ceilings, closets, trim are all white.
- Sheen: Walls and Ceilings- Flat; Doors and Trim- Semi-gloss.
- Board: ½" drywall
- Finish: Smooth finish on all walls and ceilings

Interior Doors:

- Hollow core Masonite, paintable finish. Style per interior selections package
- All interior doors are 6'8" in height.

Flooring: (unless otherwise noted in selections package)

- Main living area (including powder bath where applicable): LVP. Style per interior selections package
- 1st set of Stairs: Paint grade risers and skirts, LVP treads with metal LVP nosing, and stained oak railings to stair wall.
- 2nd set of Stairs: Paint grade skirt, and carpet risers and treads with stained oak railings to stair wall.
- 2nd Floor: Tier 1, Shaw carpet, 100% polyester carpet. Style per interior selections package
- Bedrooms: Tier 1, Shaw carpet, 100% polyester carpet. Style per interior selections package
- Master Bathroom: LVP flooring per interior selections package, fiberglass shower insert with framed shower door to match plumbing fixtures
- Guest Bathrooms: LVP flooring per interior selections package, fiberglass tub/shower insert (unless dictated otherwise per plan)
- Laundry Room: LVP flooring per interior selections package

Cabinets, Countertops and Vanities: (unless otherwise noted in selections package)

- Standard cabinetry is a polypropylene wrapped HDF with standard overlay doors. Hardware included (per interior selections package).

- Standard cabinet uppers are 36" or 42" (per interior selections package)
- Granite countertop to go in kitchen and guest bathrooms (per interior selections package)
- 4-inch granite backsplash matching countertop selection is standard
- Master Bathroom: Double vanity is standard (unless plan dictates otherwise)
- Guest Bathroom(s): Single vanity is standard.
- Powder Bath: Pedestal sink is standard.

Plumbing:

- 4" fixtures in chrome
- Water lines: Pex with copper stub outs
- All homes on sewer
- Commodes are all elongated in white.
- Standard water heater is a 50-gallon electric heater.
- Garbage disposal standard with kitchen sink.
- Front and rear spigot provided on all units (where possible)

Lighting & Electrical:

- Standard electrical package finish per interior selections package
- Puck lighting location and amount specified in lighting plan specific to floor plan selected.
- Ceiling fans standard in Master Bedroom & Great Room
- Wire specs per code and per standard lighting plan
- Service: 200 Amp
- Low Voltage wiring for HSI, TV, Data per local provider specifications

Door hardware, Closets, and Bath Accessories: (unless otherwise noted in selections package)

- Bedroom closets, bathroom linen closets, pantry, and laundry: White coated wire shelving.
- Interior and exterior door hardware per interior selections package. Hinges will match corresponding door hardware.
- Bath accessories to match the finish selected for plumbing fixtures.
- Plate glass mirrors to be included with all bathrooms.
- Pre-cut oval mirrors to be included in powder baths
- Clear glass framed shower doors are included in the master bathroom shower.

Interior Trim:

- 2 ¼" door trim
- 5 ¼" baseboards with shoe molding
- Window stool and apron
- Openings to all have sheetrock return.

Appliances:

- Electric range, over range microwave, dishwasher, and side-by-side refrigerator

HVAC: (unless engineered drawings dictate otherwise)

- 2, 2.5, 3 or 3.5 ton (depending on heated and cooled area)
- 14 seer AC units
- All electric units
- Digital thermostat is provided for first and second floor control.
- Attic access to HVAC is a scuttle hole if installed in roof system.

Natural Gas:

- No natural gas available

Fireplace:

- No fireplaces

Exterior

Foundation (per development specifications or engineered structural drawings):

- Block stem wall construction consisting of:
 - 24" wide footer 3000 psi concrete reinforced with 2 runs of ½" rebar
 - Concrete block foundation
 - Foundation Veneer: S Type mortar stucco finish
- Mono-slab foundation per structural detail to meet code requirements

Concrete:

- Driveway: 3000 psi concrete, 4" thick
- Front Entry Sidewalk: 3000 psi concrete 4" thick, 4' wide, connecting the driveway to front porch.
- Garage Slab: 3000 psi concrete 4" thick

Termite Treatment:

- Termite bait system around the perimeter of the home. The first year of coverage is included in the 1-year builder warranty.

Water Management:

- Foundations are waterproofed per code.
- All gutter downspouts are directed away from the foundation.

Landscaping:

- Per master landscaping plan as approved by the Land Disturbing Permit

Framing: (Engineered structural drawings precede the following standard spec)

- Exterior Walls: 2x4 walls assembly 16" on center
- Interior Walls: 2x4 and 2x6 wall assembly 16" on center per the plans.
- Pressure treated lumber used when lumber meets masonry or concrete surfaces.

- Floor System: Tongue and groove subfloor glued and fastened to floor system to meet code.
- Roof: engineered roof trusses 24" on center with ½" OSB roof sheathing.
- Ceiling heights are 9' on the main floor and 8' on the second floor.

Insulation:

- Exterior walls: R-13 fiberglass batts
- Ceilings: R-38 blown cellulose

Patios: (Unless otherwise specified per development)

- 3000 psi concrete, 4" thick

Siding: (Unless otherwise specified per development)

- Combinations of 8 ¼" cedar mill or smooth fiber cement primed siding and 16" on center board and batten fiber cement siding per the plans
- Exterior Grade Trim: fiber cement corner boards and frieze boards
- Metal drip edge used above windows and at horizontal siding at trim transitions.
- Posts: fiber cement board or rough-cut wood based on exterior color package selected

Soffit and Fascia:

- Soffit: vented or solid soffit; vinyl
- Fascia: Exterior grade aluminum trim

Roof:

- Roof Shingle: 30 yr. dimensional shingle with a limited lifetime warranty, 15-year wind warranty and a 10-year algae warranty.
- Roof Venting: Soffit vent to ridge vent. Gable vents per the plans.

Exterior Paint:

- Sherwin Williams- Satin

Exterior Ceilings: (Unless otherwise specified per development)

- Fiber cement board porch ceilings

Windows & Exterior Doors: (Unless otherwise specified per development)

- White vinyl single hung windows located per plan.
- Front Door: 6'-8" Door. Smooth fiberglass w/ peep hole
- Rear Entry Door (if applicable): 6'-8" Door. Smooth fiberglass w/ peep hole
- Garage Door (Pedestrian): 6'-8" Door. Smooth fiberglass w/ peep hole
- Garage Door: as dictated by plan

Gutters and downspouts:

- 6" OG gutters with 3"x4" downspouts

Mailbox:

- per USPS requirements



CITY OF
COLUMBIA
TENNESSEE

DEVELOPMENT SERVICES
700 NORTH GARDEN STREET
COLUMBIA, TN 38401
PHONE: (931) 560-1560
FAX: (931) 560-1541

ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

ADDRESS/LOCATION	2248 Nashville Highway (SEC Highway 31 and Honey Farm Way), Columbia, TN 38401		
	TAX MAP: 051	GROUP:	PARCEL: 051 05800 000
SUMMARY OF NATURE OF REQUEST AND WORK	PUD Master Plan amendment for development of townhomes with amenity area and associated road and utility infrastructure on approximately 25.76 acres north of Honey Farm Way near the intersection of Drone Way.		

REQUEST DATE FOR PRE-APPLICATION CONFERENCE	Completed 12/12/22	<i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i>
---	--------------------	---

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

SELECT REQUEST	PLAN SHALL INCLUDE
<input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____	<ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels.

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

APPLICANT

NAME	Cole Murphy (RP Homes)	PHONE	423-340-7929
ADDRESS	3200 North Hawthorne St. Chattanooga, TN 37406	EMAIL	cole@rphomes.community

PROPERTY OWNER

NAME	Charles Raines	PHONE	(615) 456-7098
ADDRESS	P.O. Box 1715, Springhill, TN 37174	EMAIL	raines.monica@icloud.com

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

Cole Murphy, RP Homes

 APPLICANT NAME



 APPLICANT SIGNATURE

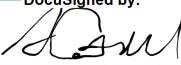
12/13/22

 DATE

*** Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.***

JD Eatherly Estate, Sandra Cantrell Executor

 PROPERTY OWNER NAME



 PROPERTY OWNER SIGNATURE

12/16/2022

 DATE

Charles Raines

 PROPERTY OWNER NAME



 PROPERTY OWNER SIGNATURE

12/16/2022

 DATE

STAFF USE ONLY

DOCKET NO.		FEE PAID	
RECEIPT NO.		REQUESTED AGENDA	
DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS			
DATE OF PUBLIC NOTICES IN DAILY HERALD			
BOARD ACTION			



DEVELOPMENT SERVICES
 700 NORTH GARDEN STREET
 COLUMBIA, TN 38401
 PHONE: (931) 560-1560
 FAX: (931) 560-1541

**PLANNING COMMISSION
 PROJECT DEVELOPMENT APPLICATION**

SUBMITTAL REQUIREMENTS

** 1 hard copy of all materials for submittal + PDF copy on a USB thumb drive or CD (no multiple applications on one storage device)
 Fold hard copy submittals larger than 8½"x11"*

ADDRESS/LOCATION	2248 Nashville Highway, Columbia, TN 38401		
	TAX MAP: 051	GROUP:	PARCEL: 051 05800 000
SUMMARY OF NATURE OF REQUEST AND WORK	PUD Plan for development of 3 story townhomes with accompanying infrastructure improvement such as road work, amenities and utility work.		

DATE OF PRE-APPLICATION CONFERENCE	12/07/2022	<i>Pre-application meetings are scheduled for Wednesdays.</i>
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SELECT REQUEST	SUBMITTALS SHALL INCLUDE BUT NOT LIMITED TO:
<input type="checkbox"/> Annexation <input type="checkbox"/> Rezoning <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input checked="" type="checkbox"/> PUD Preliminary Master Plan <input type="checkbox"/> PUD Final Site Plan <input type="checkbox"/> Multi-Family Site Plan <input type="checkbox"/> Other: <i>*File naming nomenclature examples: Freedom Point Site Plan Freedom Point Master Plan Freedom Point Final Plat</i>	<p><u>Annexations/Rezoning/PUD's:</u></p> <input type="checkbox"/> Written Legal Description copy <input checked="" type="checkbox"/> Requested Zone Listed <input checked="" type="checkbox"/> Compliance with Comprehensive Plan <input type="checkbox"/> Annexation Permission Form <input checked="" type="checkbox"/> Plans and/or Plats conforming to City standards with check list completed <input checked="" type="checkbox"/> Columbia Water System Availability Letter <p><u>Plats/PUDs:</u></p> <input checked="" type="checkbox"/> Project Name (include Sections & Phases) Honey Farm Residential Townhomes <hr/> <input checked="" type="checkbox"/> Total Number of Lots 1 <hr/> <input checked="" type="checkbox"/> Total acreage Gross Acreage - 25.87 acres <hr/>

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application.

Any requests to defer or move the item to future meetings dates must be requested by the resubmittal date listed on the Planning Commission schedule.


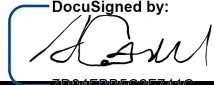
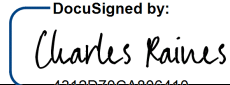
APPLICANT

All communications go to the Applicant's email that is provided.

NAME	Adam Crunk	PHONE	615-873-1795
ADDRESS	7112 Crossroads BLVD Suite 201 Brentwood, TN 37027	EMAIL	adam@crunkeng.com

PROPERTY OWNER NAME	Charles Raines	PHONE	615-456-7098
ADDRESS	P.O. Box 1715, Spring Hill, TN 37174	EMAIL	raines.monica@icloud.com

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

<u>Adam Crunk</u> APPLICANT NAME	 APPLICANT SIGNATURE	<u>12-12-2022</u> DATE
<u>Sandra Cantrell, Executor of the Estate of J.D. Eatherly</u> PROPERTY OWNER NAME	 PROPERTY OWNER SIGNATURE	<u>12/16/2022</u> DATE
<u>Charles Raines</u> PROPERTY OWNER NAME	 PROPERTY OWNER SIGNATURE	<u>12/16/2022</u> DATE

STAFF USE ONLY

DOCKET NO.		FEE PAID	
RECEIPT NO.		REQUESTED AGENDA	
DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS			
DATE OF PUBLIC NOTICES IN DAILY HERALD			
BOARD ACTION			



CITY OF COLUMBIA TENNESSEE
 ARCHITECTURAL DESIGN REVIEW
 STAFF REPORT

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 23-0048

APPLICANT/OWNER

Cole Gaumnitz/ Kure Properties & Jet Land Holdings, LLC

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

0 Industrial Park Road/ Tax Map 089, Parcel 46.00

PROJECT DESCRIPTION: New Construction, 0 Industrial Park Road

The applicant is requesting façade approval for the construction of 8 flex buildings and 5 industrial storage buildings within a proposed industrial park. Among the 8 buildings proposed, 4 will be 310 X 66 (20,150 SF) with 1 building being 258 X 65 (16,770 SF) and 1 building being 207 x 65 (13,455 SF). The largest building proposed will be 310 X 120 (37,200 SF). Five storage buildings proposed will each be 65 X 77 (5,005 SF).



EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	ACRES
SD-LI (Special District Light Industrial)	Vacant Land	SD-LI/ Industrial	8 Industrial Flex Buildings & 5 Industrial Storage Buildings	46.59 acres

Building Facade Design Standards Referenced:

Design Review by the Architectural Design Review Team is intended to protect the physical character of the City through additional review of certain proposed Developments meeting certain criteria.

B. Applicability.

Prior to issuance of a Building Permit, Design Review shall be required for the following:

1. Design of all Buildings and Structures within a Special District; and
2. Design of all Buildings and Structures Buildings

within a Planned Unit Development District.

G. Powers & Duties.

1. The Architectural Design Review Team shall be responsible for reviewing and making recommendations regarding proposals for Building Permit or Planned Unit Development approval.
2. Review by the Architectural Design Review Team shall be limited to the criteria established within this Ordinance.
3. As necessary, the Architectural Design Review Team shall periodically review and make recommendations regarding any necessary changes to the Building Facade Regulations within this Ordinance.

Building Materials			
Primary Building Material on Facades	Brick	P	Authentic stucco over masonry P
			Exposed concrete
	Natural stone	P	P Flex Buildings with Industrial Category Use
			NP Others
	Wood	P	Aluminum or vinyl siding NP
			Corrugated and/or sheet metal
	Cementitious siding	P	P Flex Buildings with Industrial Category Use
			NP Others

PLANNING STAFF EVALUATION:

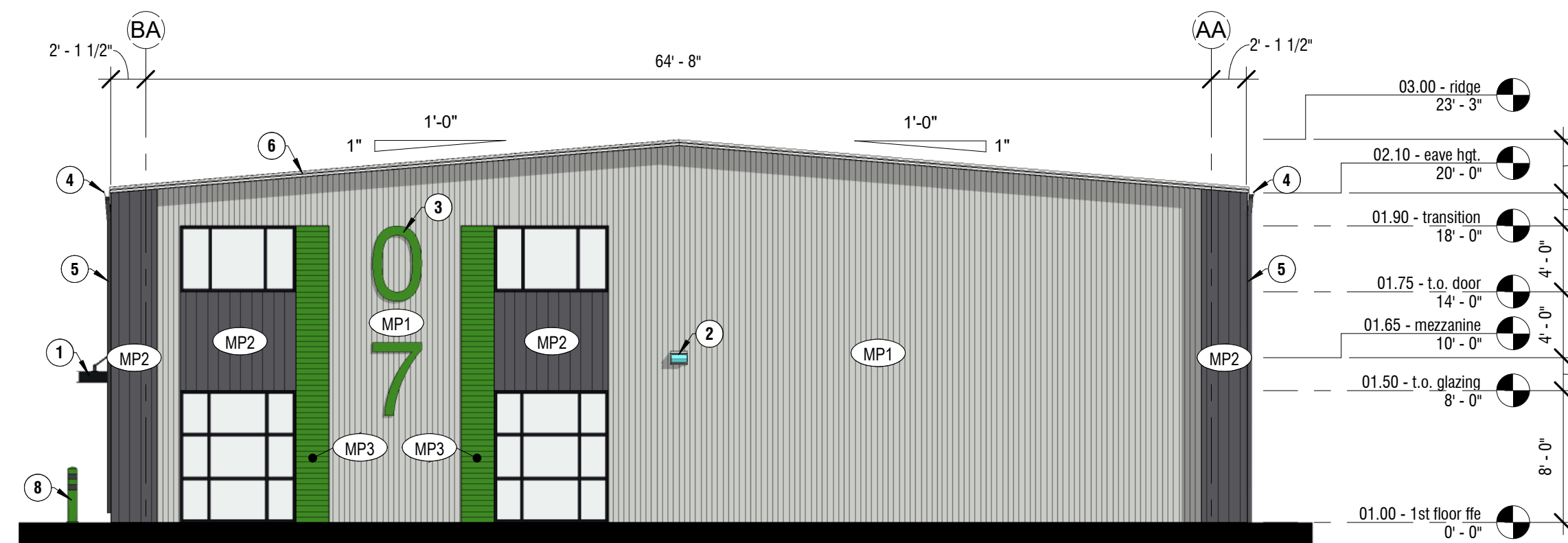
Overall façade material of proposed industrial flex buildings will consist of a combination of metal panels accented by rollup doors and storefront glass. Per the guidelines described, corrugated metal is an approved facade material within an SD LI district for the use of industrial flex buildings.



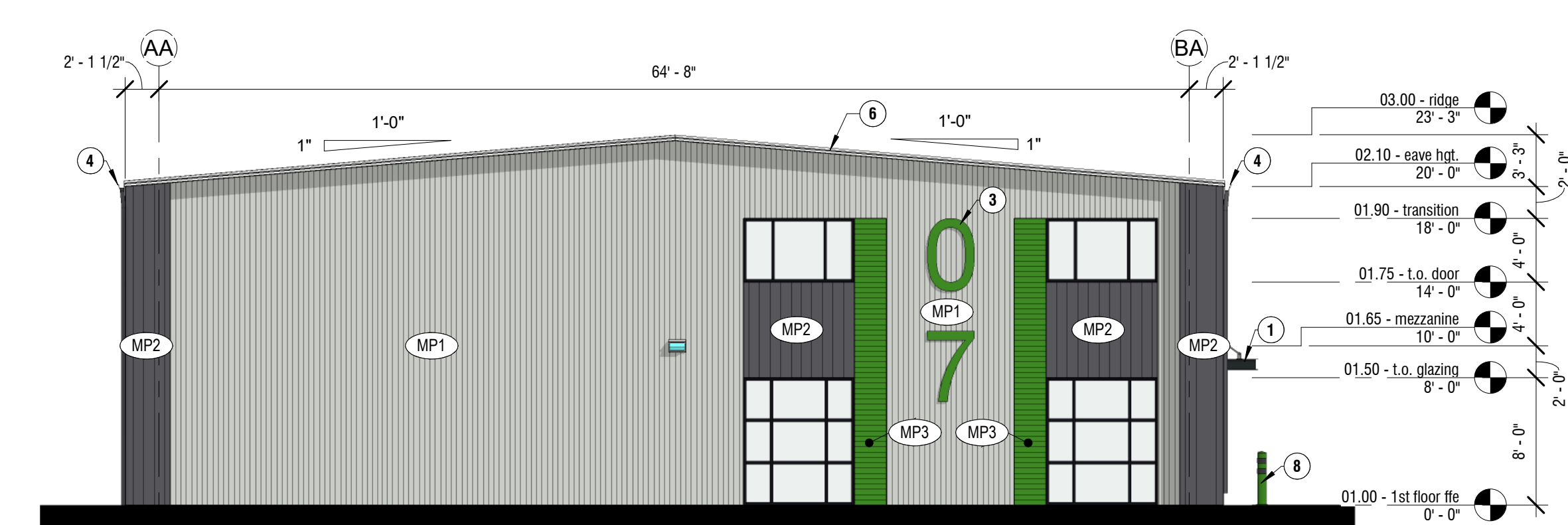
1 plan south building elevation
1/8" = 1'-0"



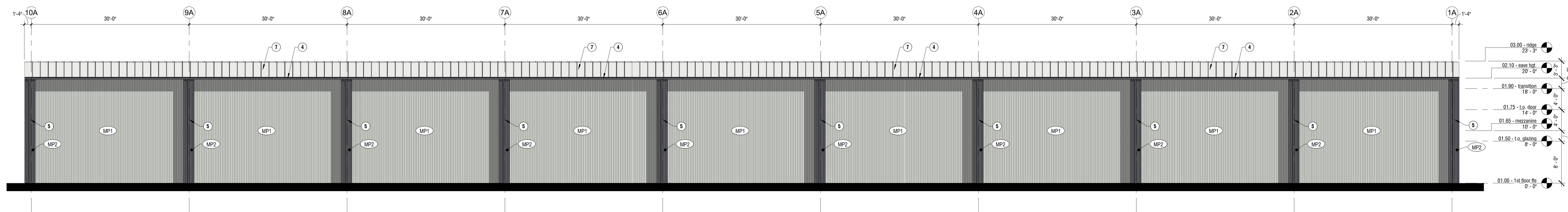
2 bldg type I - southwest corner perspective elevation



3 bldg I - east elevation
1/8" = 1'-0"



4 plan west building elevation
1/8" = 1'-0"



5 bldg I - north elevation
1/8" = 1'-0"

building I percentage of exterior materials

NORTH ELEVATION		WEST ELEVATION		SOUTH ELEVATION		EAST ELEVATION	
metal panel 5383 sf (100%)	a) HWP-12 stone white - 4988 sf (92.66%) b) HWP-12 graphite - 395 sf (7.34%) c) 7" reveal panel direct green - 0 sf (0%)	metal panel 1311 sf (88.64%)	a) HWP-12 stone white - 1042 sf (79.45%) b) HWP-12 graphite - 197 sf (13.32%) c) 7" reveal panel direct green - 72 sf (4.87%)	metal panel 2359 sf (43.82%)	a) HWP-12 stone white - 1345 sf (24.99%) b) HWP-12 graphite - 1014 sf (18.94%) c) 7" reveal panel direct green - 72 sf (4.87%)	metal panel 1311 sf (88.64%)	a) HWP-12 stone white - 1042 sf (79.45%) b) HWP-12 graphite - 197 sf (13.32%) c) 7" reveal panel direct green - 72 sf (4.87%)
door/window openings 0 sf (0%)	a) storefront window assembly black - 0 sf (0%) b) storefront door assembly black - 0 sf (0%) c) roll up door assembly white - 0 sf (0%)	door/window openings 168 sf (11.36%)	a) storefront window assembly black - 168 sf (11.36%) b) storefront door assembly black - 0 sf (0%) c) roll up door assembly white - 0 sf (0%)	door/window openings 3024 sf (56.18%)	a) storefront window assembly black - 1026 sf (19.06%) b) storefront door assembly black - 234 sf (4.35%) c) roll up door assembly white - 1764 sf (32.77%)	door/window openings 168 sf (11.36%)	a) storefront window assembly black - 168 sf (11.36%) b) storefront door assembly black - 0 sf (0%) c) roll up door assembly white - 0 sf (0%)
total facade 5383 sf		total facade 1,479 sf		total facade 5383 sf		total facade 1,479 sf	

TOTAL PROJECT
total metal panel || 10,364 sf (75.52%)
total storefront door & windows || 3,360 sf (24.48%)
overall facade totals || 13,724 sf

material legend

MP1	MANUFACTURER: PAC-CLAD PRODUCT: PRECISION SERIES HWP-12 COLOR NAME: STONE WHITE
MP2	MANUFACTURER: PAC-CLAD PRODUCT: PRECISION SERIES HWP-12 COLOR NAME: GRAPHITE
MP3	MANUFACTURER: PAC-CLAD PRODUCT: 7" REVEAL WALL PANEL COLOR NAME: SW6924 DIRECT GREEN
MP4	MANUFACTURER: PAC-CLAD METAL TRIM / GUTTER / DOWNSPOUT COLOR NAME: GRAPHITE

elevation keynotes

- ENTRY CANOPY - REFER TO DETAIL X/AXXX
- EXTERIOR LIGHTING - REFER TO ELECTRICAL
- EXTERIOR BUILDING GRAPHICS - PAINT USING SW6924 DIRECT GREEN
- ALUMINUM BOX GUTTER
- ALUMINUM DOWNSPOUT
- PEMB METAL FASCIA
- PEMB METAL ROOF - WHITE
- STEEL BOLLARD WITH CONCRETE FILL - SEE DETAIL X/AXXX
PAINT SW6924 DIRECT GREEN

zone 4 - building envelope requirements fenestration

METAL FRAMING	0.38
FIXED FENESTRATION	0.45
OPERABLE FENESTRATION	0.77
ENTRANCE DOORS	

SHGC - ALL FRAME TYPES	SEW	NORTH
ORIENTATION		
SHGC: PF < 0.20	0.36	0.48
SHGC: 0.20 < PF < 0.5	0.43	0.43
SHGC: PF > 0.5	0.58	0.58

zone 4 - building envelope requirements

ROOFS INSULATION ENTIRELY ABOVE DECK	R-19+R-11 LINER SYSTEM
WALLS ABOVE GRADE METAL BUILDING	R-13+R-13 CONTINUOUS
SLAB-ON-GRADE FLOORS UNHEATED SLABS	R-10 FOR 24IN. BELOW
OPAQUE DOORS SWINGING	U-0.61

general elevation notes

- STOREFRONT ASSEMBLIES:**
- DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
 - GLAZING TO BE 1" INSULATED PPG SOLAR CLEAR AND SOLARBAN 60 (3) CLEAR

hvac screening

ALL HVAC EQUIPMENT WILL BE ADEQUATELY SCREENED BY LANDSCAPING OR FENCING. SEE MECHANICAL DRAWINGS FOR LOCATIONS.

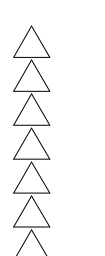
client:

KURE
PROPERTIES

project:

zero industrial park | office - warehouse
nine-unit office warehouse | single unit office warehouse
tax map 89 | parcel 046.00 || columbia, tennessee

revisions



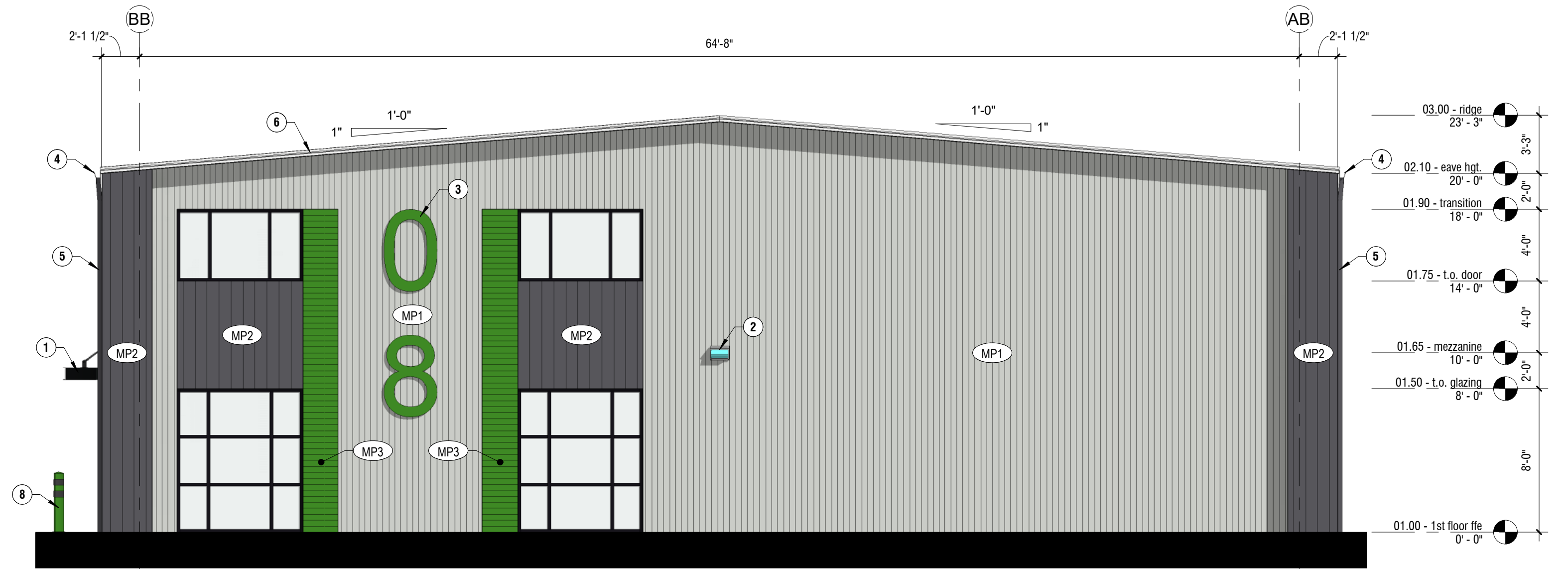
date: 03.10.2023
project no.: c23007.00

building I
elevations -
nine (9) unit
building

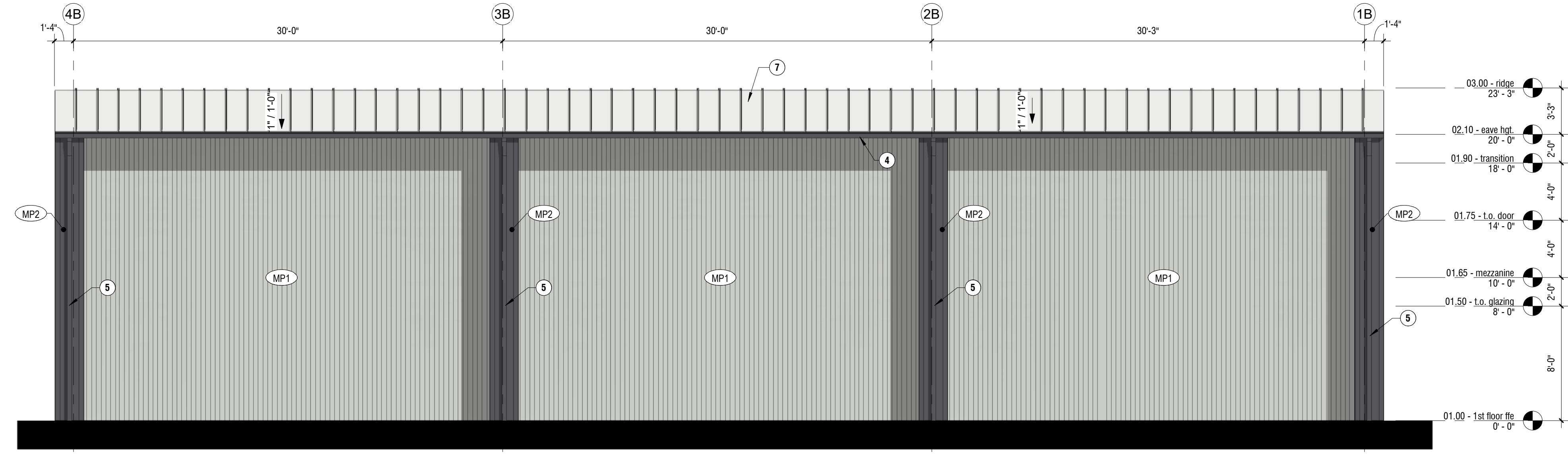
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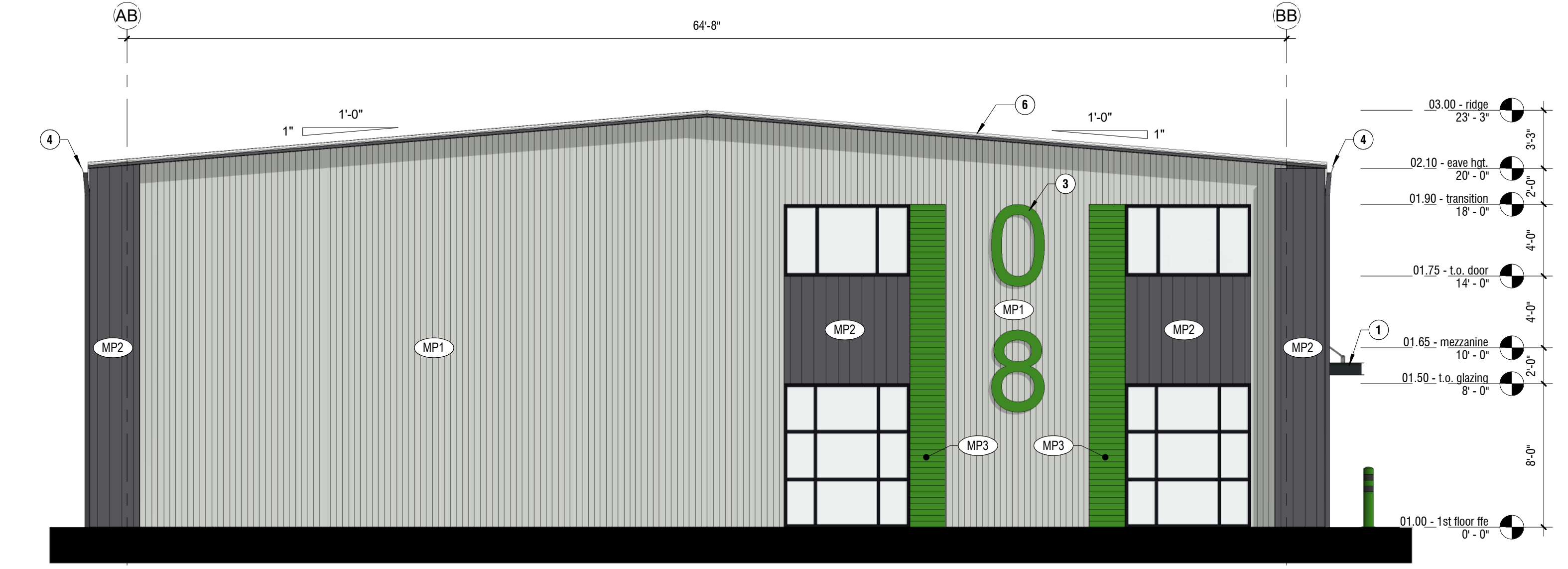
1 bldg type II - south elevation
3/16" = 1'-0"



2 bldg II - east elevation
3/16" = 1'-0"



3 bldg II - north elevation
3/16" = 1'-0"



4 bldg II - west elevation
3/16" = 1'-0"



5 bldg II - southwest corner perspective elevation
3/16" = 1'-0"

building II percentage of exterior materials

NORTH ELEVATION

metal panel || 1836 sf (100%)
 a) HWP-12 || stone white - 1678 sf (91.39%)
 b) HWP-12 || graphite - 158 sf (8.61%)
 c) 7" reveal panel || direct green - 0 sf (0%)

door/window openings || 0 sf (0%)
 a) storefront window assembly || black - 0 sf (0%)
 b) storefront door assembly || black - 0 sf (0%)
 c) roll up door assembly || white - 0 sf (0%)

total facade || 1836 sf

TOTAL PROJECT

total metal panel || 5,286 sf (79.73%)
 total storefront door & windows || 1,344 sf (20.27%)
 overall facade totals || 6,630 sf

WEST ELEVATION

metal panel || 1311 sf (88.64%)
 a) HWP-12 || stone white - 1042 sf (79.45%)
 b) HWP-12 || graphite - 197 sf (13.32%)
 c) 7" reveal panel || direct green - 72 sf (4.87%)

door/window openings || 168 sf (11.36%)
 a) storefront window assembly || black - 168 sf (11.36%)
 b) storefront door assembly || black - 0 sf (0%)
 c) roll up door assembly || white - 0 sf (0%)

total facade || 1,479 sf

SOUTH ELEVATION

metal panel || 828 sf (45.09%)
 a) HWP-12 || stone white - 446 sf (24.29%)
 b) HWP-12 || graphite - 197 sf (13.32%)
 c) 7" reveal panel || direct green - 0 sf (0%)

door/window openings || 1008 sf (54.91%)
 a) storefront window assembly || black - 342 sf (18.63%)
 b) storefront door assembly || black - 78 sf (4.24%)
 c) roll up door assembly || white - 588 sf (32.03%)

total facade || 1836 sf

EAST ELEVATION

metal panel || 1311 sf (88.64%)
 a) HWP-12 || stone white - 1042 sf (79.45%)
 b) HWP-12 || graphite - 197 sf (13.32%)
 c) 7" reveal panel || direct green - 72 sf (4.87%)

door/window openings || 168 sf (11.36%)
 a) storefront window assembly || black - 168 sf (11.36%)
 b) storefront door assembly || black - 0 sf (0%)
 c) roll up door assembly || white - 0 sf (0%)

total facade || 1,479 sf

material legend

- MP1 MANUFACTURER: PAC-CLAD
PRODUCT: PRECISION SERIES HWP-12
COLOR NAME: STONE WHITE
- MP2 MANUFACTURER: PAC-CLAD
PRODUCT: PRECISION SERIES HWP-12
COLOR NAME: GRAPHITE
- MP3 MANUFACTURER: PAC-CLAD
PRODUCT: 7" REVEAL WALL PANEL
COLOR NAME: SW6924 DIRECT GREEN
- MP4 MANUFACTURER: PAC-CLAD
METAL TRIM / GUTTER / DOWNSPOUT
COLOR NAME: GRAPHITE

elevation keynotes

- 1 ENTRY CANOPY - REFER TO DETAIL X4XXX
- 2 EXTERIOR LIGHTING - REFER TO ELECTRICAL
- 3 EXTERIOR BUILDING GRAPHICS - PAINT USING SW6924 DIRECT GREEN
- 4 ALUMINUM BOX GUTTER
- 5 ALUMINUM DOWNSPOUT
- 6 PEMB METAL FASCIA
- 7 PEMB METAL ROOF - WHITE
- 8 STEEL BOLLARD WITH CONCRETE FILL - SEE DETAIL X4XXX
PAINT SW6924 DIRECT GREEN

zone 4 - building envelope requirements fenestration

METAL FRAMING	SEW	NORTH
FIXED FENESTRATION	0.38	0.48
OPERABLE FENESTRATION	0.45	0.43
ENTRANCE DOORS	0.77	0.58

zone 4 - building envelope requirements

ROOFS INSULATION ENTIRELY ABOVE DECK	R-19+R-11 LINER SYSTEM
WALLS ABOVE GRADE METAL BUILDING	R-13+R-13 CONTINUOUS
SLAB-ON-GRADE FLOORS UNHEATED SLABS	R-10 FOR 24IN. BELOW
OPAQUE DOORS SWINGING	U-0.61

general elevation notes

- STOREFRONT ASSEMBLIES:
1. DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
 2. GLAZING TO BE 1" INSULATED PPG SOLAR CLEAR AND SOLARBAN 90 (S) CLEAR

hvac screening

ALL HVAC EQUIPMENT WILL BE ADEQUATELY SCREENED BY LANDSCAPING OR FENCING. SEE MECHANICAL DRAWINGS FOR LOCATIONS.



① plan southwest building perspective



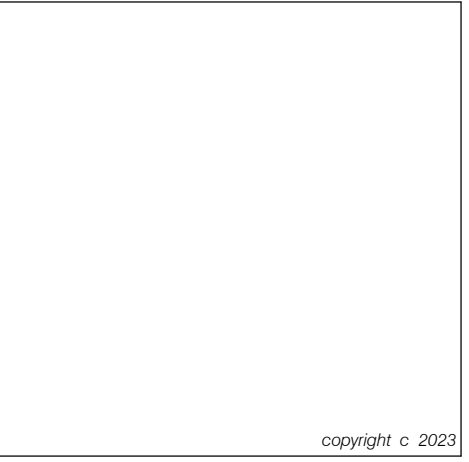
② plan southeast building perspective

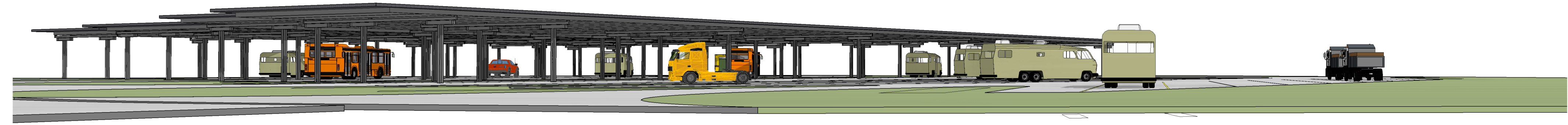
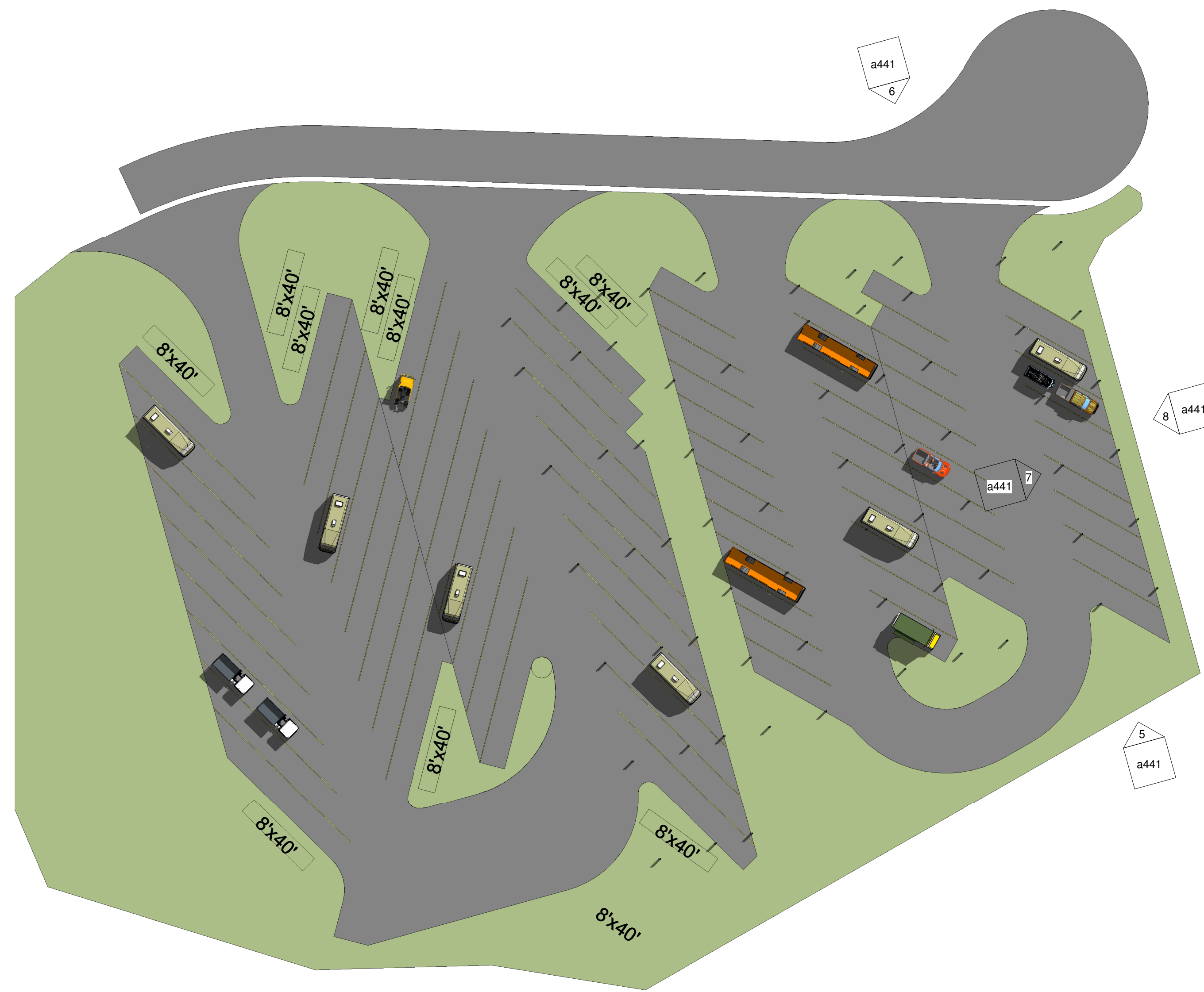


③ building II - southeast building perspective

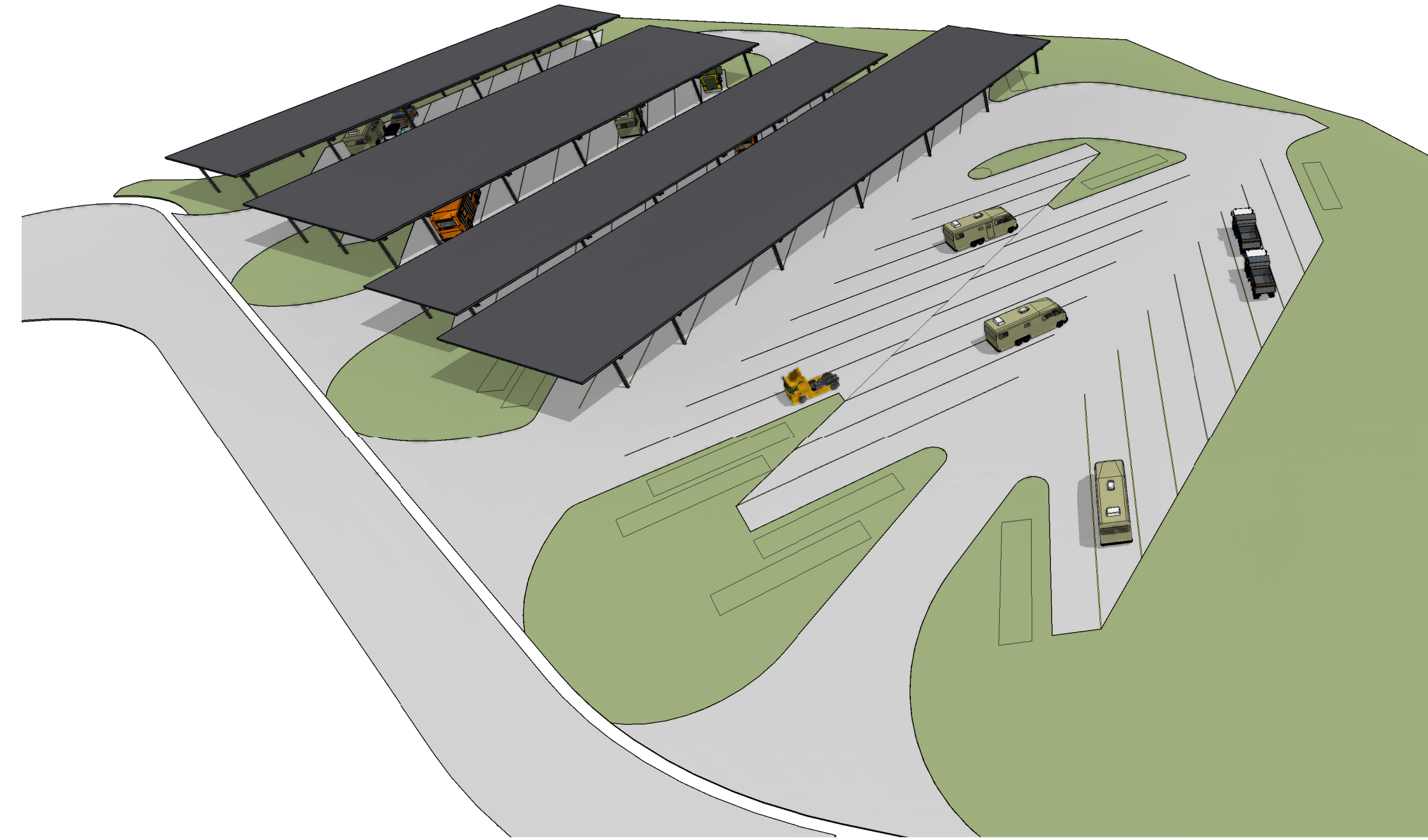


④ building II - southwest building perspective

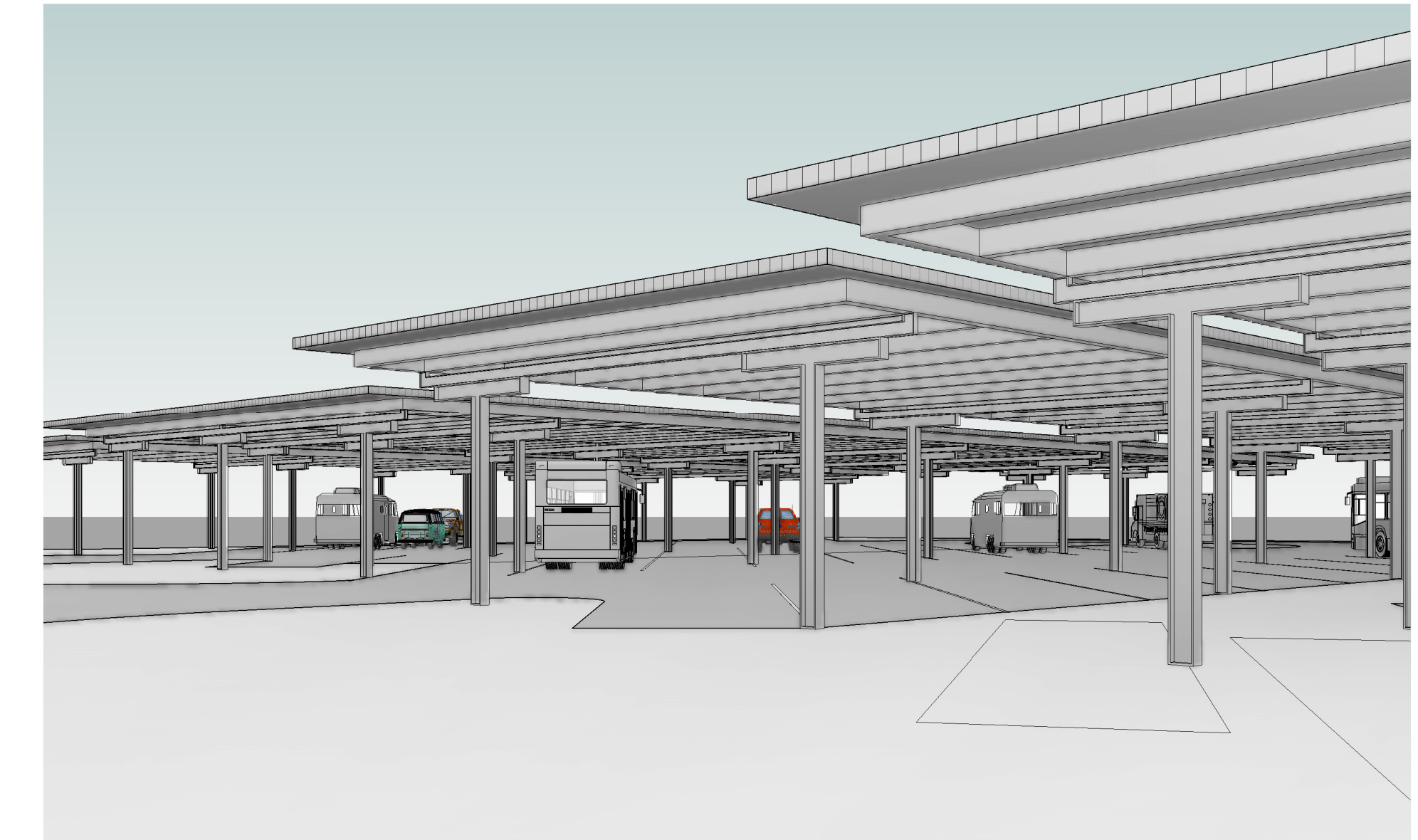




2 streetview perspective at entry to rv storage



3 aerial perspective of rv storage area



4 streetview perspective detail view

1 01.00 - 1st floor rv storage shelter area
1" = 40'-0"

elevation keynotes

- 1 ENTRY CANOPY - REFER TO DETAIL X/XXXX
- 2 EXTERIOR LIGHTING - REFER TO ELECTRICAL
- 3 EXTERIOR BUILDING GRAPHICS - PAINT USING SW6924 DIRECT GREEN
- 4 ALUMINUM BOX GUTTER
- 5 ALUMINUM DOWNSPOUT
- 6 PEMB METAL FASCIA
- 7 PEMB METAL ROOF - WHITE
- 8 STEEL BOLLARD WITH CONCRETE FILL - SEE DETAIL X/XXXX
PAINT SW6924 DIRECT GREEN

zone 4 - building envelope requirements fenestration

METAL FRAMING	FIXED FENESTRATION	OPENABLE FENESTRATION	ENTRANCE DOORS
0.38	0.36	0.43	0.77

SHGC - ALL FRAME TYPES	SEW	NORTH
SHGC: PF < 0.20	0.36	0.48
SHGC: 0.20 < PF < 0.5	0.43	0.43
SHGC: PF > 0.5	0.58	0.58

zone 4 - building envelope requirements

ROOFS	INSULATION ENTIRELY ABOVE DECK	R-19+R-11 LINER SYSTEM
WALLS ABOVE GRADE	METAL BUILDING	R-13+R-13 CONTINUOUS
SLAB-ON-GRADE FLOORS	UNHEATED SLABS	R-10 FOR 24IN. BELOW
OPAQUE DOORS	SWINGING	U-0.61

general elevation notes

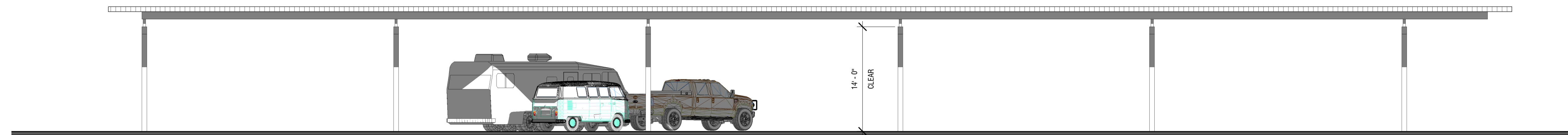
- STOREFRONT ASSEMBLIES:**
- DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
 - GLAZING TO BE 1" INSULATED PPG SOLAR CLEAR AND SOLARBAN 60 (9) CLEAR

hvac screening

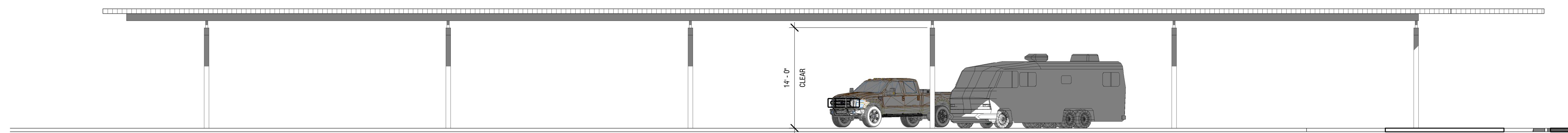
ALL HVAC EQUIPMENT WILL BE ADEQUATELY SCREENED BY LANDSCAPING OR FENCING. SEE MECHANICAL DRAWINGS FOR LOCATIONS.

material legend

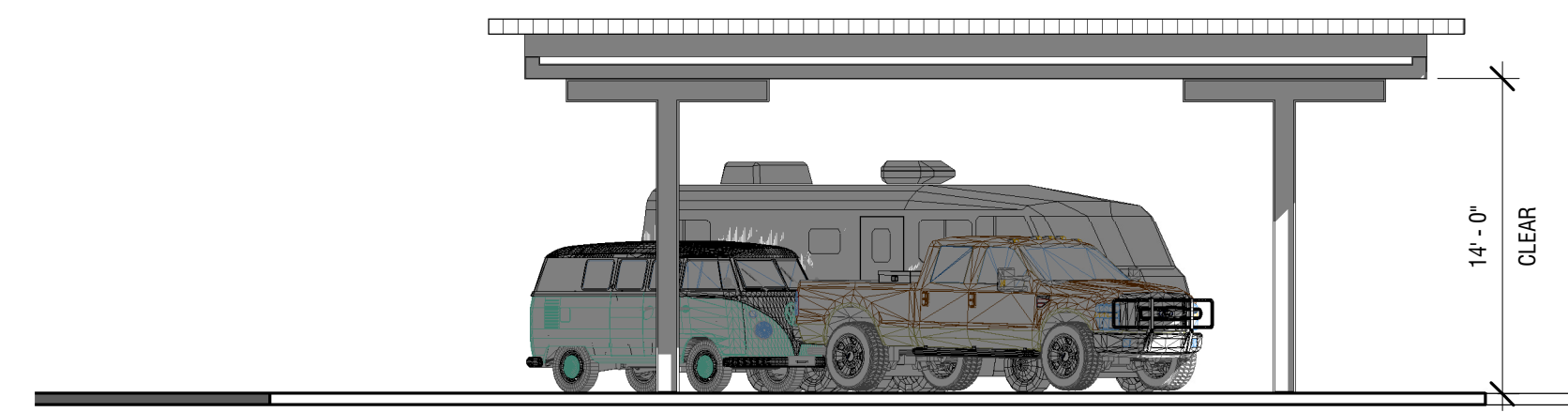
- MP1 MANUFACTURER: PAC-CLAD
PRODUCT: PRECISION SERIES HWP-12
COLOR NAME: STONE WHITE
- MP2 MANUFACTURER: PAC-CLAD
PRODUCT: PRECISION SERIES HWP-12
COLOR NAME: GRAPHITE
- MP3 MANUFACTURER: PAC-CLAD
PRODUCT: 7" REVEAL WALL PANEL
COLOR NAME: SW6924 DIRECT GREEN
- MP4 MANUFACTURER: PAC-CLAD
METAL TRIM / GUTTER / DOWNSPOUT
COLOR NAME: GRAPHITE



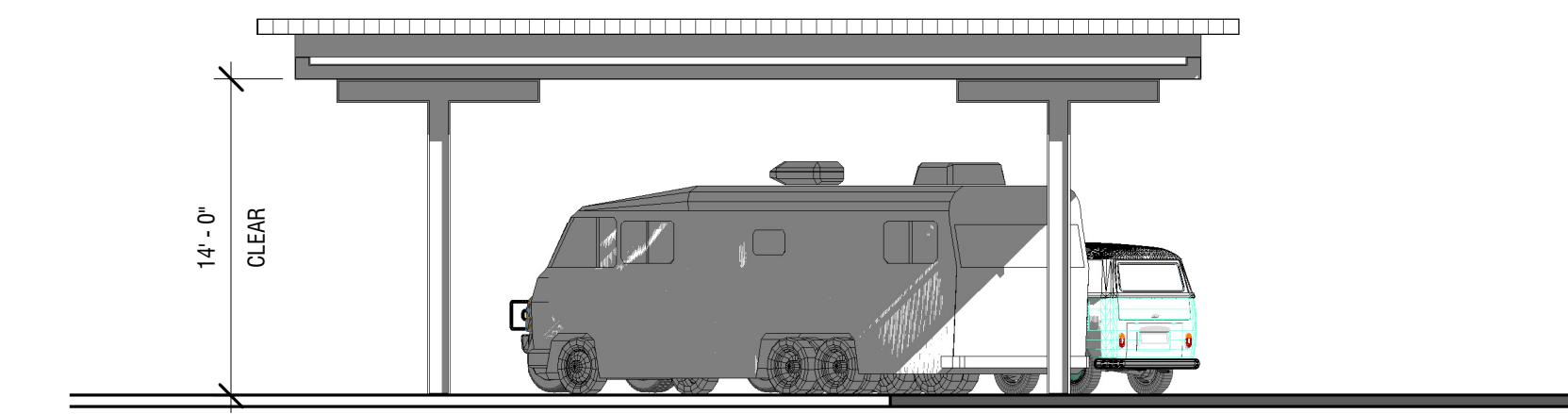
7 rv shelter 1 - plan west elevation
1/8" = 1'-0"



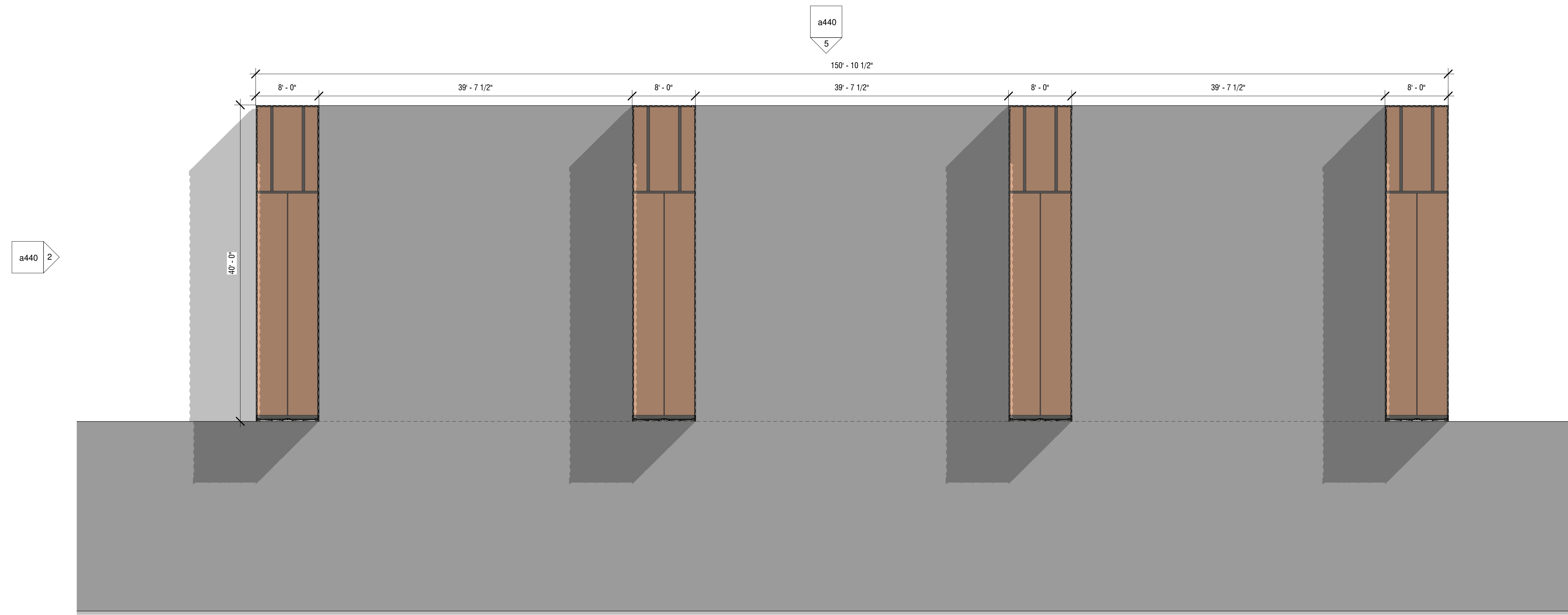
8 rv shelter 1 - plan east elevation
1/8" = 1'-0"



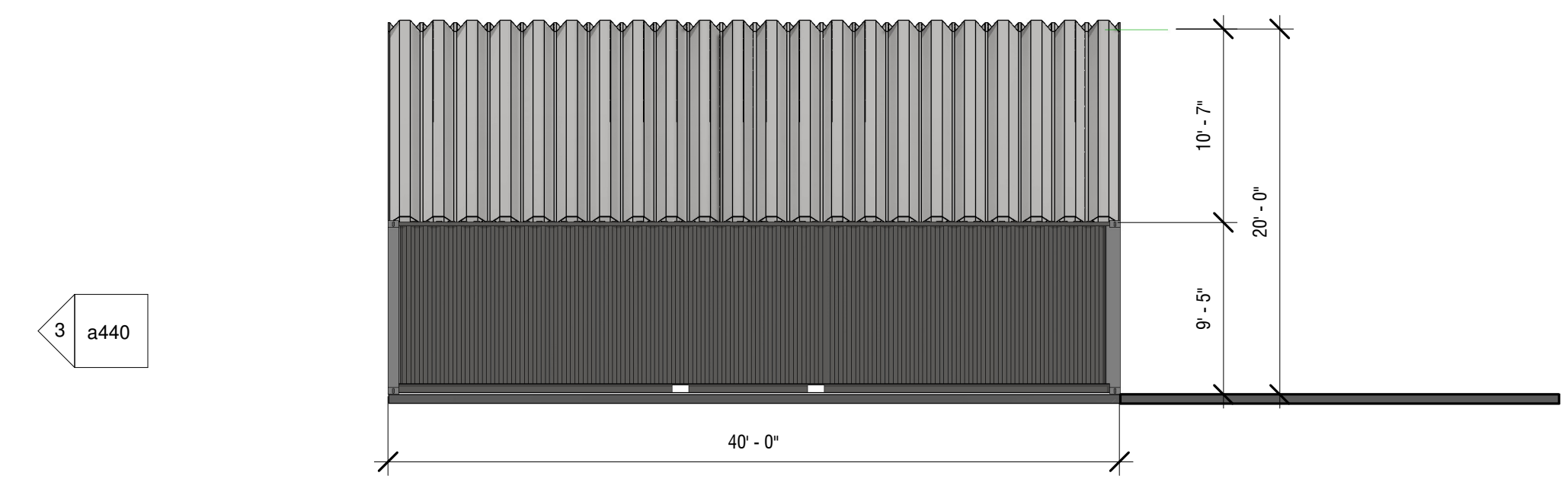
5 rv shelter 1 - plan south elevation
1/8" = 1'-0"



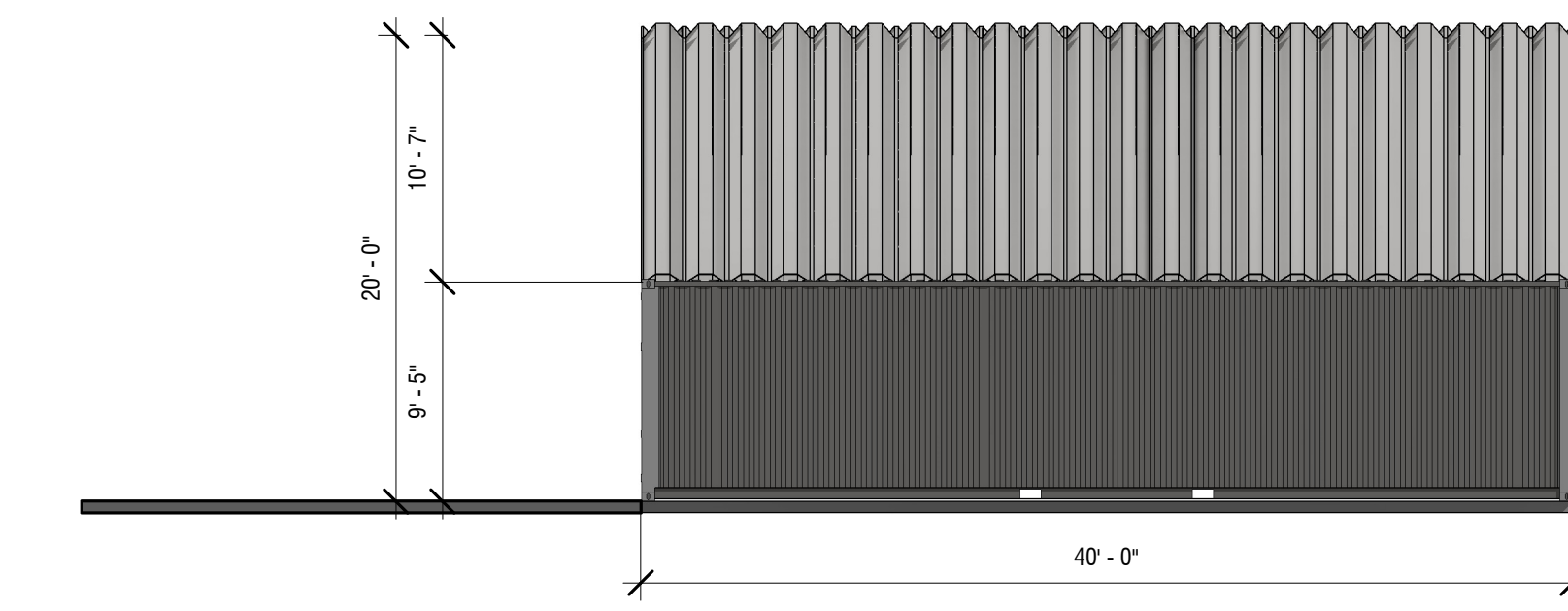
6 rv shelter 1 - plan north elevation
1/8" = 1'-0"



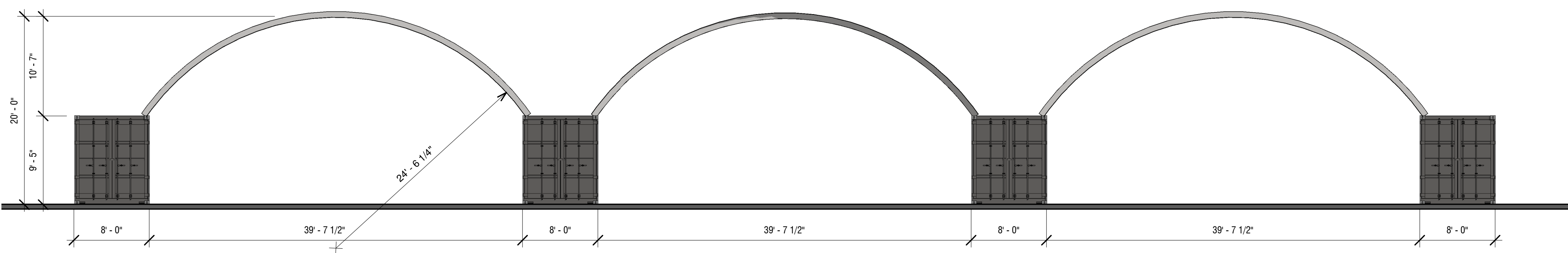
1 quonset hut office and lay in area
1/8" = 1'-0"



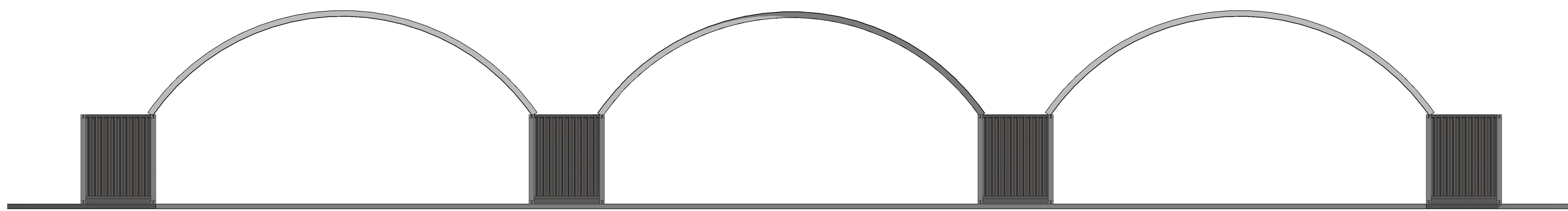
2 side elevation (left) - quonset hut
1/8" = 1'-0"



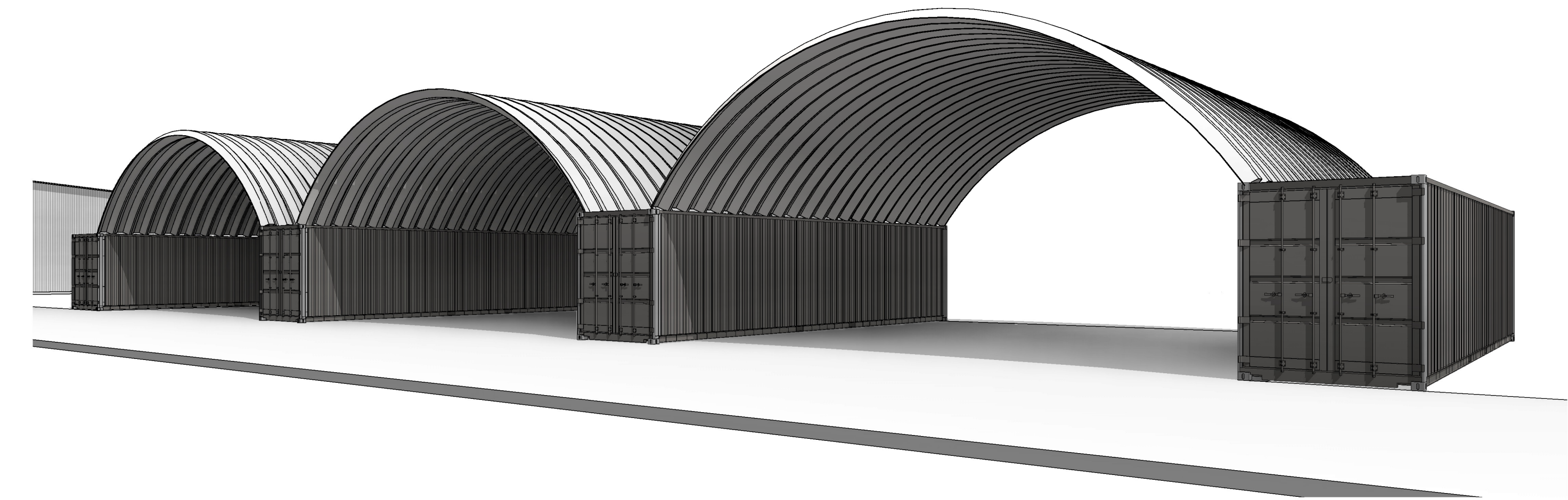
3 side elevation (right) - quonset hut
1/8" = 1'-0"



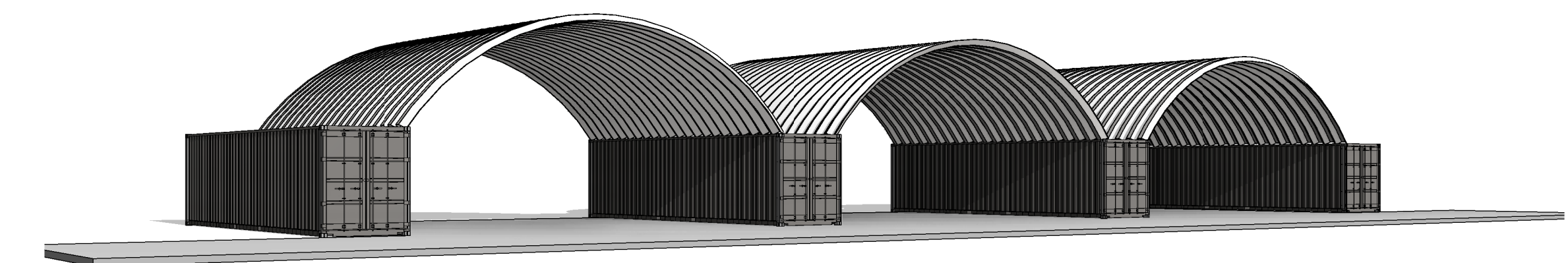
4 front elevation - quonset hut
1/8" = 1'-0"



5 rear elevation - quonset hut
1/8" = 1'-0"



6 detail perspective view of typical quonset bay



7 perspective view of typical quonset grouping

material legend

MP1		MANUFACTURER: PAC-CLAD PRODUCT: PRECISION SERIES HWP-12 COLOR NAME: STONE WHITE
MP2		MANUFACTURER: PAC-CLAD PRODUCT: PRECISION SERIES HWP-12 COLOR NAME: GRAPHITE
MP3		MANUFACTURER: PAC-CLAD PRODUCT: 7\"/>

elevation keynotes

- 1 ENTRY CANOPY - REFER TO DETAIL X4XXX
- 2 EXTERIOR LIGHTING - REFER TO ELECTRICAL
- 3 EXTERIOR BUILDING GRAPHICS - PAINT USING SW6924 DIRECT GREEN
- 4 ALUMINUM BOX GUTTER
- 5 ALUMINUM DOWNSPOUT
- 6 PEMB METAL FASCIA
- 7 PEMB METAL ROOF - WHITE
- 8 STEEL BOLLARD WITH CONCRETE FILL - SEE DETAIL X4XXX
PAINT SW6924 DIRECT GREEN

zone 4 - building envelope requirements fenestration

METAL FRAMING	0.38
FIXED FENESTRATION	0.45
OPERABLE FENESTRATION	0.77
ENTRANCE DOORS	
SHGC - ALL FRAME TYPES	
ORIENTATION	SEW NORTH
SHGC: PF < 0.20	0.38 0.48
SHGC: 0.20 < PF < 0.5	0.43 0.43
SHGC: PF > 0.5	0.58 0.58

zone 4 - building envelope requirements

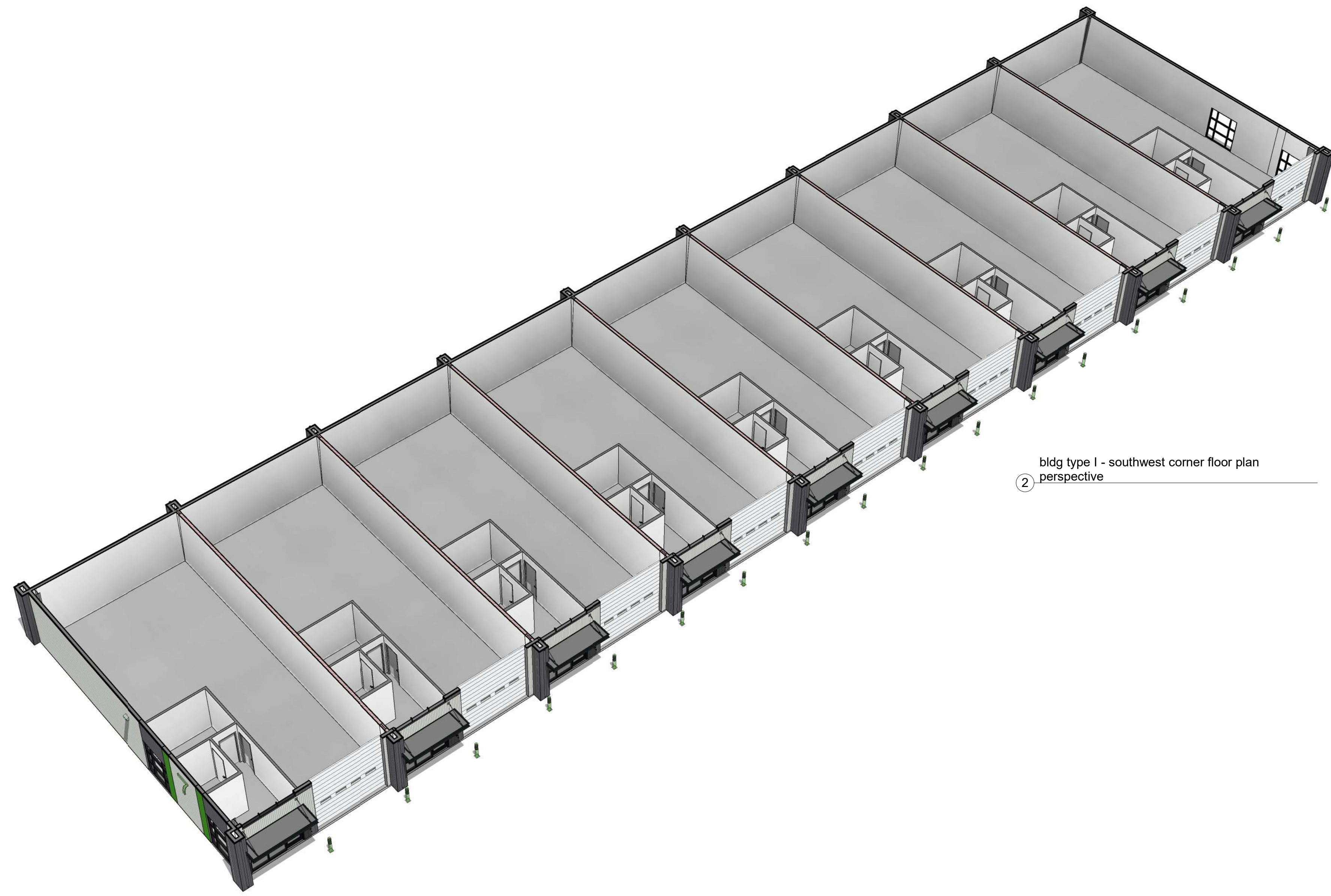
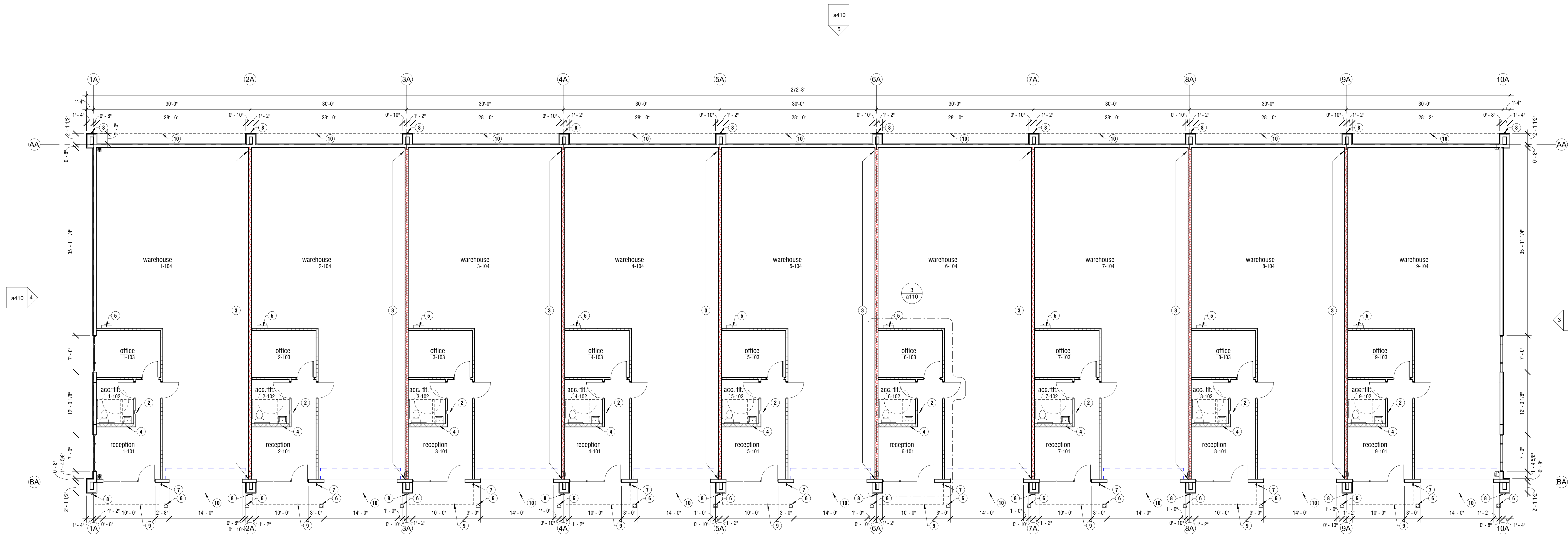
ROOFS	R-19+R-11 LINER SYSTEM
INSULATION ENTIRELY ABOVE DECK	
WALLS ABOVE GRADE	R-13+R-13 CONTINUOUS
METAL BUILDING	
SLAB-ON-GRADE FLOORS	R-10 FOR 24IN. BELOW
UNHEATED SLABS	
OPAQUE DOORS	U-0.61
SWINGING	

general elevation notes

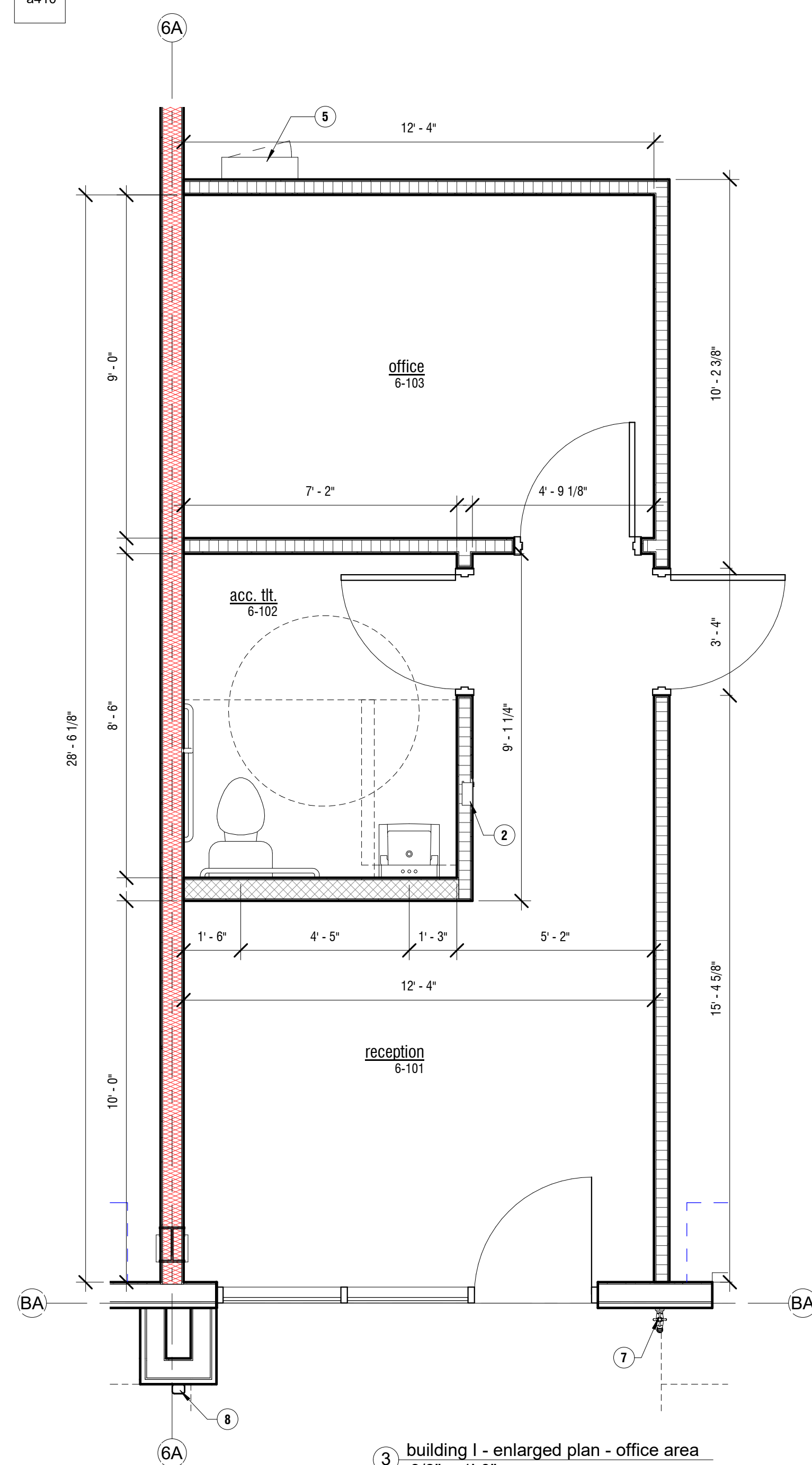
- STOREFRONT ASSEMBLIES:**
1. DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
 2. GLAZING TO BE 1\"/>

hvac screening

ALL HVAC EQUIPMENT WILL BE ADEQUATELY SCREENED BY LANDSCAPING OR FENCING. SEE MECHANICAL DRAWINGS FOR LOCATIONS.

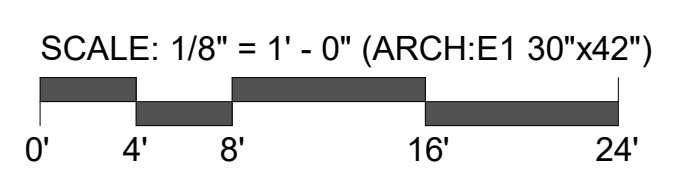


2 bldg type I - southwest corner floor plan perspective



3 building I - enlarged plan - office area
3/8" = 1'-0"

1 first floor noted plan
1/8" = 1'-0"



wall legend

- (A) 3-5/8" METAL STUD FRAMED SOUND PARTITION - REFER TO DETAIL XX/GXXX
- (B) 6" METAL STUD FRAMED PLUMBING PARTITION - REFER TO DETAIL XX/GXXX
- (C) 6" METAL STUD FRAMED ONE-HOUR RATED PARTITION - REFER TO DETAIL XX/GXXX
- (W) EXTERIOR WALL ASSEMBLY - REFER TO DETAIL XX/GXXX

plan notes

- 1 WALL MOUNTED FIRE EXTINGUISHER - REFER TO DETAIL 3/G300.
- 2 RECESSED FIRE EXTINGUISHER - REFER TO DETAIL 4/G300.
- 3 1 HOUR RATED DEMISING WALL - REFER TO DETAIL X/G200 & X/G210
- 4 6" INTERIOR METAL STUD FRAMED WALL FOR PLUMBING AND/OR VENTING.
- 5 ELECTRICAL PANEL - REFER TO ELECTRICAL.
- 6 SAFETY BOLLARD - REFER TO DETAIL X/XXXX.
- 7 HOSE BIB - REFER TO PLUMBING.
- 8 PREFINISHED ALUMINUM DOWNSPOUT.
- 9 EXTENT OF CANOPY ABOVE.
- 10 EXTENT OF ROOF ABOVE.

symbols

- NEW DOOR (TYPE A) - REFER TO SHEET A600
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET.

general notes

1. REFER TO SHEET A600 FOR DOOR TYPES AND DOOR SCHEDULE.
2. ALL PUBLIC CORRIDORS TO MAINTAIN A MINIMUM OF 4'-0" CLEAR.
3. RAISE UNIT STYLE DOORS TO MEET VENTILATION REQUIREMENTS - REFER TO MECHANICAL.

client:
KURE PROPERTIES

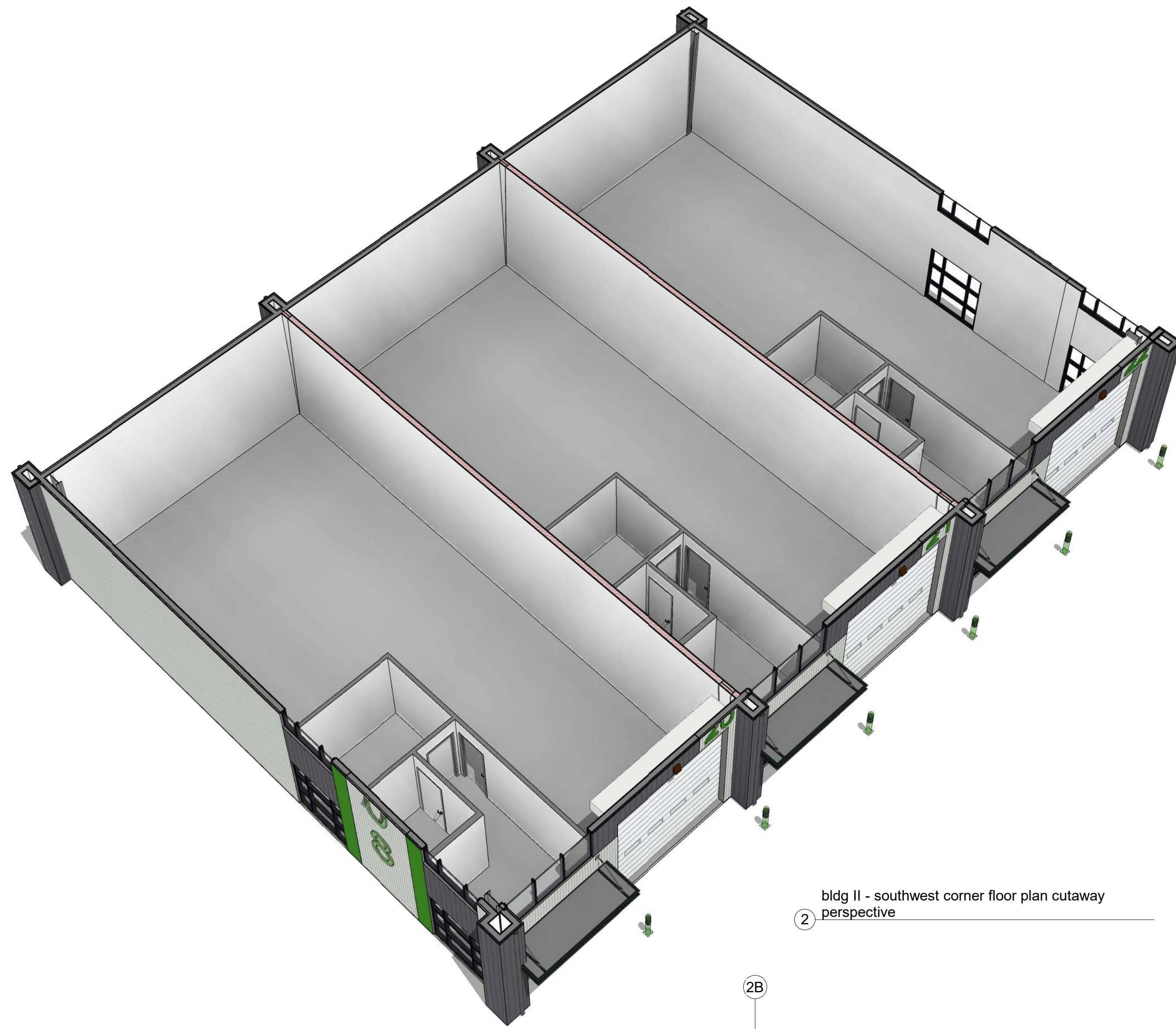
project:
zero industrial park | office - warehouse
 nine-unit office warehouse | single unit office warehouse
 tax map 89 | parcel 046.00 | columbia, tennessee

revisions

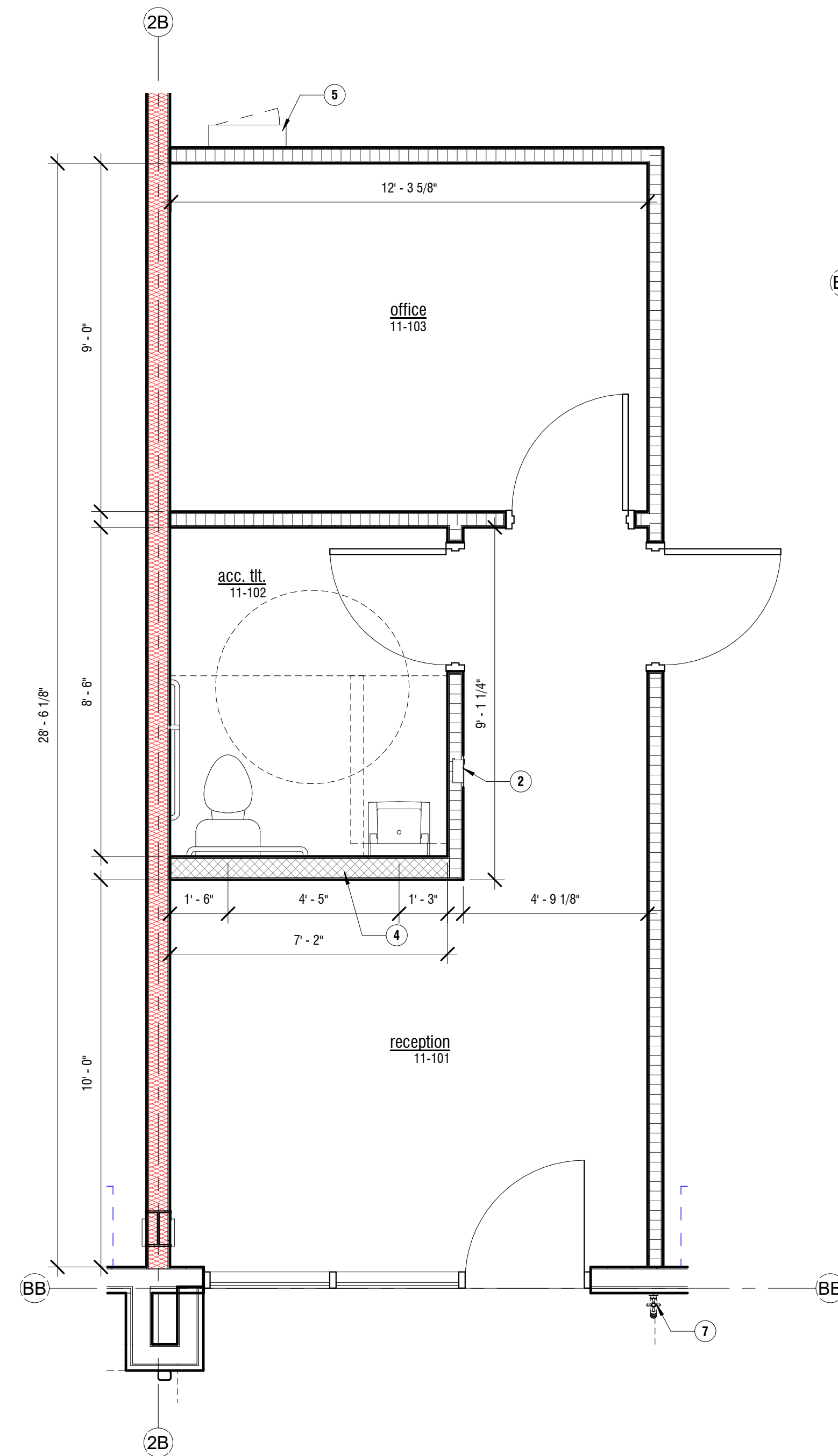
date: 02.12.2023
 project no.: c23007.00

first floor
 noted &
 dimensioned
 plan - bldg
 type I

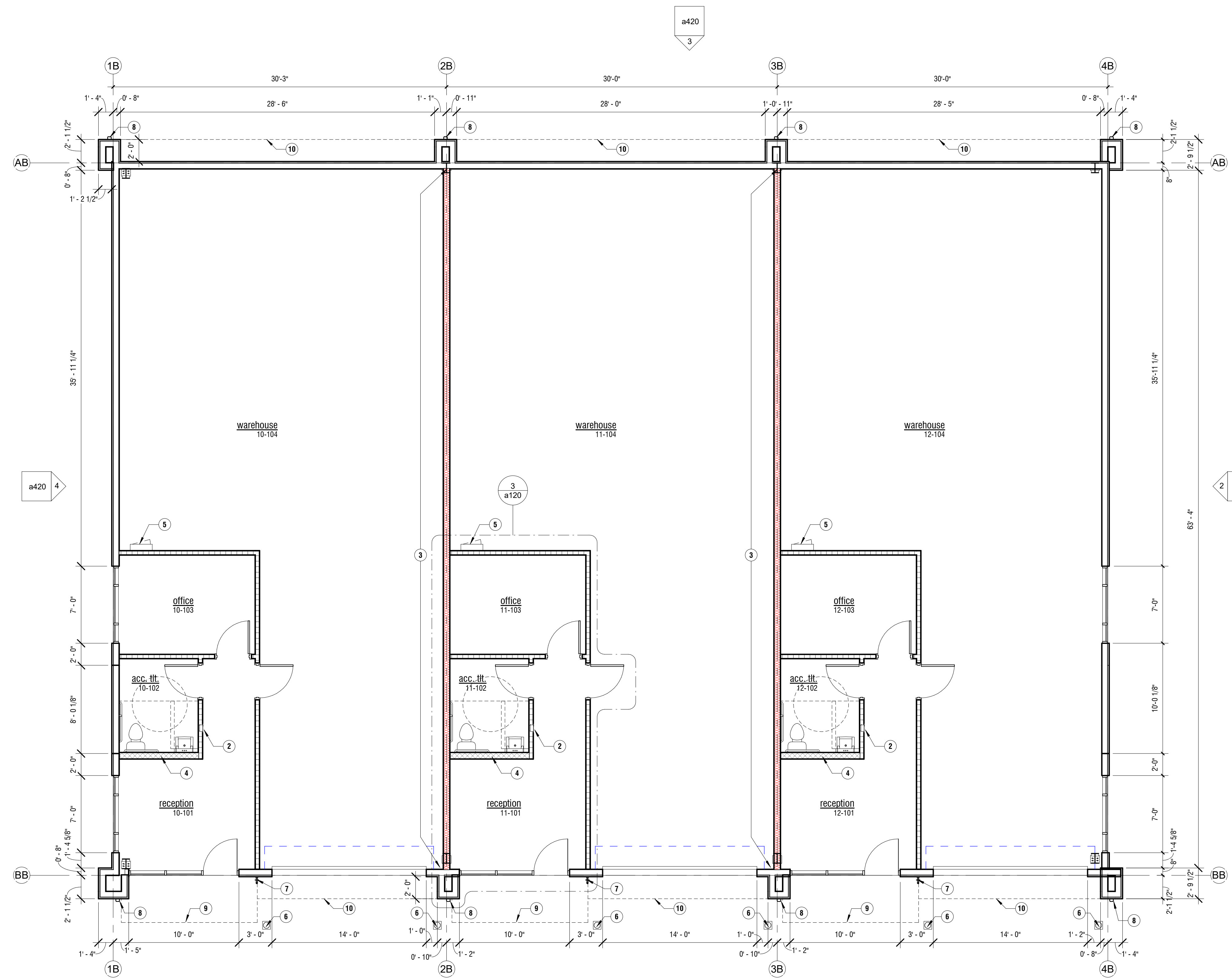
a110



2 bldg II - southwest corner floor plan cutaway perspective



3 building II - enlarged plan - office area
3/8" = 1'-0"

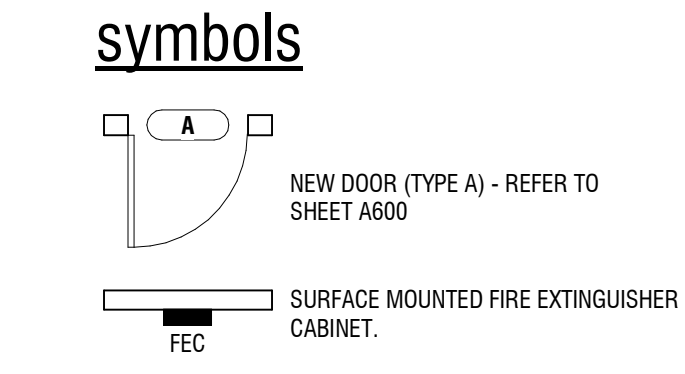


01 first floor noted plan - bldg type II
3/16" = 1'-0"

wall legend

(A) 3'-5 1/8" METAL STUD FRAMED SOUND PARTITION - REFER TO DETAIL XX/GXXX
(B) 6" METAL STUD FRAMED PLUMBING PARTITION - REFER TO DETAIL XX/GXXX
(C) 6" METAL STUD FRAMED ONE-HOUR RATED PARTITION - REFER TO DETAIL XX/GXXX
(W1) EXTERIOR WALL ASSEMBLY - REFER TO DETAIL XX/GXXX

- plan notes**
- 1 WALL MOUNTED FIRE EXTINGUISHER - REFER TO DETAIL 3/G300.
 - 2 RECESSED FIRE EXTINGUISHER - REFER TO DETAIL 4/G300.
 - 3 1 HOUR RATED DEMISING WALL - REFER TO DETAIL X/G200 & X/G210
 - 4 6" INTERIOR METAL STUD FRAMED WALL FOR PLUMBING AND/OR VENTING.
 - 5 ELECTRICAL PANEL - REFER TO ELECTRICAL.
 - 6 SAFETY BOLLARD - REFER TO DETAIL X/XXXX.
 - 7 HOSE BIB - REFER TO PLUMBING.
 - 8 PREFINISHED ALUMINUM DOWNSPOUT.
 - 9 EXTENT OF CANOPY ABOVE.
 - 10 EXTENT OF ROOF ABOVE.



- general notes**
1. REFER TO SHEET A600 FOR DOOR TYPES AND DOOR SCHEDULE.
 2. ALL PUBLIC CORRIDORS TO MAINTAIN A MINIMUM OF 4' CLEAR.
 3. RAISE UNIT STYLE DOORS TO MEET VENTILATION REQUIREMENTS - REFER TO MECHANICAL.

client:
KURE PROPERTIES

project:
 zero industrial park | office - warehouse
 nine-unit office warehouse | single unit office warehouse
 tax map 89 | parcel 046.00 | columbia, tennessee

revisions

date: 02.12.2023
 project no.: c23007.00

first floor
 noted &
 dimensioned
 plan - bldg
 type II

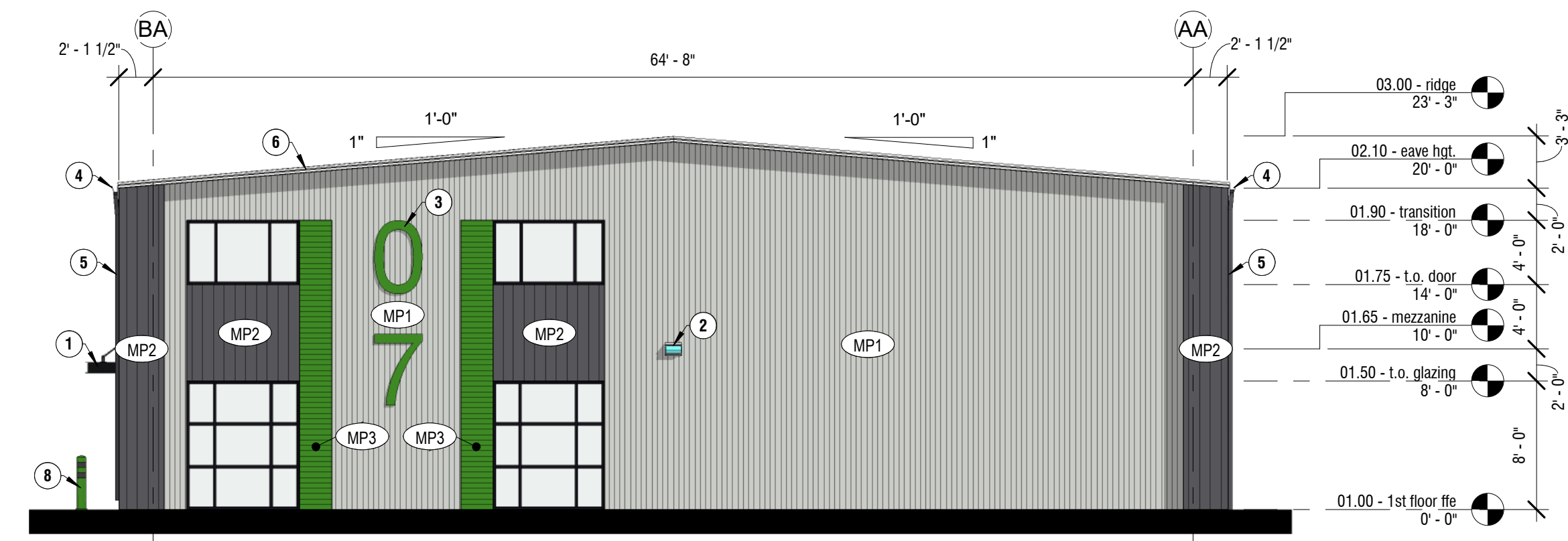
a120



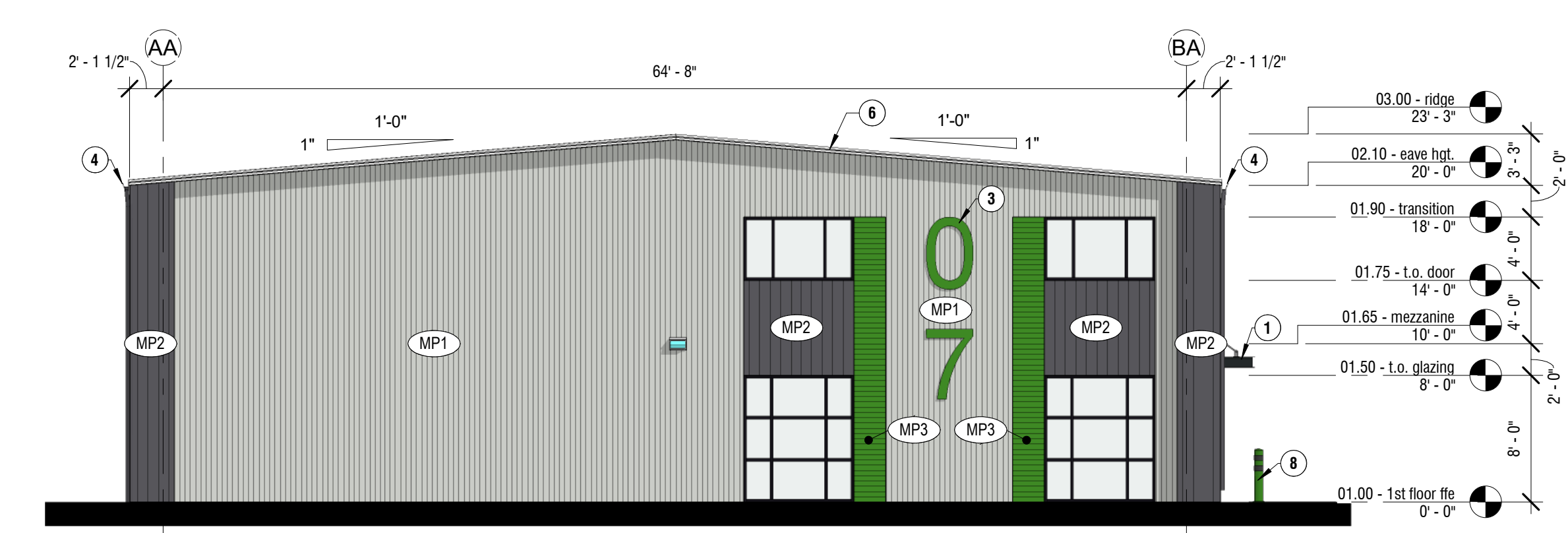
1 plan south building elevation
1/8" = 1'-0"



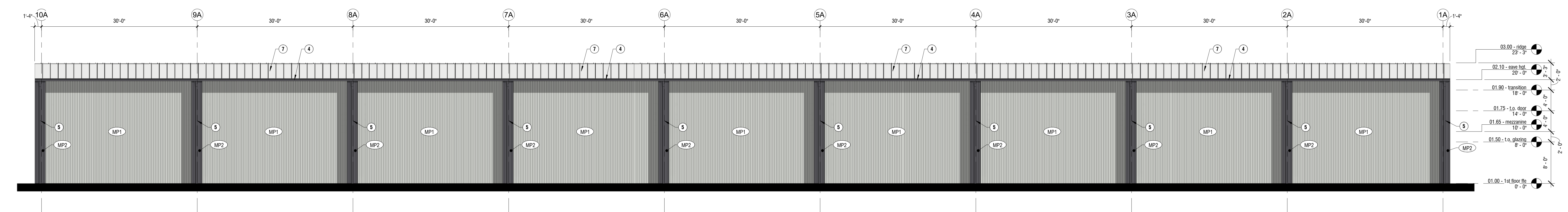
2 bldg type I - southwest corner perspective elevation



3 bldg I - east elevation
1/8" = 1'-0"



4 plan west building elevation
1/8" = 1'-0"



5 bldg I - north elevation
1/8" = 1'-0"

building I percentage of exterior materials

NORTH ELEVATION		WEST ELEVATION		SOUTH ELEVATION		EAST ELEVATION	
metal panel 5383 sf (100%)	a) HWP-12 stone white - 4988 sf (92.66%)	metal panel 1311 sf (88.64%)	a) HWP-12 stone white - 1042 sf (79.45%)	metal panel 2359 sf (43.82%)	a) HWP-12 stone white - 1345 sf (57.05%)	metal panel 1311 sf (88.64%)	a) HWP-12 stone white - 1042 sf (79.45%)
	b) HWP-12 graphite - 295 sf (7.34%)		b) HWP-12 graphite - 197 sf (13.32%)		b) HWP-12 graphite - 1014 sf (43.32%)		b) HWP-12 graphite - 197 sf (13.32%)
	c) 7" reveal panel direct green - 0 sf (0%)		c) 7" reveal panel direct green - 72 sf (4.87%)		c) 7" reveal panel direct green - 72 sf (4.87%)		c) 7" reveal panel direct green - 72 sf (4.87%)
door/window openings 0 sf (0%)	a) storefront window assembly black - 0 sf (0%)	door/window openings 168 sf (11.36%)	a) storefront window assembly black - 168 sf (11.36%)	door/window openings 3024 sf (56.18%)	a) storefront window assembly black - 1026 sf (19.06%)	door/window openings 168 sf (11.36%)	a) storefront window assembly black - 168 sf (11.36%)
	b) storefront door assembly black - 0 sf (0%)		b) storefront door assembly black - 0 sf (0%)		b) storefront door assembly black - 234 sf (4.35%)		b) storefront door assembly black - 0 sf (0%)
	c) roll up door assembly white - 0 sf (0%)		c) roll up door assembly white - 0 sf (0%)		c) roll up door assembly white - 1764 sf (32.77%)		c) roll up door assembly white - 0 sf (0%)
total facade 5383 sf		total facade 1,479 sf		total facade 5383 sf		total facade 1,479 sf	

TOTAL PROJECT
total metal panel || 10,364 sf (75.52%)
total storefront door & windows || 3,360 sf (24.48%)
overall facade totals || 13,724 sf

material legend

MP1	MANUFACTURER: PAC-CLAD PRODUCT: PRECISION SERIES HWP-12 COLOR NAME: STONE WHITE
MP2	MANUFACTURER: PAC-CLAD PRODUCT: PRECISION SERIES HWP-12 COLOR NAME: GRAPHITE
MP3	MANUFACTURER: PAC-CLAD PRODUCT: 7" REVEAL WALL PANEL COLOR NAME: SW6924 DIRECT GREEN
MP4	MANUFACTURER: PAC-CLAD METAL TRIM / GUTTER / DOWNSPOUT COLOR NAME: GRAPHITE

elevation keynotes

- ENTRY CANOPY - REFER TO DETAIL X/AXXX
- EXTERIOR LIGHTING - REFER TO ELECTRICAL
- EXTERIOR BUILDING GRAPHICS - PAINT USING SW6924 DIRECT GREEN
- ALUMINUM BOX GUTTER
- ALUMINUM DOWNSPOUT
- PEMB METAL FASCIA
- PEMB METAL ROOF - WHITE
- STEEL BOLLARD WITH CONCRETE FILL - SEE DETAIL X/AXXX
PAINT SW6924 DIRECT GREEN

zone 4 - building envelope requirements fenestration

METAL FRAMING	SEW	NORTH
FIXED FENESTRATION	0.38	0.48
OPERABLE FENESTRATION	0.45	0.77
ENTRANCE DOORS		

SHGC - ALL FRAME TYPES	SEW	NORTH
ORIENTATION		
SHGC: PF < 0.20	0.36	0.48
SHGC: 0.20 < PF < 0.5	0.43	0.43
SHGC: PF > 0.5	0.58	0.58

zone 4 - building envelope requirements

ROOFS INSULATION ENTIRELY ABOVE DECK	R-19+R-11 LINER SYSTEM
WALLS ABOVE GRADE METAL BUILDING	R-13+R-13 CONTINUOUS
SLAB-ON-GRADE FLOORS UNHEATED SLABS	R-10 FOR 24IN. BELOW
OPAQUE DOORS SWINGING	U-0.61

general elevation notes

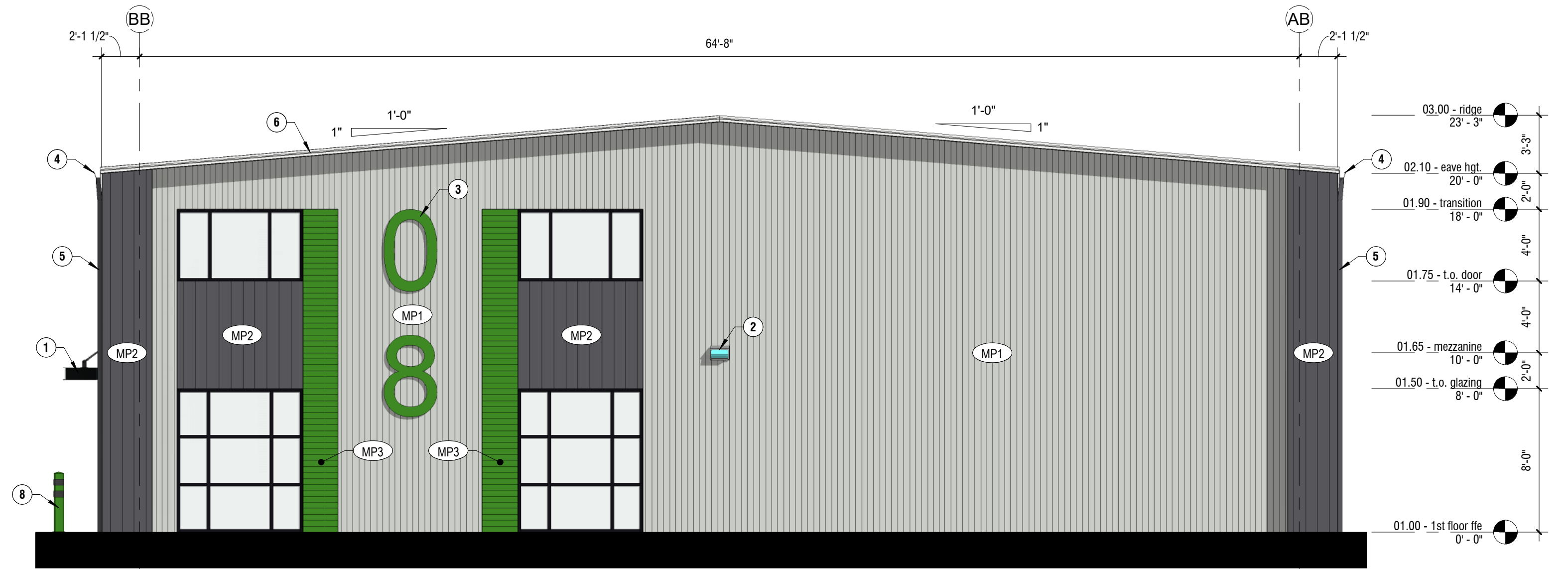
- STOREFRONT ASSEMBLIES:**
- DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
 - GLAZING TO BE 1" INSULATED PPG SOLAR CLEAR AND SOLARBAN 60 (3) CLEAR

hvac screening

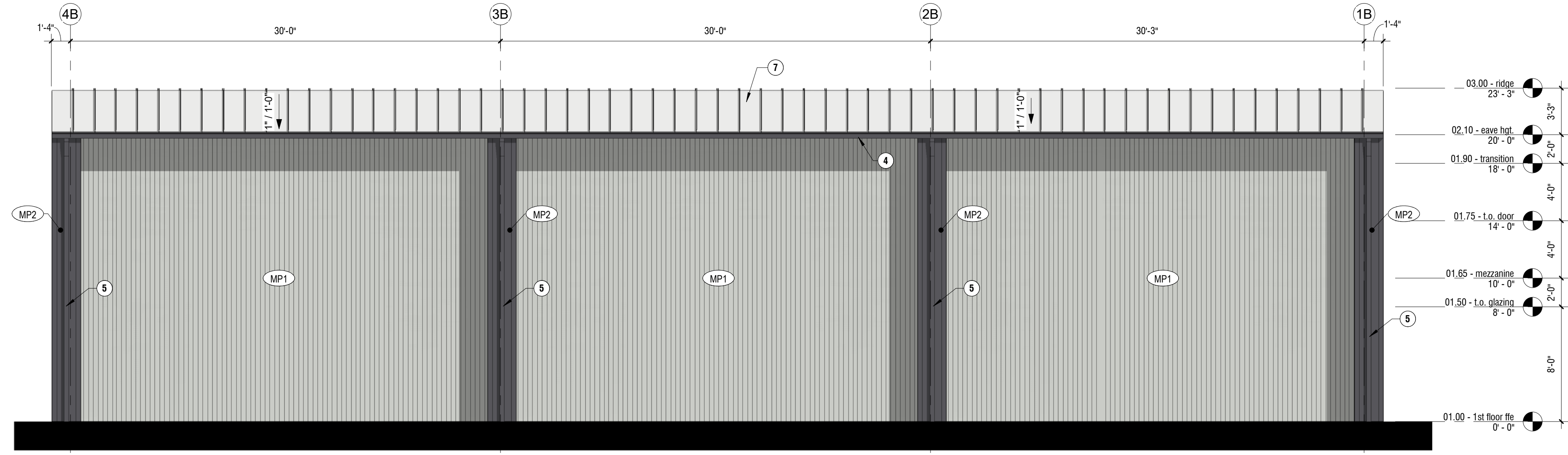
ALL HVAC EQUIPMENT WILL BE ADEQUATELY SCREENED BY LANDSCAPING OR FENCING. SEE MECHANICAL DRAWINGS FOR LOCATIONS.



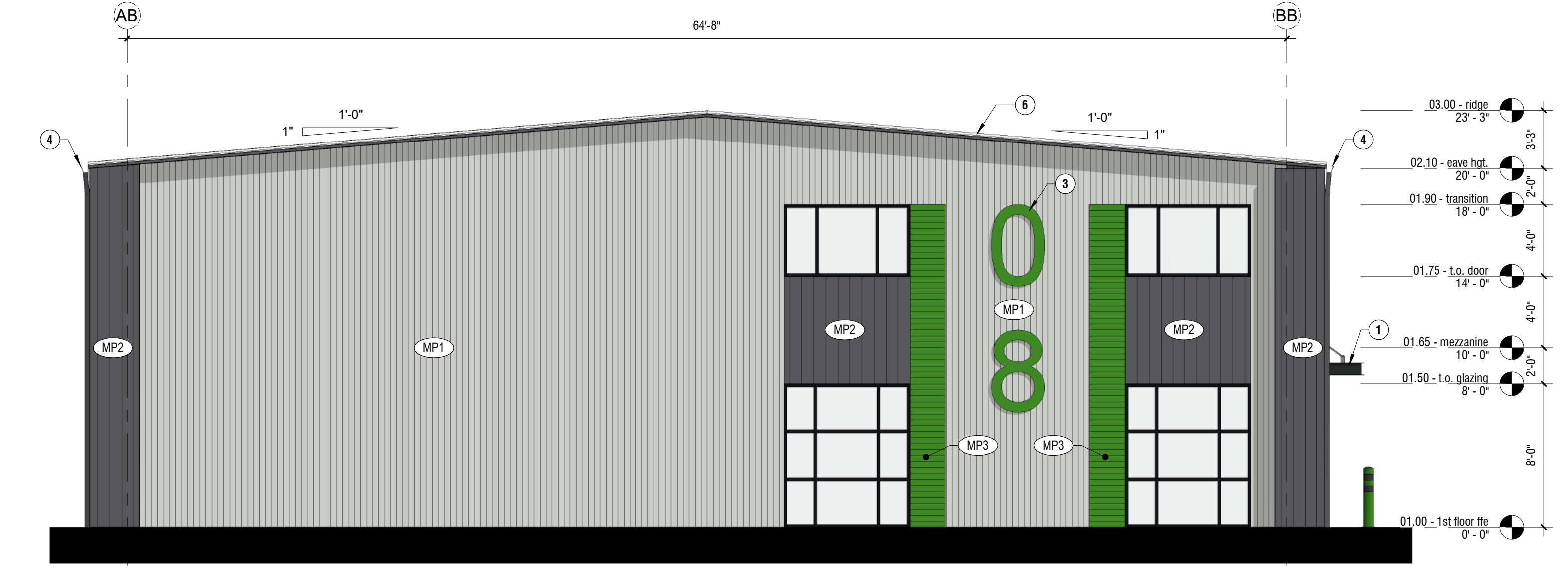
1 bldg type II - south elevation
3/16" = 1'-0"



2 bldg II - east elevation
3/16" = 1'-0"



3 bldg II - north elevation
3/16" = 1'-0"



4 bldg II - west elevation
3/16" = 1'-0"



5 bldg II - southwest corner perspective elevation
3/16" = 1'-0"

building II percentage of exterior materials

NORTH ELEVATION

metal panel || 1836 sf (100%)
 a) HWP-12 || stone white - 1678 sf (91.39%)
 b) HWP-12 || graphite - 158 sf (8.61%)
 c) 7" reveal panel || direct green - 0 sf (0%)
 door/window openings || 0 sf (0%)
 a) storefront window assembly || black - 0 sf (0%)
 b) storefront door assembly || black - 0 sf (0%)
 c) roll up door assembly || white - 0 sf (0%)
 total facade || 1836 sf

WEST ELEVATION

metal panel || 1311 sf (88.64%)
 a) HWP-12 || stone white - 1042 sf (79.45%)
 b) HWP-12 || graphite - 197 sf (13.32%)
 c) 7" reveal panel || direct green - 72 sf (4.87%)
 door/window openings || 168 sf (11.36%)
 a) storefront window assembly || black - 168 sf (11.36%)
 b) storefront door assembly || black - 0 sf (0%)
 c) roll up door assembly || white - 0 sf (0%)
 total facade || 1,479 sf

SOUTH ELEVATION

metal panel || 828 sf (45.09%)
 a) HWP-12 || stone white - 446 sf (24.29%)
 b) HWP-12 || graphite - 197 sf (13.32%)
 c) 7" reveal panel || direct green - 0 sf (0%)
 door/window openings || 1008 sf (54.91%)
 a) storefront window assembly || black - 342 sf (18.63%)
 b) storefront door assembly || black - 78 sf (4.24%)
 c) roll up door assembly || white - 588 sf (32.03%)
 total facade || 1836 sf

EAST ELEVATION

metal panel || 1311 sf (88.64%)
 a) HWP-12 || stone white - 1042 sf (79.45%)
 b) HWP-12 || graphite - 197 sf (13.32%)
 c) 7" reveal panel || direct green - 72 sf (4.87%)
 door/window openings || 168 sf (11.36%)
 a) storefront window assembly || black - 168 sf (11.36%)
 b) storefront door assembly || black - 0 sf (0%)
 c) roll up door assembly || white - 0 sf (0%)
 total facade || 1,479 sf

TOTAL PROJECT

total metal panel || 5,286 sf (79.73%)
 total storefront door & windows || 1,344 sf (20.27%)
 overall facade totals || 6,630 sf

material legend

- MP1 MANUFACTURER: PAC-CLAD
PRODUCT: PRECISION SERIES HWP-12
COLOR NAME: STONE WHITE
- MP2 MANUFACTURER: PAC-CLAD
PRODUCT: PRECISION SERIES HWP-12
COLOR NAME: GRAPHITE
- MP3 MANUFACTURER: PAC-CLAD
PRODUCT: 7" REVEAL WALL PANEL
COLOR NAME: SW6924 DIRECT GREEN
- MP4 MANUFACTURER: PAC-CLAD
METAL TRIM / GUTTER / DOWNSPOUT
COLOR NAME: GRAPHITE

elevation keynotes

- 1 ENTRY CANOPY - REFER TO DETAIL X4XXX
- 2 EXTERIOR LIGHTING - REFER TO ELECTRICAL
- 3 EXTERIOR BUILDING GRAPHICS - PAINT USING SW6924 DIRECT GREEN
- 4 ALUMINUM BOX GUTTER
- 5 ALUMINUM DOWNSPOUT
- 6 PEMB METAL FASCIA
- 7 PEMB METAL ROOF - WHITE
- 8 STEEL BOLLARD WITH CONCRETE FILL - SEE DETAIL X4XXX
PAINT SW6924 DIRECT GREEN

zone 4 - building envelope requirements fenestration

METAL FRAMING	SEW	NORTH
FIXED FENESTRATION	0.38	0.48
OPERABLE FENESTRATION	0.45	0.43
ENTRANCE DOORS	0.77	0.58

zone 4 - building envelope requirements

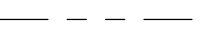
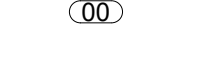

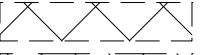


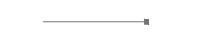




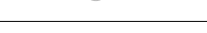
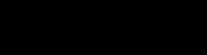
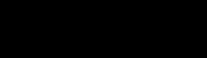
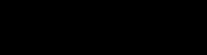
ROOFS INSULATION ENTIRELY ABOVE DECK	R-19+R-11 LINER SYSTEM
WALLS ABOVE GRADE METAL BUILDING	R-13+R-13 CONTINUOUS
SLAB-ON-GRADE FLOORS UNHEATED SLABS	R-10 FOR 24IN. BELOW
OPAQUE DOORS SWINGING	U-0.61

general elevation notes

- STOREFRONT ASSEMBLIES:
- DOOR AND WINDOW FRAMES TO BE KAWNEER ALUMINUM FINISH NO. 29 - (BLACK ALUMINUM)
 - GLAZING TO BE 1" INSULATED PPG SOLAR CLEAR AND SOLARBAN 90 (S) CLEAR

hvac screening

ALL HVAC EQUIPMENT WILL BE ADEQUATELY SCREENED BY LANDSCAPING OR FENCING. SEE MECHANICAL DRAWINGS FOR LOCATIONS.

LEGEND	
	PROPOSED LOT LINES
	PROPOSED LOT NUMBER
	PROPOSED BUILDING SETBACK
	PROPOSED ACCESS EASEMENT
	PROPOSED DRAINAGE EASEMENT
	PROPOSED UTILITY EASEMENT
	WATERWAY NATURAL AREA
	PROPOSED WATER LINE
	PROPOSED WATER SERVICE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM INLET
	PROPOSED HEADWALL
	PROPOSED STORM MANHOLE



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION

ADDRESS/LOCATION	0 Industrial Park Road		
	TAX MAP: 089	GROUP:	PARCEL: 46.00
SUMMARY OF NATURE OF REQUEST AND WORK	New industrial park on approximately 46.59 acres. Parcel to be subdivided into twenty (20) industrial lots, two (2) open space lots, and two (2) public roads.		

REQUEST DATE FOR PRE-APPLICATION CONFERENCE	12.07.2022	<i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i>
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SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

SELECT REQUEST	PLAN SHALL INCLUDE
<input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____	<ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels.

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

