

CITY OF COLUMBIA



T E N N E S S E E

AGENDA

The Columbia Architectural Design Review Team will meet on Tuesday, May 9, 2023 at 9:00 AM in Conference Room A on the basement level of City Hall, 700 N. Garden Street. The Planning Commission will consider the following:

- I. Roll Call
- II. Organizational Business
 1. Approval of Minutes

Documents:
None

2. Process Updates

III. Old Business

IV. New Business

1. Case #23-0125 Request from Lennar Homes of Tennessee for new construction approval of amenity structures located off [Williams Ridge Drive and Drumwright Way](#).

Documents:

1. PUD Final Master Plan
2. Drumwright Amenity Plan
3. Kiosk

4. Application

V. Other Business

1. - 2022 Annual Report

Documents:

1. ART_2022_Report_April2023

VI. Adjourn

Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

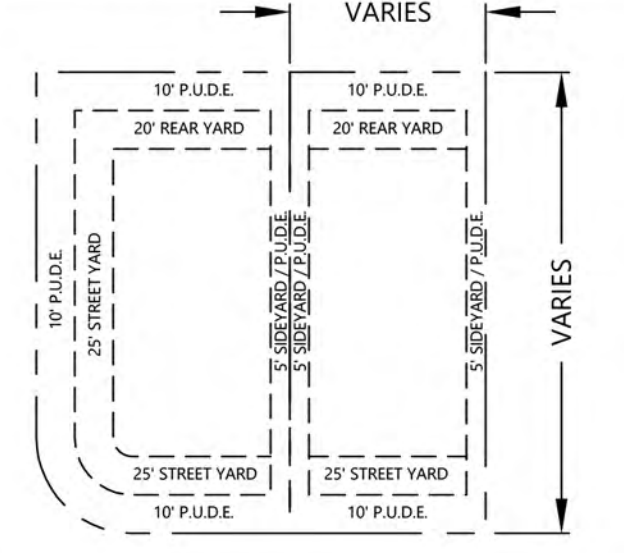
The 2023 meeting schedule can be found on the City of Columbia Architectural Design Review Team webpage.

For other questions, please contact the Department of Development Services at 931-560-1560.

41' WIDE LOTS		51' WIDE LOTS	
LOT #	AREA (SQ)	LOT #	AREA (SQ)
1201	4,223	1101	5,631
1202	4,223	1102	5,800
1203	4,223	1103	8,074
1204	4,223	1104	8,074
1205	4,223	1105	6,088
1206	6,149	1106	6,489
1207	6,576	1107	6,122
1208	4,510	1108	6,171
1209	4,510	1109	6,082
1210	4,510	1110	9,529
1211	4,508	1111	11,554
1212	4,506	1112	10,399
1213	4,501	1113	6,120
1214	6,234	1114	6,720
1215	5,400	1115	6,720
1216	10,365	1116	6,120
1217	4,070	1117	6,093
1218	5,495	1118	6,120
1219	4,428	1119	6,120
1220	4,428	1120	6,284
1221	6,454	1121	6,309
1222	6,442	1122	6,320
1223	6,239	1123	6,351
1224	4,991	1124	6,422
1225	4,931	1125	6,474
1226	4,921	1126	6,711
1227	7,206	1127	6,235
1228	4,484	1128	6,284
1229	6,612	1129	6,210
1230	4,701	1130	6,394
1231	6,325	1131	7,787
1232	7,631	1132	9,666
1233	6,465	1133	7,541
1234	7,870	1134	7,596
1235	6,991	1135	7,596
1236	4,634	1136	6,994
1237	4,433	1137	6,120
1238	4,606	1138	6,171
1239	4,705	1139	6,244
1240	4,784	1140	6,244
1241	4,502	1141	7,002
1242	6,248	1142	8,454
1243	5,754	1143	6,653
1244	5,850	1144	6,687
1245	4,223	1145	5,994
1246	6,149	1146	6,092
1247	4,170	1147	7,092
1248	4,783	1148	6,123
1249	4,030	1149	6,120
1250	6,208	1150	8,375
1251	4,263	1151	8,527
1252	4,263	1152	9,723
1253	4,223	1153	9,723
1254	4,223	1154	9,723
1255	4,223	1155	9,723
1256	4,223	1156	9,723
1257	4,223	1157	9,723
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1290	4,223	1190	9,723
1291	4,223	1191	9,723
1292	4,223	1192	9,723
1293	4,223	1193	9,723
1294	4,223	1194	9,723
1295	4,223	1195	9,723
1296	4,223	1196	9,723
1297	4,223	1197	9,723
1298	4,223	1198	9,723
1299	4,223	1199	9,723
1300	4,223	1200	9,723

SITE USE SUMMARY SINGLE FAMILY		
USE	ACRES	% SITE
41' LOTS (109)	13.49	27.86%
51' LOTS (70)	12.20	25.20%
ROAD R.O.W.	10.30	21.27%
OPEN SPACE	12.43	25.67%
TOTAL	48.42	100%

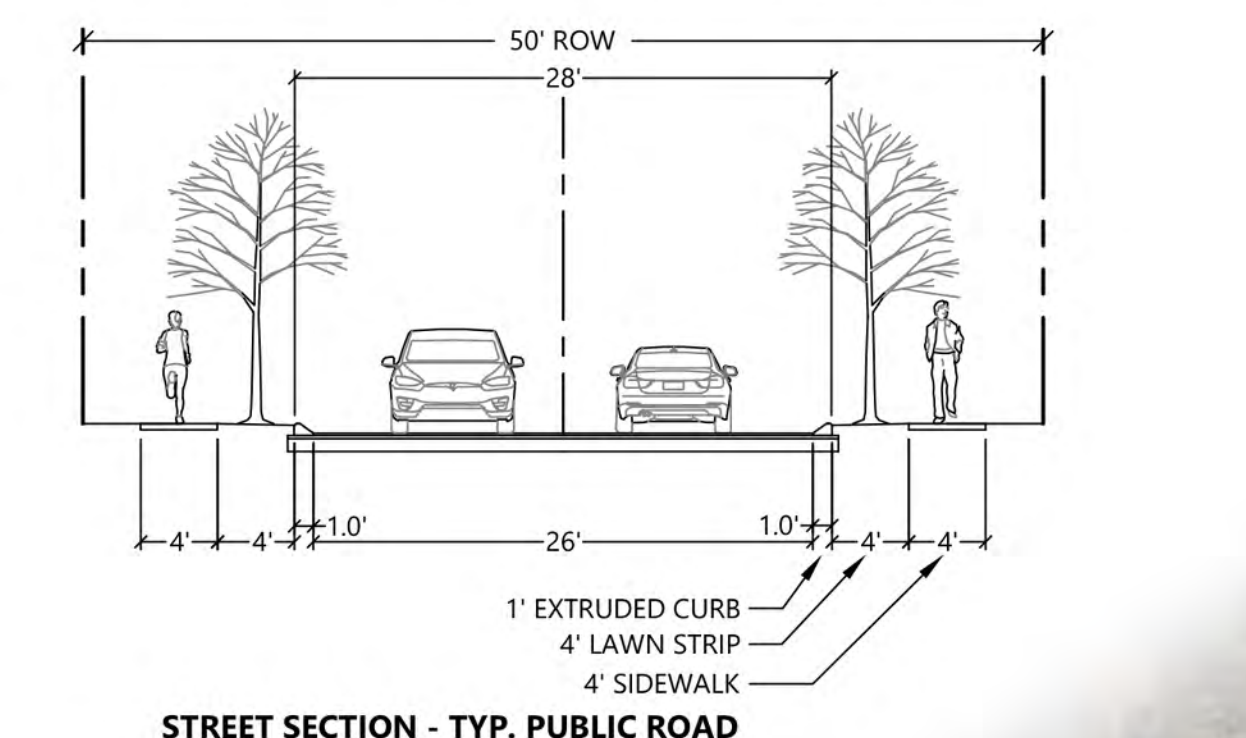
SITE USE SUMMARY TOWNHOMES		
USE	ACRES	% SITE
ATTACHED SINGLE FAMILY LOTS	4.20	43.25%
PRIVATE ROADS/SIDEWALKS/PARKING	1.39	14.32%
OPEN SPACE	4.12	42.43%
TOTAL	9.71	100%



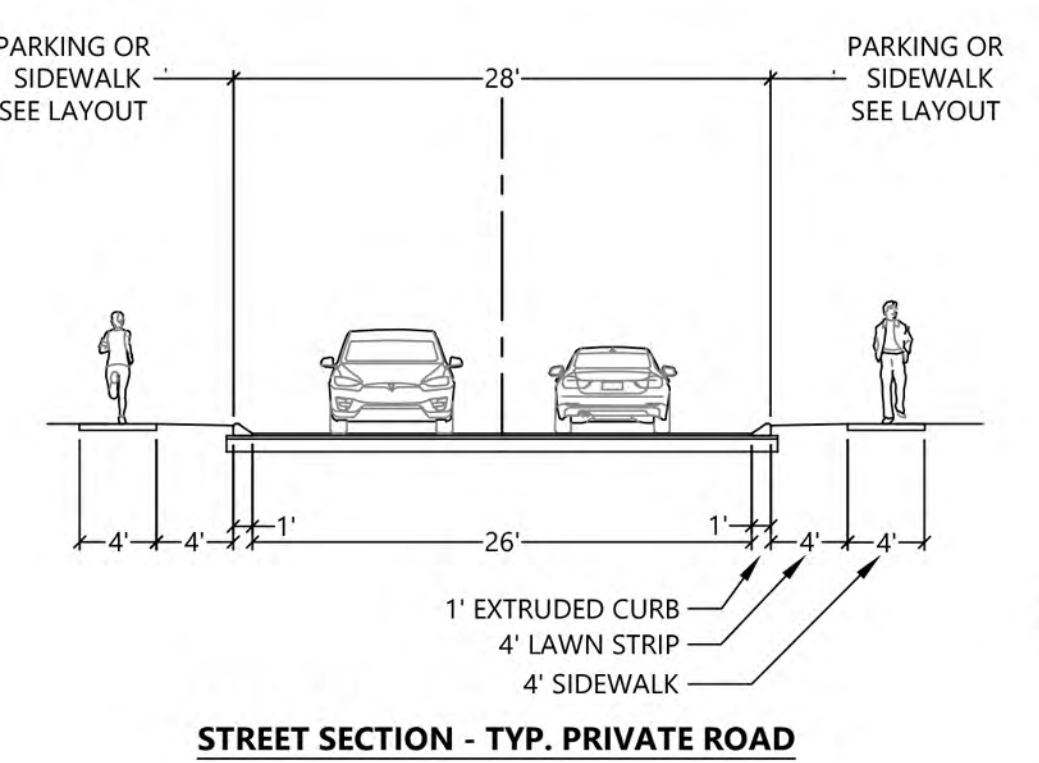
LOT CONFIGURATION
P.U.D.E. = PUBLIC USE AND DRAINAGE EASEMENT

TOWNHOME PARKING SUMMARY					
TYPE UNIT	UNIT QTY.	TOTAL BR'S	GARAGE PARKING PROVIDED (30% OF TOTAL)	DRIVEWAY PARKING PROVIDED	OFFSTREET PARKING PROVIDED
TYPE A (WITH DRIVEWAY)	46	138	NA	46	107
TYPE A (NO DRIVEWAY)	26	78			
TYPE B	34	102	18	68	0
TOTAL	106	318	18	114	107
TOTAL PARKING PROVIDED:		18 + 114 + 107 = 239			
TOTAL PARKING REQUIRED:		318/2 x 1.5 = 238.5			

TOWNHOME OPEN SPACE SUMMARY		
OPEN SPACE	AREA (AC)	PERCENT OF SITE
OPEN SPACE	4.12	42.43%



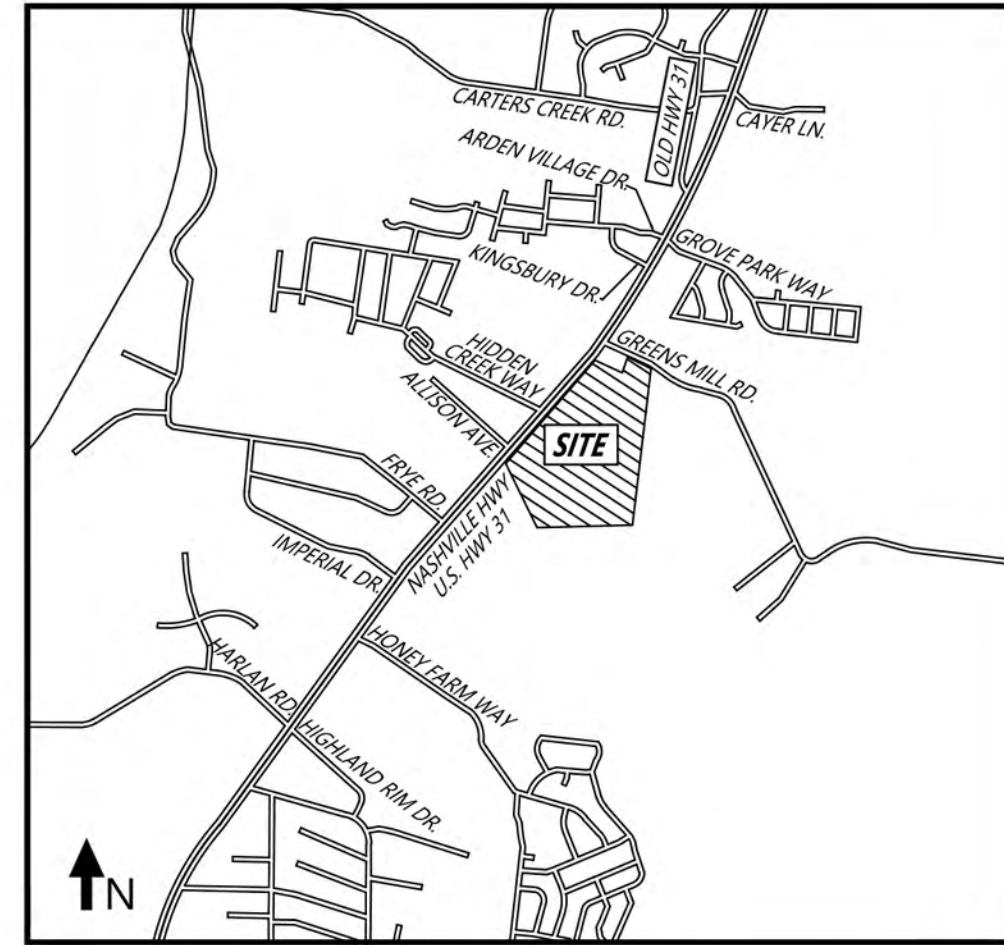
STREET SECTION - TYP. PUBLIC ROAD



STREET SECTION - TYP. PRIVATE ROAD

PROPOSED FEATURES LEGEND

- WATER LINE ——— D W ———
- FORCE MAIN LINE ——— 6" F M ———
- SANITARY SEWER LINE WITH CLEANOUT ——— S A N ———
- STORMWATER LINE ——— S T ———
- FIRE HYDRANT ——— [Symbol] ———
- WATER LINE WITH 90° THRUST BLOCK ——— [Symbol] ———
- DRAINAGE PATH ——— [Symbol] ———



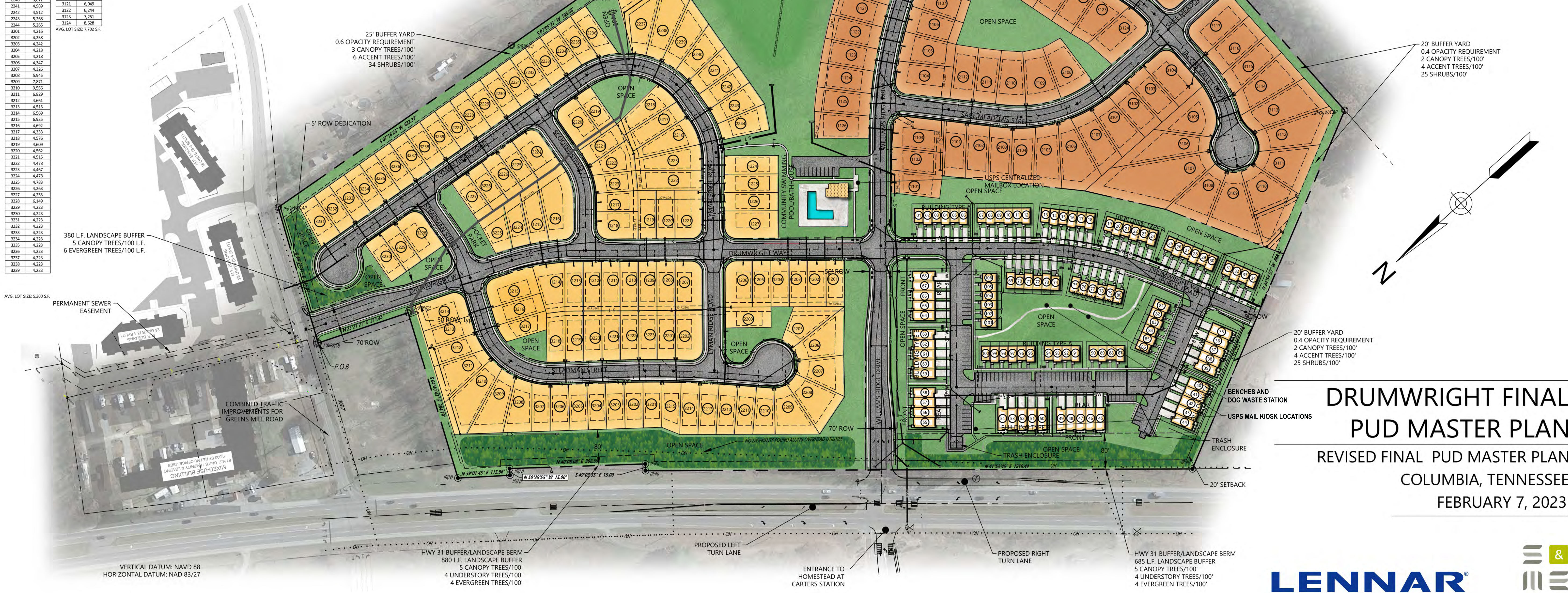
VICINITY MAP
NOT TO SCALE

PURPOSE OF SUBMITTAL - TO REVISE MASTER PUD PLAN FOR 106 ATTACHED TOWNHOME UNITS AND 179 SINGLE FAMILY RESIDENTIAL LOTS AND ADDITION OF COMMUNITY SWIMMING POOL/BATHHOUSE ON THE PROPERTY, PARCEL 32.00 IN TAX MAP 51

PROJECT DESCRIPTION - DEVELOP 106 ATTACHED TOWNHOME UNITS AND 179 SINGLE-FAMILY RESIDENTIAL LOTS AND COMMUNITY SWIMMING POOL/BATHHOUSE ON APPROXIMATELY 58.14 ACRES OF LAND

PROPERTY OWNER -
AG Essential Housing Mult State 1, LLC
8585 E. Hartford, Suite 118
Scottsdale, AZ 85255

THIS PROPERTY IS LOCATED WITHIN OTHER FLOOD AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO 47119C0180E, DATED APRIL 16, 2007.



DRUMWRIGHT FINAL PUD MASTER PLAN
REVISED FINAL PUD MASTER PLAN
COLUMBIA, TENNESSEE
FEBRUARY 7, 2023

A NEW AMENITY BUILDING
DRUMWRIGHT COMMUNITY
3000 DRUMWRIGHT WAY
COLUMBIA, TENNESSEE 38401

DAVID HEFLEY
HEFLEY ARCHITECTS, PLLC

SHEET INDEX:

A0.0- COVER SHEET
A0.1- PROJECT INFORMATION
LS1.1- LIFE SAFETY PLAN
A1.1- FOUNDATION PLAN
FIRST FLOOR PLAN
A1.2- ROOF PLAN
A2.1- EXTERIOR ELEVATIONS
A3.1- MISCELLANEOUS DETAILS
MO.1- HVAC LEGENDS & SCHEDULES
M2.1- HVAC NEW CONSTRUCTION PLAN
M3.1- HVAC DETAILS
M4.1- HVAC SPECIFICATIONS
EO.1- ELECTRICAL LEGENDS & SPECIFICATIONS
E1.1- ELECTRICAL SITE PLAN
E2.1- ELECTRICAL LIGHTING PLAN
E2.2- ELECTRICAL POWER PLAN
E3.1- ELECTRICAL RISER DIAGRAMS
PO.1- PLUMBING LEGENDS & SCHEDULES
PU2.1-PLUMBING UNDERGROUND PLAN
P2.1- PLUMBING PLAN
P3.1- PLUMBING DETAILS
P4.1- PLUMBING SPECIFICATIONS
P5.1- PLUMBING RISERS

DAVID HEFLEY
HEFLEY ARCHITECTS, PLLC

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A NEW AMENITY BUILDING

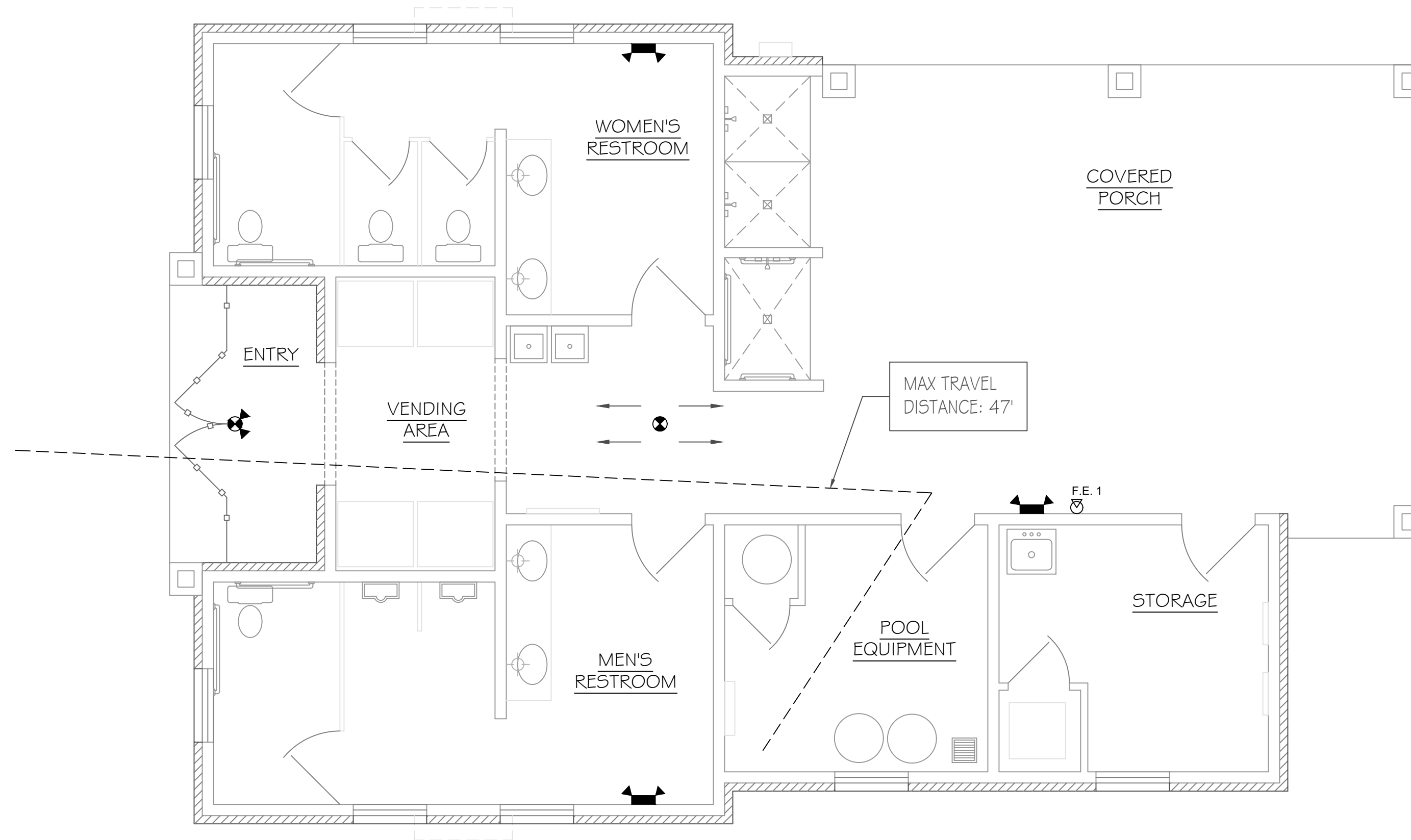
DRUMWRIGHT
COMMUNITY

COLUMBIA, TENNESSEE 38401

SCHEMATIC DESIGN

A0.0

10 MARCH 2023



LIFE SAFETY PLAN

SCALE: 1/4"=1'-0"

OCCUPANCY	
OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-4	
PER 2018 I.B.C. TABLE 1004.5, MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:	
	FLOOR AREA IN SQ. FT. PER OCCUPANT:
POOL	150 GROSS
POOL DECK	50 GROSS
COVERED PORCH- TABLES AND CHAIRS	15 NET

EGRESS	
EGRESS:	
FRONT GATE 68" CLEAR WIDTH 0.2' PER PERSON	= 340 PERSONS PER EXIT
REAR GATE 34" CLEAR WIDTH 0.2' PER PERSON	= 170 PERSONS PER EXIT
	= 510 TOTAL EXIT CAPACITY
PER 2018 I.B.C. TABLE 1017.2, EXIT ACCESS TRAVEL DISTANCE DISTANCE FOR 'B' OCCUPANCY:	
WITHOUT SPRINKLER SYSTEM = 200'	
WITH SPRINKLER SYSTEM = 300'	
PER 2018 I.B.C. TABLE 1006.2.1, GROUP B OCCUPANCY, WITH SPRINKLER SYSTEM:	
COMMON PATH OF EGRESS TRAVEL SHALL NOT BE MORE THAN 100'	
WITHOUT SPRINKLER SYSTEM:	
OCCUPANT LOAD: LESS THAN/EQUAL TO 30: 100'	
OCCUPANT LOAD: GREATER THAN 30: 75'	

LIFE SAFETY PLAN NOTES

- SEE SHEET A0.1 FOR CONSTRUCTION TYPE AND FIRE RESISTANCE RATINGS.
- ANY EQUIPMENT, INCLUDING FIRE EXTINGUISHER CABINETS, RECESSED IN A WALL MUST NOT COMPROMISE THE RATING OF THE WALL.
- TYPE "A" HAZARD (ORDINARY HAZARD) MAXIMUM TRAVEL DISTANCE- 75' TO EXTINGUISHER.
- ALL EMERGENCY LIGHTING, EXIT SIGNS, AND OTHER SAFETY EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE FIRE MARSHAL, CURRENTLY ADOPTED INTERNATIONAL FIRE CODE, AND CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE.

REQUIRED PLUMBING FIXTURES			
OCCUPANT LOAD = 240 = 120 MEN AND 120 WOMEN			
PER 2018 I.B.C. TABLE 2902.1- MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES			
'A'	WATER CLOSETS	LAVATORIES	
	MALE FEMALE	MALE FEMALE	
	1 PER 75 1 PER 50	1 PER 200 1 PER 150	
REQUIRED:		FEMALE	
2 WATER CLOSETS		3 WATER CLOSETS	
1 LAVATORY		1 LAVATORY	
1 SERVICE SINK			
HI-LO DRINKING FOUNTAINS			

LIFE SAFETY PLAN LEGEND	
	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM AUDIBLE AND VISIBLE
	FIRE ALARM VISUAL STATION- LIGHT ONLY
	FLASHING LIGHT
	SEMI-RECESSED FIRE EXTINGUISHER CABINET
	WALL-MOUNTED FIRE EXTINGUISHER, 42" TO C.L. OF CABINET
	PORTABLE FIRE EXTINGUISHER TYPE 'CD' FOR ELECTRICAL ROOMS
	EXIT SIGN
	WALL MOUNTED EXIT SIGN
	EMERGENCY LIGHTS
	FIRE ALARM CONTROL PANEL

RULES OF TENNESSEE DEPARTMENT OF HEALTH BUREAU OF HEALTH SERVICES ADMINISTRATION DIVISION OF GENERAL ENVIRONMENTAL HEALTH CHAPTER 1200-23-5 PUBLIC SWIMMING POOLS

TYPE "B" SWIMMING POOL. LESS THAN 1,800 S.F. LIFEGUARD NOT REQUIRED

BATHHOUSE FACILITIES:

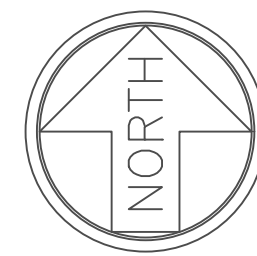
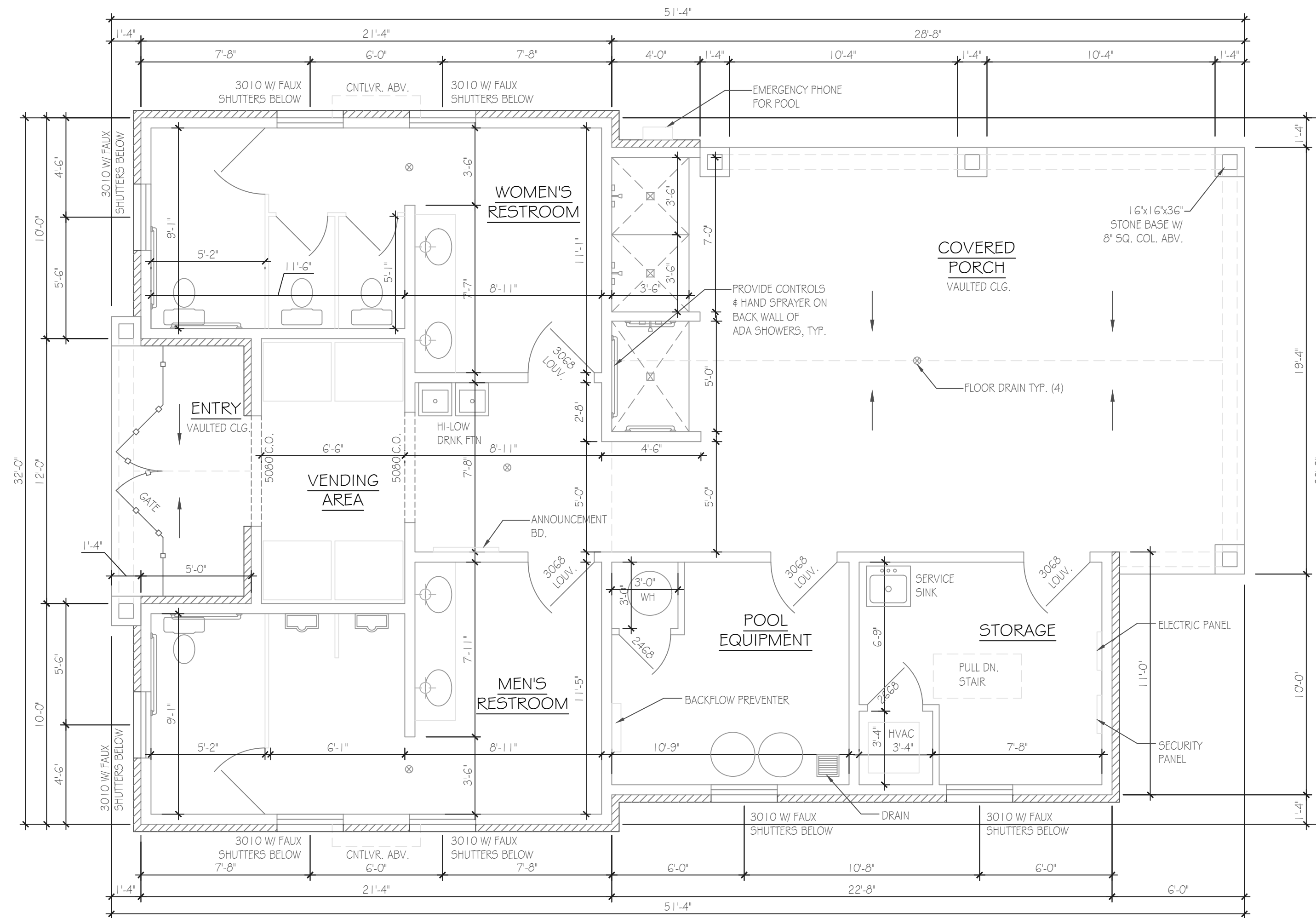
	MALES	FEMALES
WATER CLOSETS	1/75**	1/50**
URINALS	1/75**	---
LAVATORIES	1/100**	1/100**
SHOWERS	1/50**	1/50**

** NUMBER OF SWIMMERS

REQUIRED:	MALE	FEMALE
2 WATER CLOSETS	3 WATER CLOSETS	
2 LAVATORIES	2 LAVATORIES	
3 SHOWERS		

POOL CODE BATHHOUSE REQUIREMENTS GOVERN OVER IBC REQUIREMENTS

OCCUPANT LOAD CALCULATION							
SPACE	GROSS AREA (SF)	FURNITURE DEDUCTION	EGRESS PATH DEDUCTION	NET AREA (SF)	FUNCTION OF SPACE	OCCUPANTS/ AREA	OCCUPANTS
POOL	1,800	-	-	-	SWIMMING	50 GROSS	36
POOL DECK	2,910	-	-	-	POOL ACCESS	15 GROSS	194
COVERED PORCH	411	110	150	151	TABLES AND CHAIRS	UNCONCENTRATED (TABLES AND CHAIRS) 15 NET	10
TOTAL OCCUPANT LOAD							240

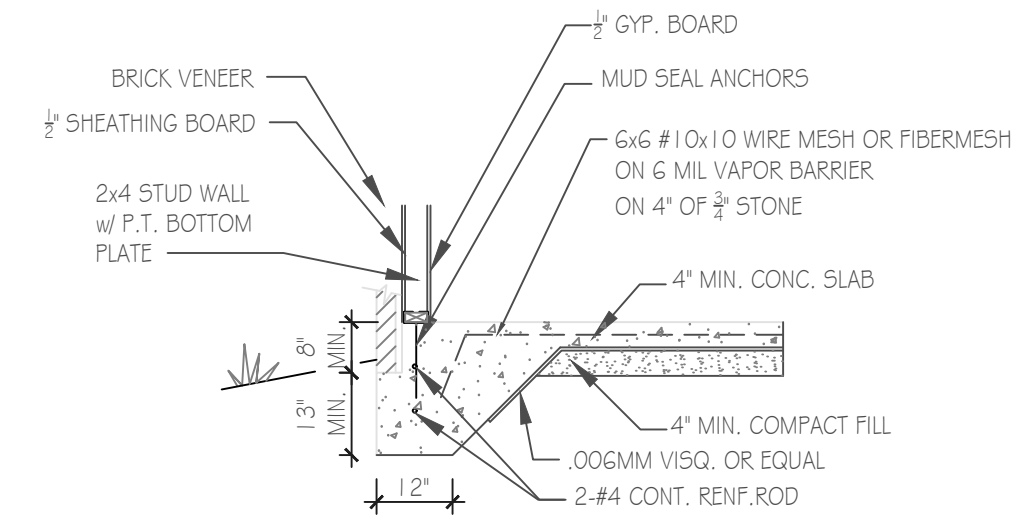


APPROX. AREA	
POOL HOUSE	717
COVERED OUTDOOR SPACE	766
TOTAL UNDER ROOF	1483

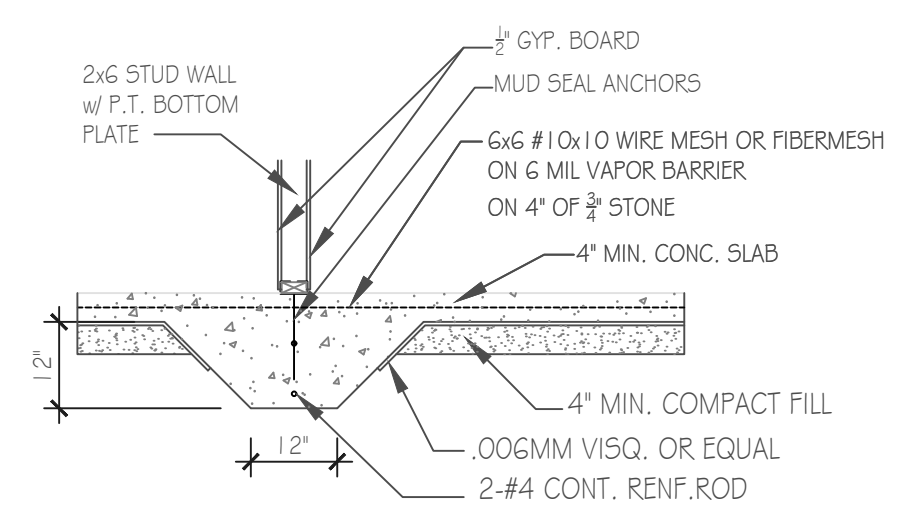
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

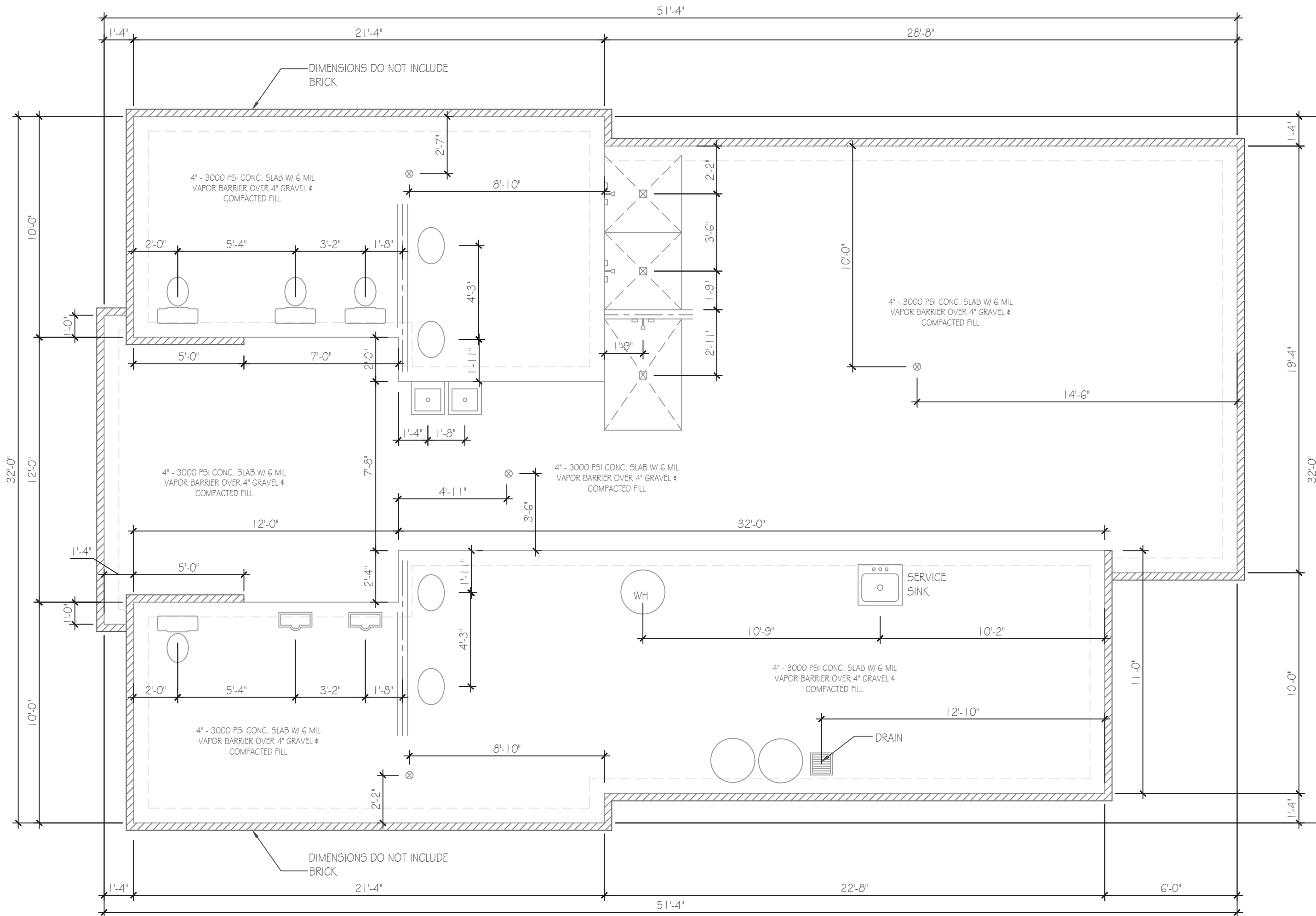
SEE RESTROOM DETAILS, SHEET A3.1



DETAIL:
TYPICAL EXTERIOR WALL
NOT TO SCALE, TYPICAL



DETAIL:
GRADE BEAM
NOT TO SCALE, TYPICAL

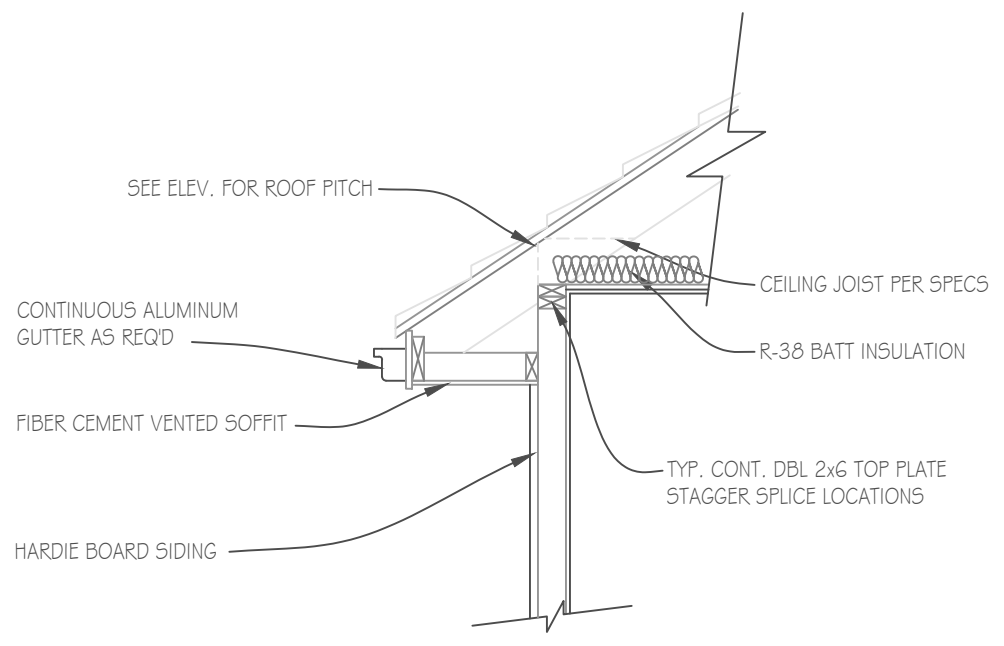


FOUNDATION PLAN

SCALE: 1/4"=1'-0"

SEE STRUCTURAL NOTES, SHEET A3.1

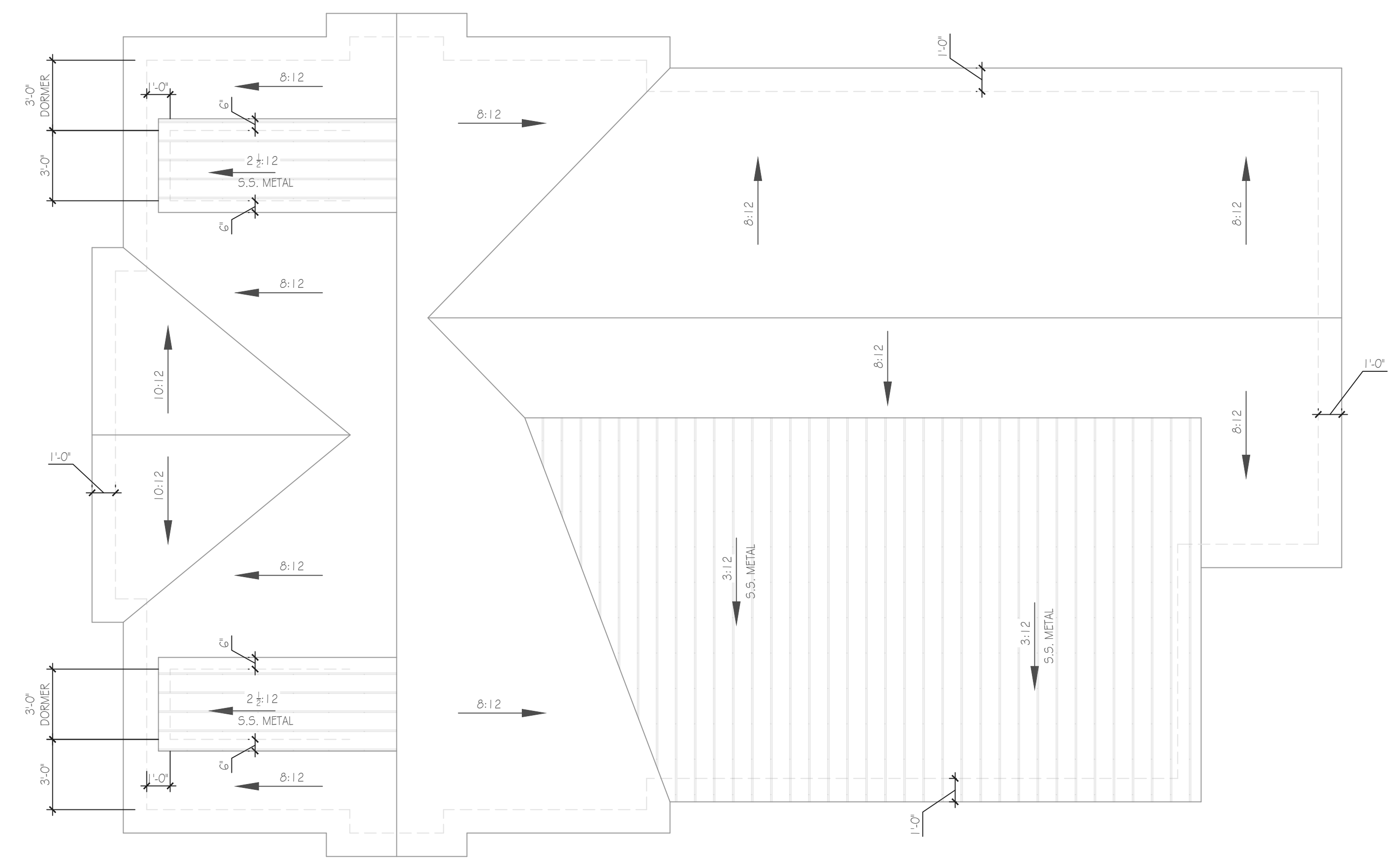
Z:\Bachmann David\Drumwright Pool House\Drumwright 10 March 2023.dwg, 3/10/2023 12:59:57 PM, Arch D 36 x 24, 0.2512



DETAIL: ROOF FRAMED ON TOP OF PLATE
NOT TO SCALE, TYPICAL

ELEVATION & ROOF NOTES

1. ROOF HAS 12" OVERHANGS UNLESS NOTED OTHERWISE
2. VENTS 4 RIDGE VENTS PER BUILDER
3. GUTTERS 4 DOWNSPOUTS PER BUILDER
4. FLASHING AS REQ'D PER BUILDER
5. ICE & WATER SHIELD ON 3:12 & 4:12 ROOFS AS REQ'D



ROOF PLAN

SCALE: 1/4"-1'-0"

A NEW AMENITY BUILDING

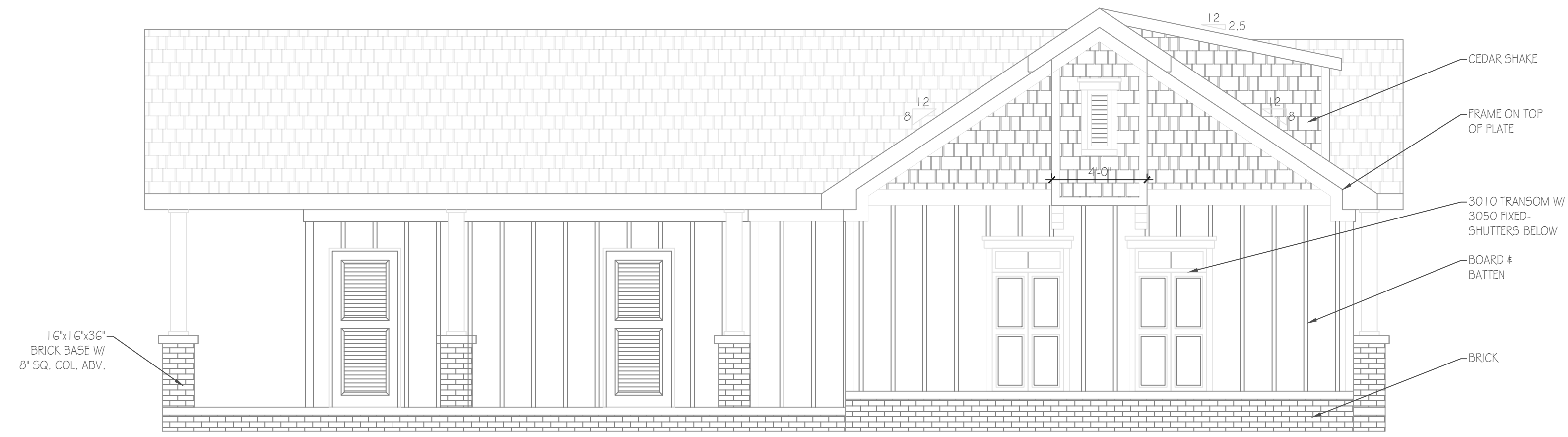
DRUMWRIGHT COMMUNITY

COLUMBIA, TENNESSEE 38401

SCHEMATIC DESIGN

A1.2

10 MARCH 2023



NORTH ELEVATION

SCALE: 1/4"=1'-0"



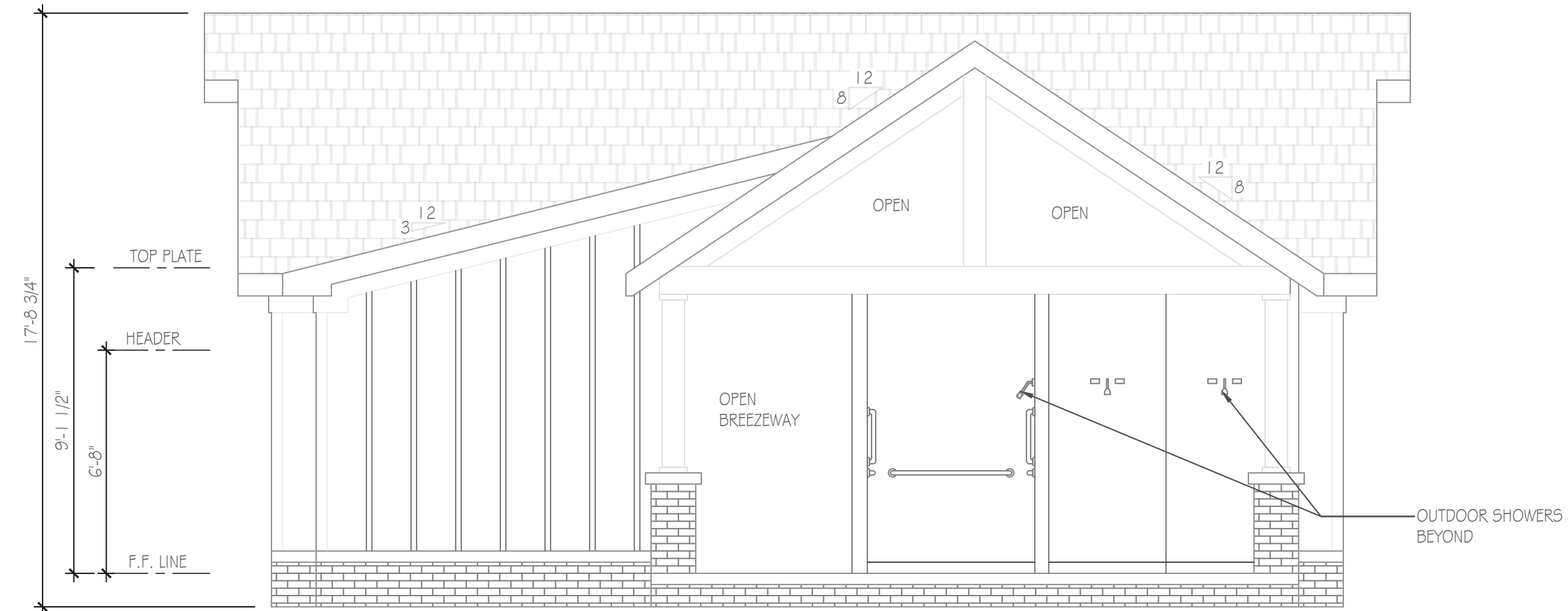
WEST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

STRUCTURAL NOTES

GENERAL

- The building shall be constructed according to the latest Building Codes and standards as adopted by the local/state authorities.
- Material, workmanship, and design shall conform to the referenced Building Code.
- Coordinate dimensions not shown on the structural framing plans with Architect.
- Contractor responsibilities include, but are not limited to, the following:
 - Verify existing dimensions, elevations, and site conditions before starting work. Architect shall be notified of any discrepancy or omission.
 - The structure is stable only in its completed form. Temporary supports required for stability during all intermediate stages of construction shall be designed, furnished, and installed by the Contractor.
 - Contractor has sole responsibility for jobsite safety and complying with all health and safety precautions as required by any regulatory agency. In performing construction observation visits to the jobsite, the Architect will have no control over, nor responsibility for the Contractor's means, methods, sequences, techniques, or procedures in performing the work.

SITE PREPARATION

- Strip vegetation and topsoil from building area.
- Report any groundwater or soft unsuitable soil to Architect prior to construction.
- Walls retaining more than 4' of earth shall not be backfilled until after floor framing is complete.
- Prior to commencing construction, the building location shall be sited by the Contractor and the Owner. The drawings show a grade line for representational purposes only. Coordinate finish floor elevations with actual grade line prior to commencing construction.

REINFORCEMENT

- Reinforcing Bars: ASTM A615, Grade 60
- Welded Wire Reinforcement (WWR): ASTM A185, 8" minimum side and end laps
- Reinforcement Placement (UNO)
 - Concrete Reinforcement Cover

Below Grade:	Unformed	3" clear
	Formed	2" clear
Walls		3/4" clear
Columns (Ties)		1 1/2" clear
Beams/Girders (Stirrups)		1 1/2" clear
Slabs		3/4" clear
 - Masonry reinforcing steel: Place in the center of CMU cells.
- Reinforcement Splices
 - Reinforcement marked "Continuous" can be spliced at locations determined by Contractor.
 - Splice Lengths (UNO): #4 - 24" ; #5 - 30" ; #6 - 36"

CAST-IN-PLACE CONCRETE

- Concrete Properties
 - Normal Weight Structural Concrete

	28-Day, f _c (min.)	w/c Ratio (max.)	Entrained Air (min.)
Footings	3,000 psi	---	None Required
Slabs-on-grade	3,000 psi	0.48	None Required
- Construction Joint Locations: No horizontal construction joints are permitted except as shown on the drawings. Obtain written consent for additional joints.
- Special Finishes: Refer to Architectural Drawings for molds, grooves, ornaments, clips or grounds required to be encased in concrete and for location of floor finishes and slab depressions.
- Defect Repair: Honey-combing, spalls, cracks, etc. shall be repaired. Extent of defective area to be determined by the Architect.

CONCRETE MASONRY

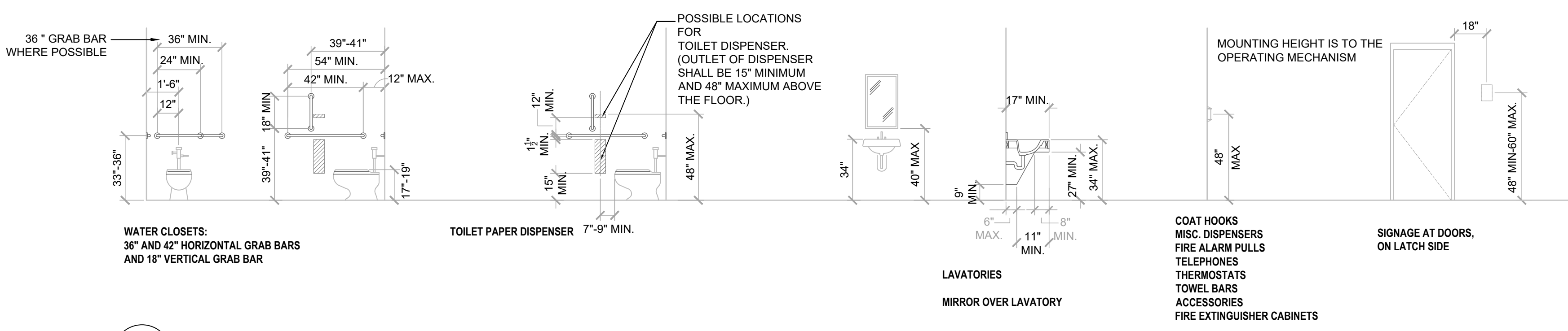
- CMU Minimum Compressive Strength, f_m = 1,500 psi.
- Mortar: Walls below grade Type M
Bearing walls Type M or S
- Coarse Grout: 2,500 psi min. compressive strength conforming to ASTM C476.
Grout solid bond beams, reinforced CMU cores, and CMU cores and wall cavities below grade.
- Horizontal Joint Reinforcement: Two (2) No. 9 gage longitudinal wires at 16" vertically, UNO.
Provide accessories for corners, intersections, etc.
- Provide open bottom beam block units with 3" deep minimum web openings at horizontal reinforcement locations. A minimum clear space of one bar diameter shall be provided between the reinforcing bars and the face of masonry units.
- Contraction Joints: Maximum spacing of 3 times of wall height or 30 feet (whichever is less) in all concrete masonry walls.
- Minimum Vertical Wall Reinforcement (UNO): #4 @ 48"

WOOD

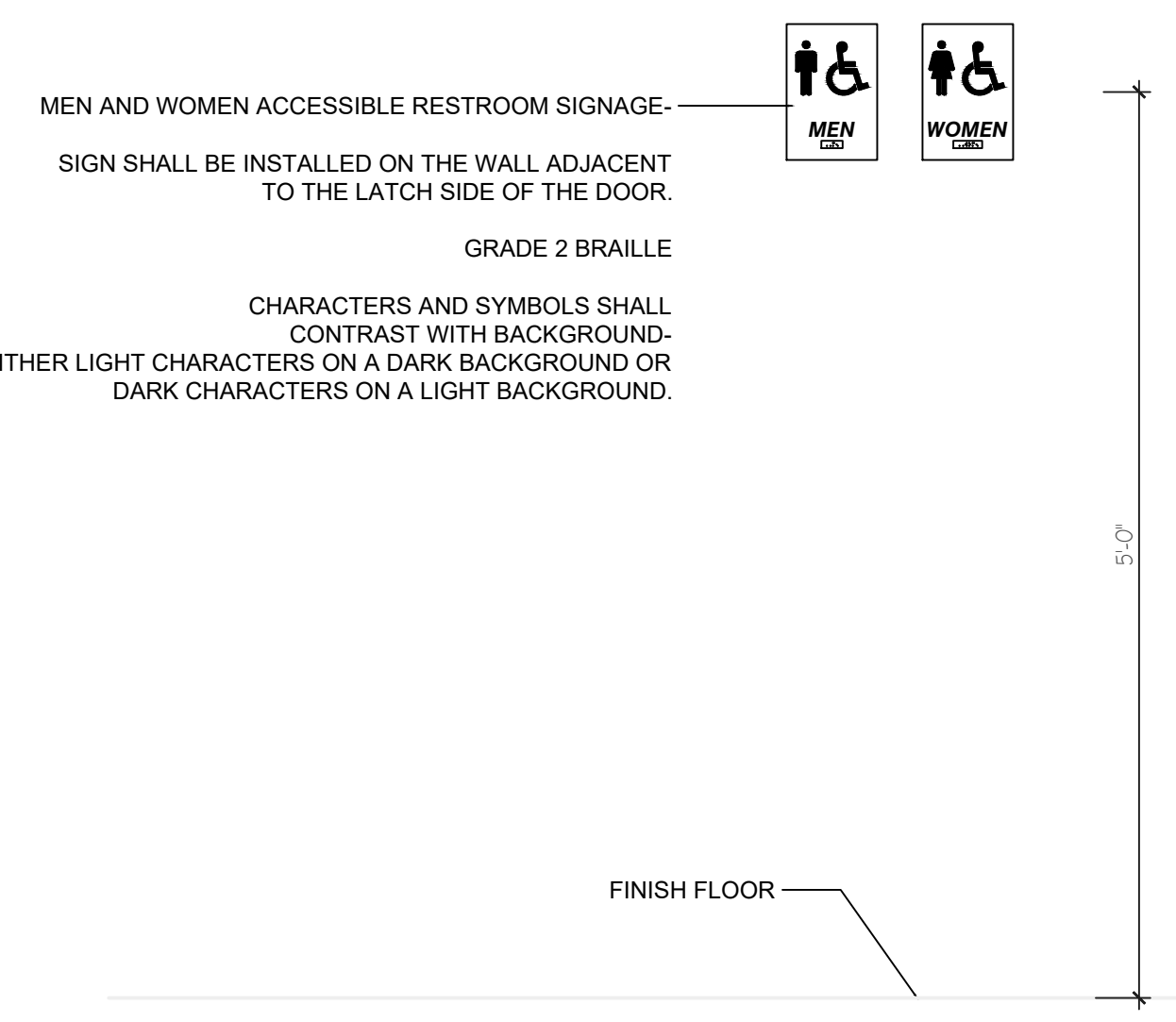
- Structural framing plans depict the primary structural framing system. Contractor shall provide secondary and miscellaneous framing as required to complete the project (see architectural drawings).
- Dressed Seasoned Lumber: S4S, 19% maximum moisture content at time of dressing.
 - Interior and Exterior Loadbearing Walls: Spruce-Pine-Fir, No. 2 grade
 - Lintels, Floor Joists and Beams: Southern Pine, No. 2 grade
 - Wood in Contact with Concrete or Masonry or Exposed to Weather:
Foundation grade pressure-treated.
Use galvanized nails in pressure-treated wood.
- Structural Glued Laminated Timber: Comply with American Institute of Timber Construction (AITC).
Minimum allowable bending stress = 2,400 psi (dry).
- Engineered Lumber Products
 - Parallel Strand Lumber (PSL):

Allowable bending stress	F _b = 2900 psi
Compression perpendicular to grain	F _{cp} = 750 psi
Compression parallel to grain	F _{cp} = 2900 psi
Shear	F _v = 290 psi
Modulus of elasticity	E = 2,000,000 psi
 - Laminated Veneer Lumber (LVL):

Allowable bending stress	F _b = 2250 psi
Compression perpendicular to grain	F _{cp} = 750 psi
Compression parallel to grain	F _{cp} = 2200 psi
Shear	F _v = 285 psi
Modulus of elasticity	E = 1,500,000 psi
- Wood I-Joists
 - Wood I-joists shall be capable of supporting the following superimposed loads
Dead Load = 10 psf; Live Load = 40 psf
 - Submit manufacturers catalog indicating compliance of wood I-joists for required superimposed loads indicated in the Drawings.
 - Framing details and erection procedures shall comply with manufacturers' recommendations.
- Pre-Fabricated Roof Trusses
 - Wood roof trusses shall be capable of supporting the superimposed loads as shown on the roof framing plan.
 - Design of wood trusses shall be the sole responsibility of the Truss Manufacturer as selected by the Contractor.
 - Erection and temporary bracing shall conform to the recommendations of the Truss Manufacturer.
- Structural Panels
 - Floor Panels: 3/4" Tongue-and-groove APA rated Sturd-I-Floor. Floor panels shall be glued and nailed.
 - Roof panels: 1/2" Radiant Barrier Sheathing
- Wood Shear Walls - All Exterior Framed Walls
 - Shear walls shall be constructed with APA 1/2" Structural I Southern Pine plywood panels. Panels shall be oriented with the long dimension in the vertical direction. Oriented strand board (OSB) may be used in lieu of plywood. OSB panels shall be APA rated and shall comply with Product Standard PS 2.
 - Solid 2x blocking shall be provided at unsupported, horizontal panel edges.
 - Nail panels with 8d nails spaced at 6 inches at the perimeter of the panels and at 12" at intermediate supports, UNO.
 - Double 2x framing studs shall be used at the ends of each shear wall, UNO.
- Connections for Structural Timber: Galvanized strong-tie connectors by the Simpson Company or approved equal.



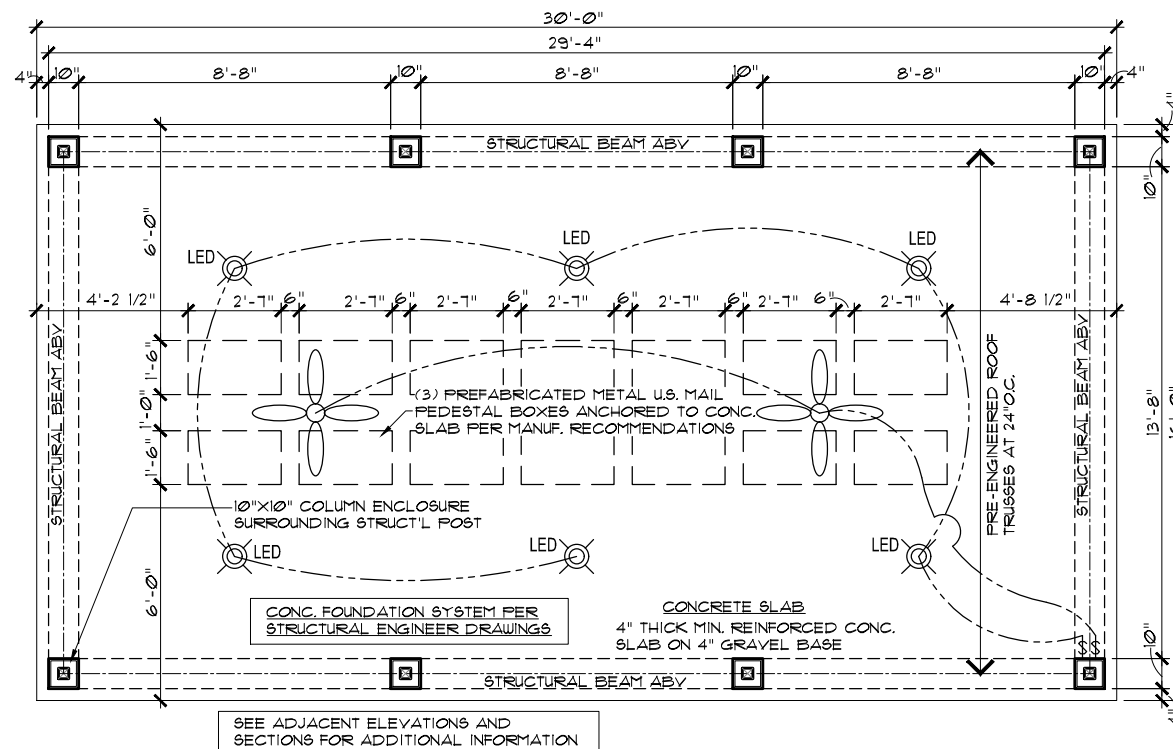
2 ACCESSIBLE MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"



1 ACCESSIBLE RESTROOM SIGNAGE
SCALE: 1" = 1'-0"

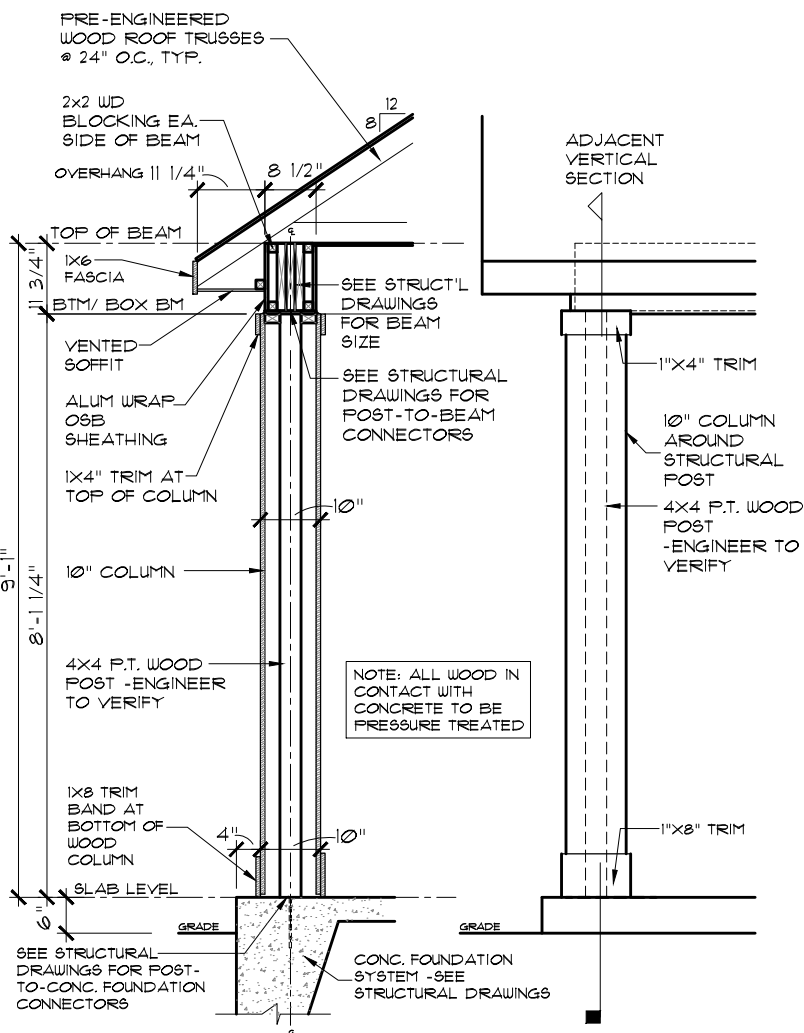


EVERYTHING'S INCLUDED



Floor Plan

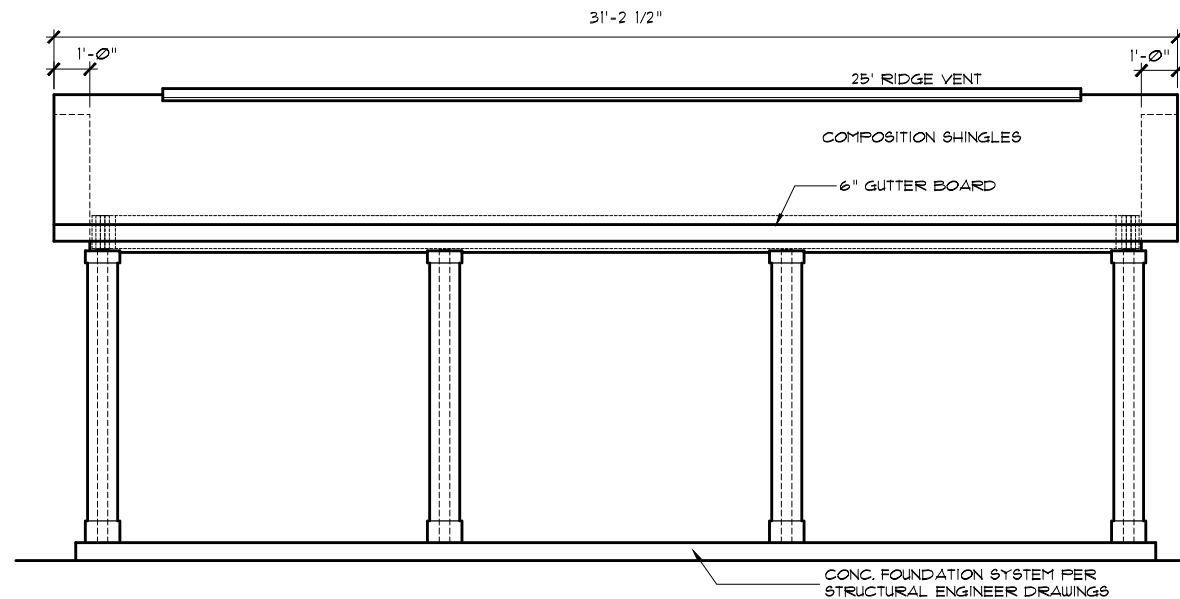
SCALE: 1/4" = 1'-0"



Column Section Column Elevation

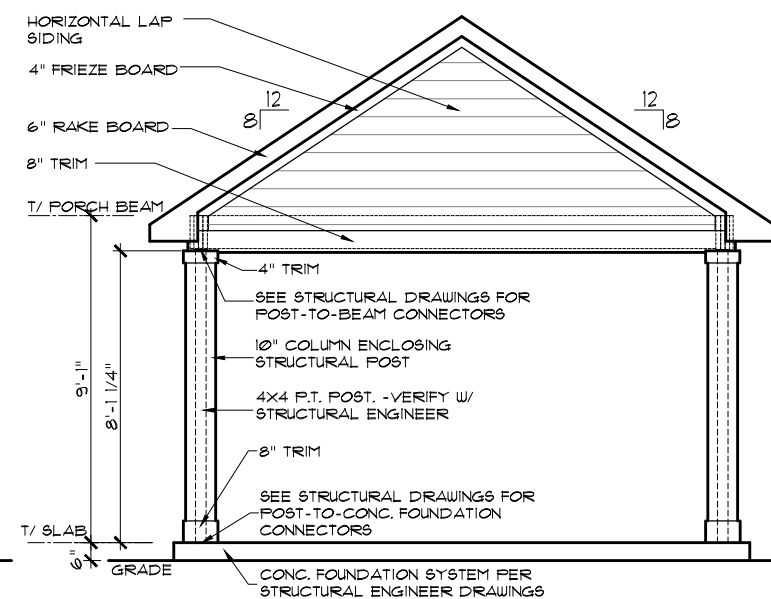
SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"



Front Elevation

SCALE: 1/4" = 1'-0"



Side Elevation

SCALE: 1/4" = 1'-0"

REV. NO.	DATE	REMARKS
1	3-6-23	
2		
3		
4		
5		

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NASHVILLE DIVISION

LENNAR

MODEL	SET NO.	DRAWN BY	COLLECTION
16'x29'-6" MAIL KIOSK			Symphony
DRAWING TITLE	OPTION DESCRIPTION		

SHEET NO.
A1



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION

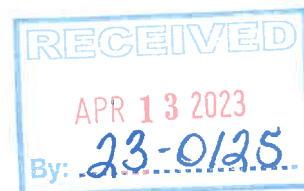
ADDRESS/LOCATION	3000 Drumwright Way, Columbia, TN		
	TAX MAP: 051	GROUP:	PARCEL: 032.00
SUMMARY OF NATURE OF REQUEST AND WORK	Request Architectural Approval of Bathhouse Building and Mailbox Cove in Drumwright Subdivision for 5/9/2023 Review		

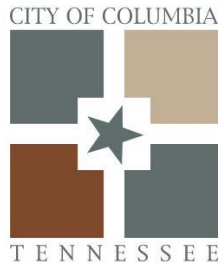
REQUEST DATE FOR PRE-APPLICATION CONFERENCE		<i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i>
---------------------------------------------	--	-----------------------------------------------------------------------------------------------------------------------------------------

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8 1/2"x11"

SELECT REQUEST	PLAN SHALL INCLUDE
<input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____	<ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels.

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.





City of Columbia – Architectural Design Review Team

April 12, 2023

Mayor Molder and City Council:

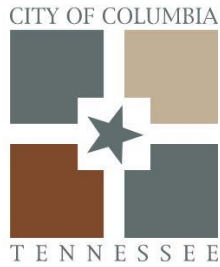
Section 8.3.6.H of the Zoning Ordinance requires the Architectural Design Review Team to prepare an annual report and submit it to the City Council. The previous ordinance, 3638, contained the same language at § 2.2.5.F. The annual report includes a comprehensive review of the actions of the Architectural Design Review Team as well as recommendations for improving its function. This document reports the activities of the Team during calendar year 2022. The information reported here will be incorporated into the 2022 Annual Report from the Department of Development Services. Specific recommendations based on our experiences during 2022 are discussed below.

The current ordinance was adopted mid-year. The new ordinance significantly changes the function and composition of the Team. Three specific changes are noteworthy.

- 1) Prior to adoption of the new ordinance, the five-person Team included the Director of Development Services (the City Planner/Zoning Administrator serving as the Director's designee), the City Engineer, a representative of the Maury Alliance, an architect, and a business owner. The current ordinance, 4400, eliminates the city staff members of the Team, leaving a membership of three.
- 2) As a voting member of the Team, the designee of the Director of Development Services acted as *de facto* chair of the Team under the previous ordinance. Although the current ordinance authorizes the Team to adopt rules of procedure (§ 8.3.6.F), it does not provide for the election of officers in the same manner as the Board of Zoning Appeals (§ 8.3.4.D) and the Historic Zoning Commission (§ 8.3.5.D) As the staff liaison to the reconstituted Team, in the absence of a chairperson, the City Planner continues to conduct meetings.
- 3) When it adopted the new ordinance, 4400, City Council established design standards for new buildings throughout Columbia. This reduced the need for design review by a deliberative body. The previous ordinance, 3638, required design review of structures visible from arterial roads and collector streets. The current ordinance, 4400, eliminated review based on the functional classification of roadways. Instead, § 8.5.15 of ordinance 4400 requires design review of all structures in special districts, including Light Industrial, Heavy Industrial, Manufactured Home Parks, and Interstate. The current ordinance also requires design review for structures in Planned Unit Developments, including residential PUDs.

The Team recommends that City Council consider the following actions related to design review during 2023.

- 1) Consider expanding the number of citizen members in order to maintain an odd-numbered body with a voting quorum larger than two.



City of Columbia – Architectural Design Review Team

- 2) Consider revising § 8.3.6 of the Zoning Ordinance to provide for the election of officers in the same manner as deliberative bodies with similar functions.
- 3) Clarify the Council’s intent in adopting § 8.5.15.B.2 as it relates to design review of residential structures.

As always, it is an honor to serve the citizens of Columbia. The Team looks forward to a productive 2023.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kevin McCarthy". The signature is fluid and cursive, with a long horizontal stroke at the end.

Kevin McCarthy, AICP
City Planner/Zoning Administrator
On Behalf of the Architectural Design Review Team



City of Columbia – Architectural Design Review Team

Case Num	Location	Description	Outcome
22-0137	1002 Carmack Blvd	Tire Shop Renovation	Approved
22-0142	5000 Trotwood Ave	New Construction Retail Center	Approved
22-0140	1706 Wedgewood Dr	Dental Office Façade Renovation	Approved
22-0139	376 Bear Creek Pike	The Back Porch Market Covered Porch	Approved
22-0128	929 Iron Bridge Rd, 400 Bear Creek Pike	Daycare Center Façade	Approved
22-0124	915 S Garden St	Façade Renovation and Rollup Doors	Approved
22-0119	2008 S Main St	Windows, Storefront and Landscaping	Approved
22-0108	1101 Nashville Hwy	Self-Storage Facility	Approved
22-0104	4015 Trotwood Ave	Convenience Store and Fuel Canopy	Approved
22-0096	2111 Carmack Blvd	Carmack Church of Christ	Approved
22-0064	2211 Carmack Blvd	Storefront Façade Renovation	Approved
22-0083	1109 S Main St	Windows and Roll Up Door	Approved
22-0073	813 S James M Campbell Blvd	Dutch Bros Drive Thru Coffee Shop	Approved
22-0060	1512 Hatcher Ln	Windows, Doors, and Cedar Siding	Approved
22-0030	1018 S Garden St	Roof Over Outdoor Seating Area	Approved
22-0040	97 N James M Campbell Blvd	Façade Upgrades	Approved
22-0032	2600 Trotwood Ave	Self-Storage Facility	Approved
22-0014	Halifax Drive - Moving & Storage	Self-Storage Facility	Approved
21-0299	2000 Pulaski Hwy	New Construction Façade Office	Approved
21-0285	Hatcher Lane	New Construction Façade Office	Approved
21-0283	204 E 6th St	New Construction Façade Car Museum	Approved
21-0269	Pulaski Hwy/Park Plus Drive	New Construction Façade HVAC Facility	Approved



City of Columbia – Architectural Design Review Team

22-0224	376 Bear Creek Pike	Exterior Façade Renovation	Approved
22-0211	2558 Nashville Hwy - Wynnsong	Self-Storage Facility	Denied
22-0205	2248 Nashville Hwy Honey Farm	Self-Storage Facility/Office	Approved
22-0193	Theta Pike	Self-Storage Facility	Approved
22-0186	1608 Hampshire Pike - Latter-Day Saints	Church Steeple	Approved
22-0174	2446 Nashville Hwy - Greens Mill Steadfast	Mixed Use Structure	Approved
22-0309	2558 Nashville Hwy, 2500 Hospitality Dr, 2501 Hospitality Dr	Self-Storage/Warehouse/Office	Approved
22-0295	1955 Hampshire Pike - Fiberon	Industrial Facility	Approved
22-0290	2475 Nashville Hwy Arden Village Lots 209 & 210	Mixed Use Structure	Approved
22-0266	2558 Nashville Hwy - Wynnsong	Self-Storage Facility	Denied
22-0249	730 Mooresville Pike	Go-Kart Storage and Canopy	Approved