



The Columbia Architectural Design Review Team will meet on Tuesday, June 13, 2023 at 9:00 AM in Conference Room A on the basement level of City Hall, 700 N. Garden Street. The Planning Commission will consider the following:

I. Roll Call

II. Approval of Minutes

III. Old Business

IV. New Business

1. Case #23-0199 Request from WES Engineers & Surveyors for facade approval of new construction within a PUD located at Tax Map 42 Parcel 14 off Cayer Lane.

Documents:

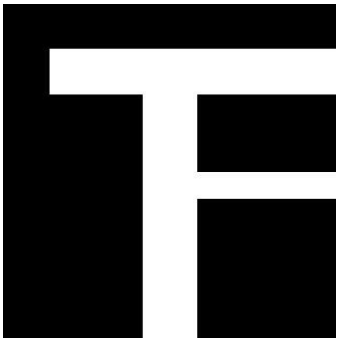
1. Floor Plans
2. Site Plan
3. Description of Proposed Project
4. Application

V. Adjourn

Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

The 2023 meeting schedule can be found on the City of Columbia Architectural Design Review Team webpage.

For other questions, please contact the Department of Development Services at 931-560-1560.



TOMMY BROWN ARCHITECTURE, PLLC

Project No. T#####

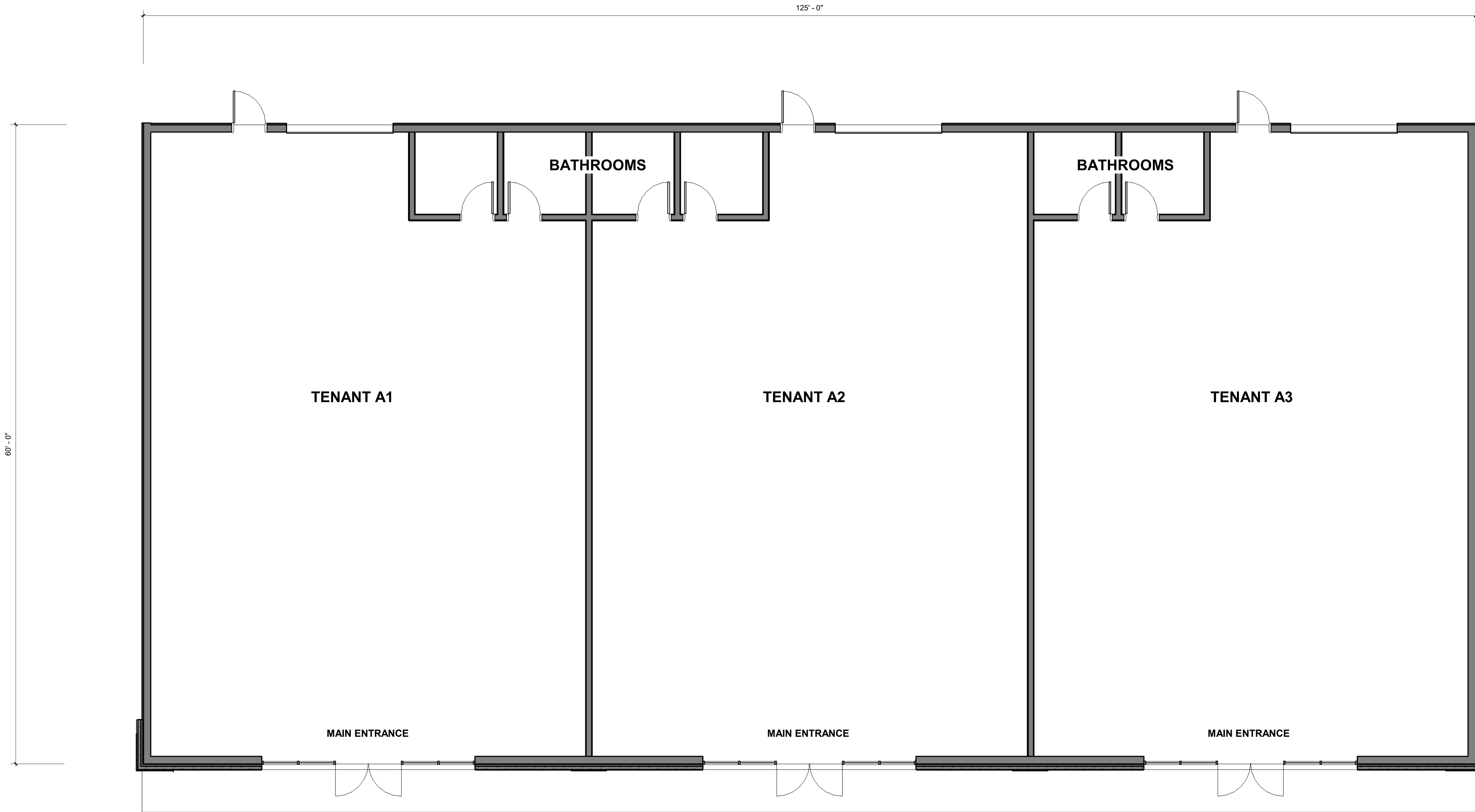
FLOOR PLAN (BUILDING A)

Bell Group
New Construction

7425 Old Hickory Blvd.
Nashville, TN 37189

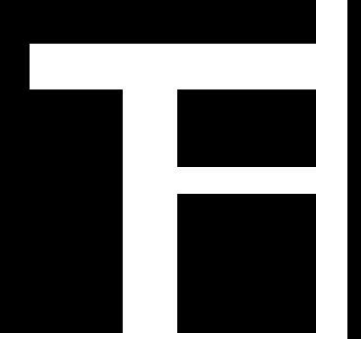
DWG	CHK	DATE	DESCRIPTION	REV
		4-14-23	Elevations	

A1.1



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

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TOMMY BROWN
ARCHITECTURE,
PLLC

Project No. T#####

FLOOR PLAN (BUILDING B)

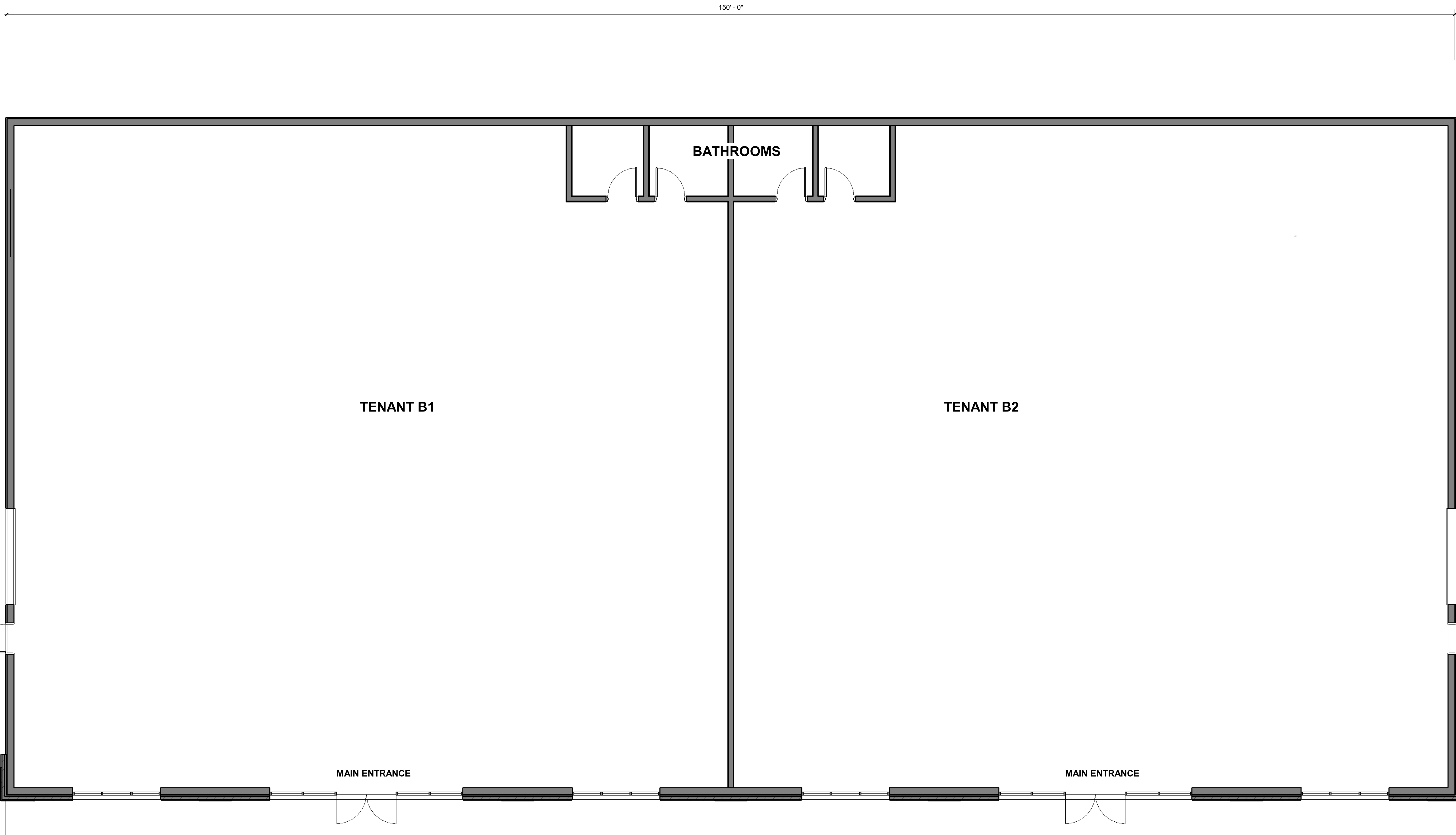
**Bell Group
New Construction**

7425 Old Hickory Blvd.
Nashville, TN 37189

DWG	CHK	DATE	DESCRIPTION	REV
		4-14-23	Elevations	

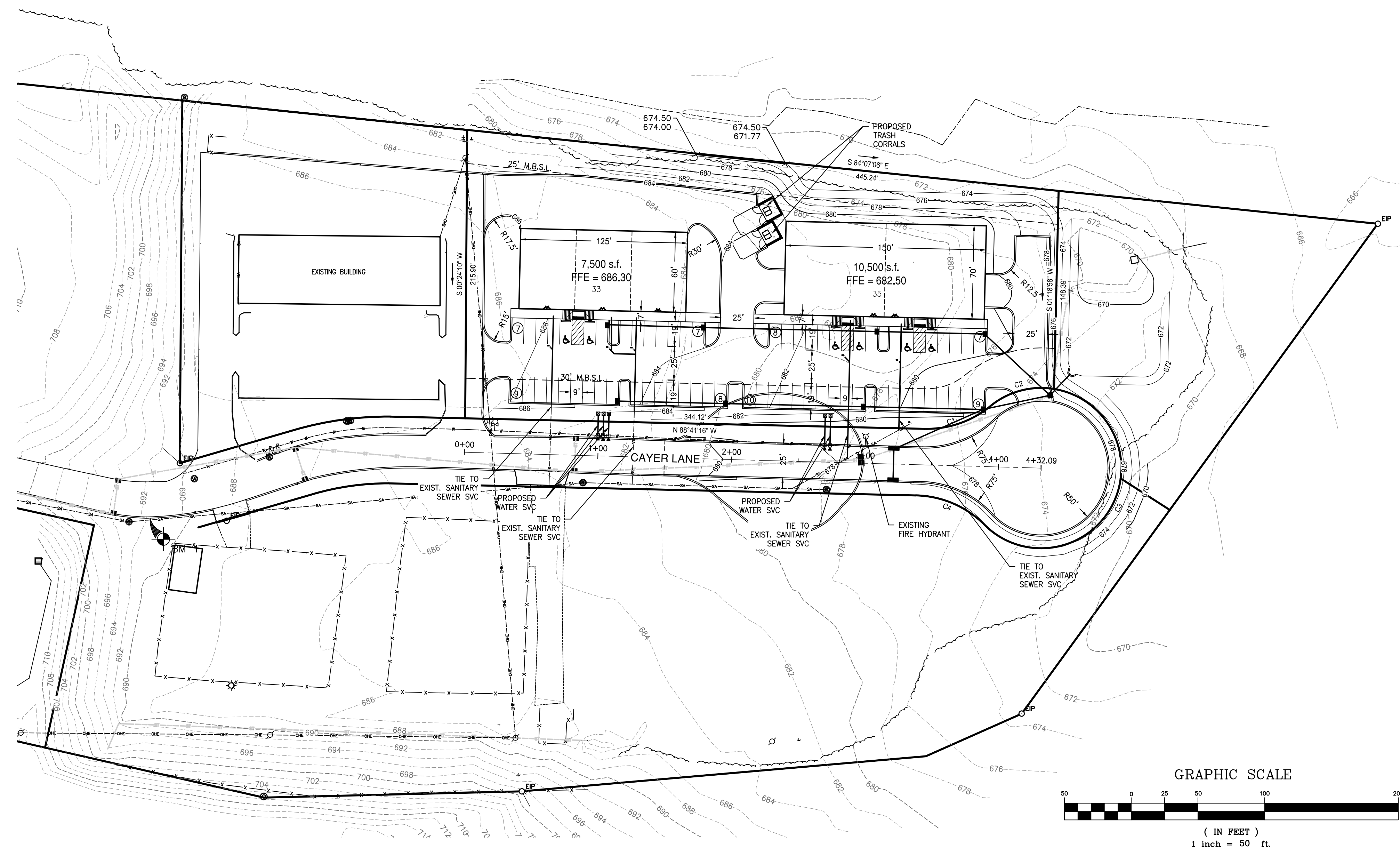
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1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

FINAL MASTER DEVELOPMENT PLAN



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	75.00'	53.23'	52.12'	S 70°38'52" W	40°39'43"
C2	60.00'	60.31'	49.40'	N 74°5'33" E	48°37'07"
C3	60.00'	225.93'	114.21'	N 27°08'32" E	215°44'52"
C4	75.00'	57.21'	55.83'	S 66°50'09" E	43°42'14"

BENCHMARK
 BENCHMARK #1
 PK NAIL
 N = 502,668.37
 E = 1,679,996.89
 ELEV = 691.67'
 TENNESSEE STATE PLANE
 COORDINATE SYSTEM
 NAD 83 DATUM

WARNING! UTILITY LINES!
 THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

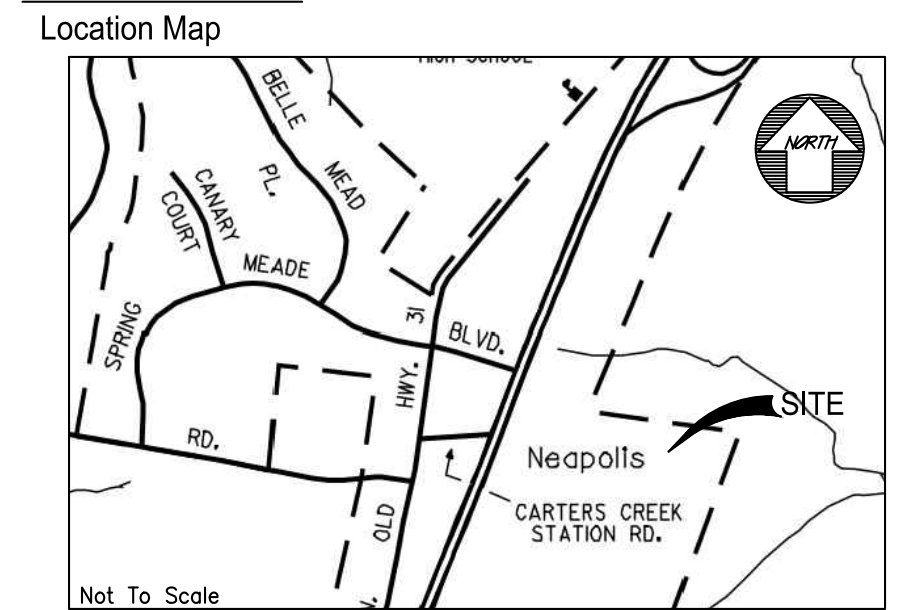
UTILITY COMPANIES:

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA INCLUDE:

MUNICIPALITY: CITY OF COLUMBIA 707 NORTH MAIN ST. COLUMBIA, TN 38401	ELECTRIC: COLUMBIA POWER & WATER SYSTEMS 201 PICKENS LANE COLUMBIA, TN 38401 (931) 388-4833	CABLE TELEVISION: COLUMBIA POWER & WATER SYSTEMS 201 PICKENS LANE COLUMBIA, TN 38401 (931) 388-4833
STORM WATER: CITY OF COLUMBIA ENGINEERING/INSPECTION 707 N. MAIN STREET COLUMBIA, TN 38401 (931) 560-1530 Contact: Glenn Harper, P.E.	WATER: COLUMBIA POWER & WATER SYSTEMS 201 PICKENS LANE COLUMBIA, TN 38401 (931) 388-4833	CABLE TELEVISION: CHARTER COMMUNICATIONS 2008 S. MAIN STREET COLUMBIA, TN 38401 (931) 388-1326
SANITARY: CITY OF COLUMBIA WASTEWATER SYSTEM 1244 TREATMENT PLANT RD. COLUMBIA, TN 38401 (931) 560-1001 Donnie Boshers, Director	TELEPHONE: AT&T 904 S. HIGH ST COLUMBIA, TN 38401 (888) 824-3434 JAMIE WHITFIELD (615) 975-0505 jw0972@att.com	GAS: ATMOS ENERGY 810 NASHVILLE HWY. COLUMBIA, TN 38401 (888) 824-3434 NASHVILLE (615) 872-5100

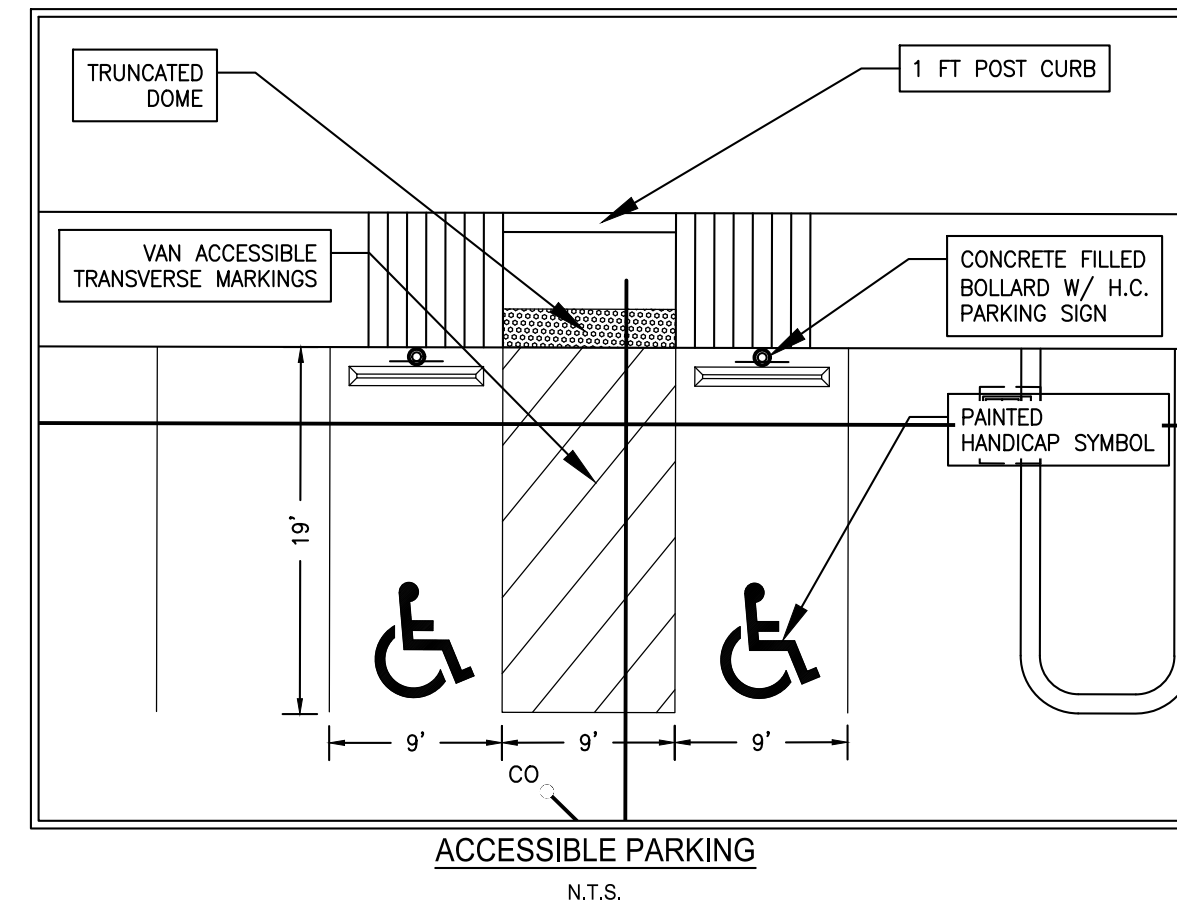
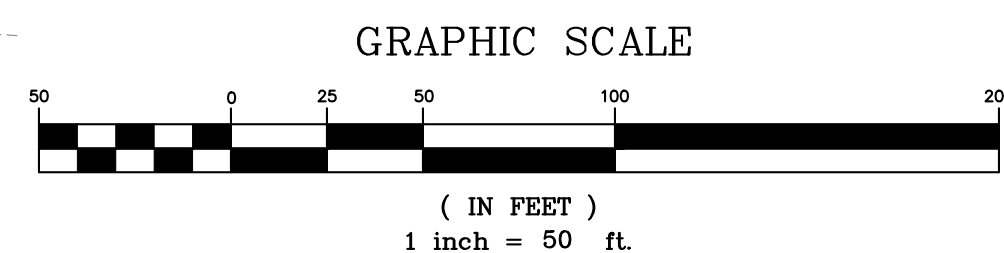
PROPOSED CONSTRUCTION SCHEDULE FOR THE YEAR 2023

ACTIVITY	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR
TEMPORARY SEDIMENT STRUCTURES												
SEDIMENT BASINS												
DIVERSION DITCHES												
CLEARING & CHIPPING												
TOPSOIL STRIPPING AND STORAGE												
ROADWAY GRADING												
PERMANENT STORM SEWER												
UTILITIES												
TEMPORARY VEGETATION												
PAVING												
PERMANENT VEGETATION												
REMOVE TEMPORARY STRUCTURES												



SITE DATA:
 OWNER: BELL GROUP, LLC
 5133 HARDING PIKE #B3
 NASHVILLE, TN 37205
 PARCEL NUMBER: TAX MAP #2 PARCEL 14.00
 DEED BOOK: R2833, PG 86
 SUBJECT PARCEL ZONING: PUD
 ACREAGE OF SITE: 85,924.29 S.F. = 1.97 ACRES
 MINIMUM REQUIRED BUILDING SETBACKS:
 30' FRONT
 25' REAR
 0' SIDE
 PARKING:
 1 SPACE PER 500 SF + 1 PER EMPLOYEE
 WORK STATION + VEHICLE STORAGE
 + 1 PER WORK BAY.
 18,000 / 500sf = 36 SPACES
 7 + 9 WORK STATIONS = 16 SPACES
 REQUIRED: 52 SPACES
 PROVIDED:
 59 STANDARD SPACES
 5 ACCESSIBLE SPACES
 65 TOTAL SPACES
 UTILITY SERVICES:
 WATER SERVICE
 COLUMBIA POWER & WATER SYSTEMS
 201 PICKENS LANE
 COLUMBIA, TENNESSEE 38401
 (931) 388-4833
 ELECTRIC SERVICE
 COLUMBIA POWER & WATER SYSTEMS
 201 PICKENS LANE
 COLUMBIA, TENNESSEE 38401
 (931) 388-4833
 PURPOSE NOTE: CONSTRUCT SITE FOR 18,000 S.F. MULTIPLE USE BUILDINGS. BUILDINGS WILL BE 25' HIGH (MAXIMUM).

NOTES:
 1. PER ZONING ORDINANCE 4.3.16.C.1. ANY FUTURE REMOVAL OF TREES DEPICTED ON THIS PLAN WILL REQUIRE APPROVAL BY PLANNING COMMISSION.
 2. PER ZONING ORDINANCE 4.3.17.B. LIGHTING AT FRONTAGE LINES WILL NOT EXCEED 1.0 FOOT CANDLE AND ON-SITE OUTDOOR LIGHTING WILL CONFORM TO THE STANDARDS OF THE CODE.



GEOTECHNICAL NOTE:
 CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:
 CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.
 BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:
 WESA ENGINEERS & SURVEYORS
 2486 NASHVILLE HWY
 COLUMBIA, TENNESSEE 38401
 (931) 388-2329

FLOOD STUDY NOTE:
 A PORTION OF THE PROPERTY IS LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM) MAP NUMBER 47117C0180E DATED APRIL 16, 2007.



Submitted for Municipal Approval
 NOT FOR CONSTRUCTION

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WESA ENGINEERS & SURVEYORS
 CIVIL ENGINEERS & LAND SURVEYORS
 2486 NASHVILLE HIGHWAY
 COLUMBIA, TN 38401
 PHONE: (931) 388-2329
 www.wesengineers.com

WESA

ENGINEERS & SURVEYORS

Client: BELL GROUP, LLC
 5133 HARDING PIKE #B3
 NASHVILLE, TENNESSEE 37205

DATE: _____

REVIEWS

FLEX BUILDING

CAYER LANE
 COLUMBIA, MAURY COUNTY, TENNESSEE
 FINAL MASTER DEVELOPMENT PLAN

Job No. 16583-21
 Scale: Vertical: 1"=50'
 Horizontal: _____

Drawn: RP
 Checked: CV
 Approved: CV
 Date: 02-28-2023

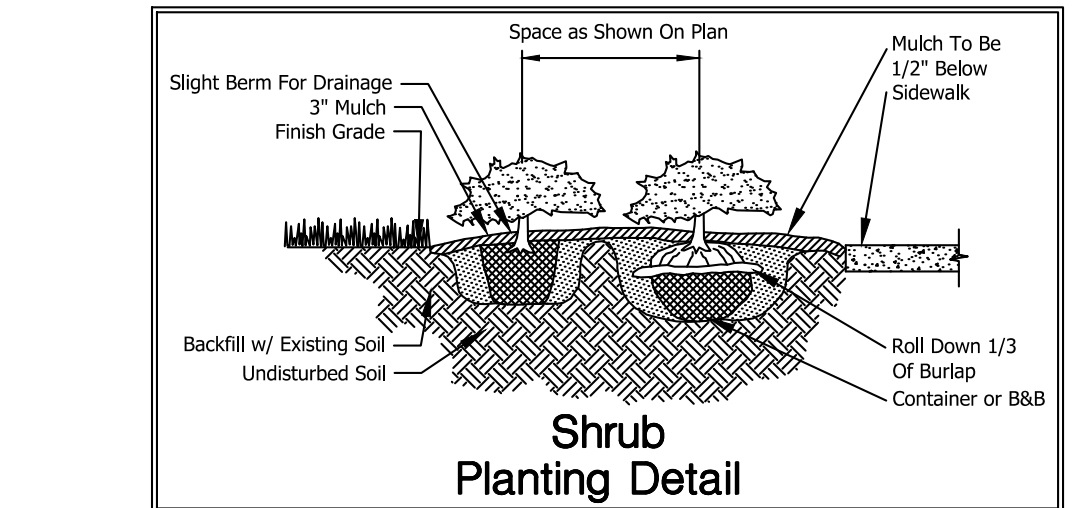
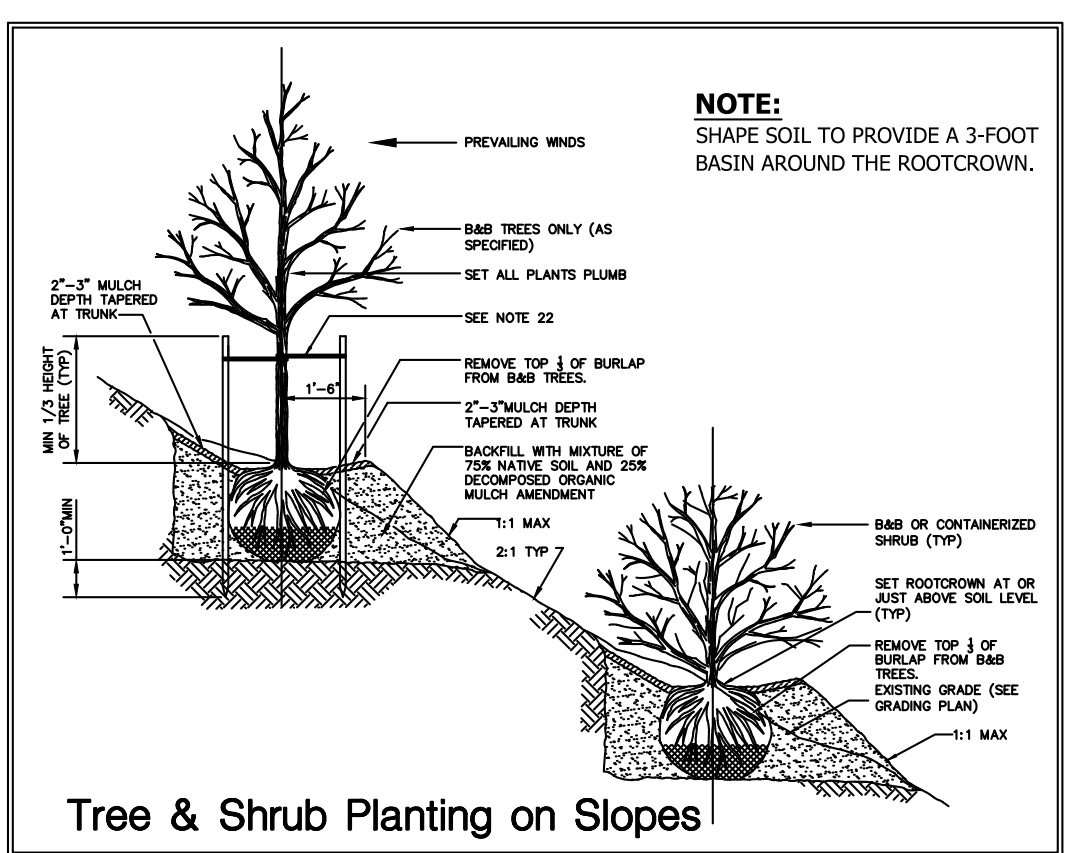
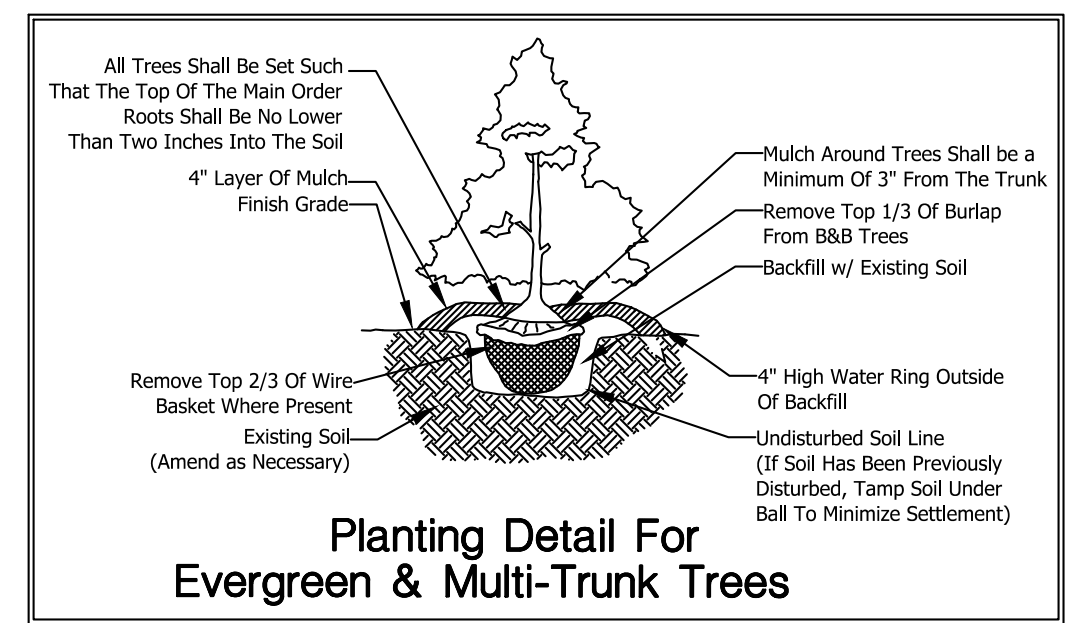
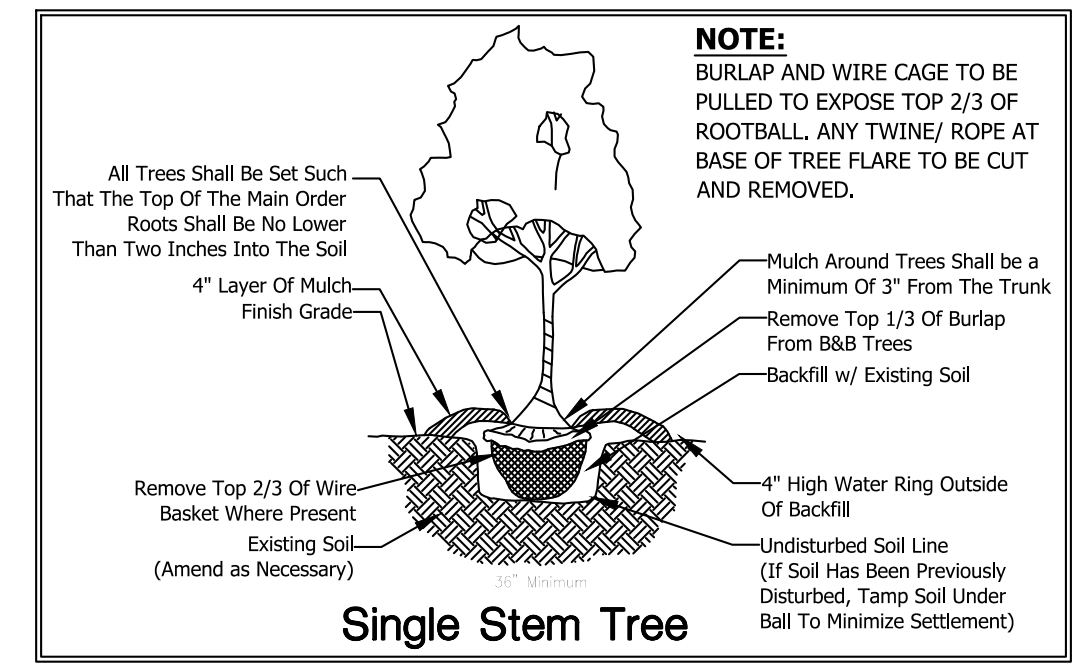
1 of 1

LANDSCAPE PLAN

Landscape Notes:

- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- All planting and mulch beds shall be hand weeded or sprayed with round-up (contractor's option) prior to the installation of mulch.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall be responsible for completely maintaining the work (including but not limited to: watering, mulching, spraying, fertilizing, etc.) of all planting areas and lawns until total acceptance of the work by the owner.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- The landscape contractor shall completely guarantee all work for a period of one year beginning at the date of acceptance. The landscape contractor shall make all replacements promptly (as per direction of owner).
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with seed and mulched or turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- All landscape materials to be selected by owner and must be in accordance with the Required Land Species Requirements of the Zoning Ordinance. One tree for each 50 lineal feet of landscaped area required along parking area. Remaining areas to be surfaced with shrubs, ground cover, grass, or other landscape material (excluding rock). (Zoning Ordinance 10.5.5.C.8.D and 11.1.3.F)
- Canopy trees shall be a minimum of ten feet in height with a four to five-foot spread and a 2-inch caliper trunk at time of planting. Accent trees shall be a minimum of eight feet in height with a three to four-foot spread and a 1 1/2-inch caliper trunk at time of planting.
- Ten shrubs shall be planted for every 100 lineal feet of building perimeter for nonresidential uses. All required shrubs shall be 20-inches in height in a minimum 3-gallon container. (Zoning Ordinance 11.1.3.F.81)
- Deciduous trees shall have one dominant trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/2 of the tree.
 - One fork is less than 1/2 the diameter of the dominant fork.
 - The top 1/2 of the smaller fork is removed at the time of planting.
- No branch shall be greater than 1/2 the diameter of the trunk directly above the branch.
- Several branches shall be larger in diameter and obviously more dominant.
- Branching habit is to be more horizontal than vertical, and no branches are to be oriented nearly vertical to the trunk.
- Branches are to be evenly distributed around the trunk with no more than one major branch located directly above another and the crown is to be full of foliage evenly distributed around the tree.
- Stake all trees as shown in Planting on Slopes details.
- Future removal of trees depicted on the plan will require approval by Planning Commission.

****ATTENTION OWNER/INSTALLER****
 This landscape plan has been designed to meet the minimum requirements of the Columbia, Tennessee zoning ordinance, the approval of the planning commission, and department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements. **Deviation from the approved landscape plan shall not be made without first obtaining approval from either the planning commission or the planning department.**



MATERIALS SCHEDULE

CANOPY TREES						
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
CA	2	Carya cordiformis	10'-12'	4'-5'	3"	4' CLEAR TRUNK
AR	2	Acer Rubrum	10'-12'	4'-5'	3"	4' CLEAR TRUNK
QP	0	Quercus Phellos	10'-12'	4'-5'	3"	4' CLEAR TRUNK
CL	0	Cupressocyparis leylandii	8'-10'	4'-5'	3"	4' CLEAR TRUNK
SA	1	Sassafras albidum	10'-12'	4'-5'	3"	4' CLEAR TRUNK

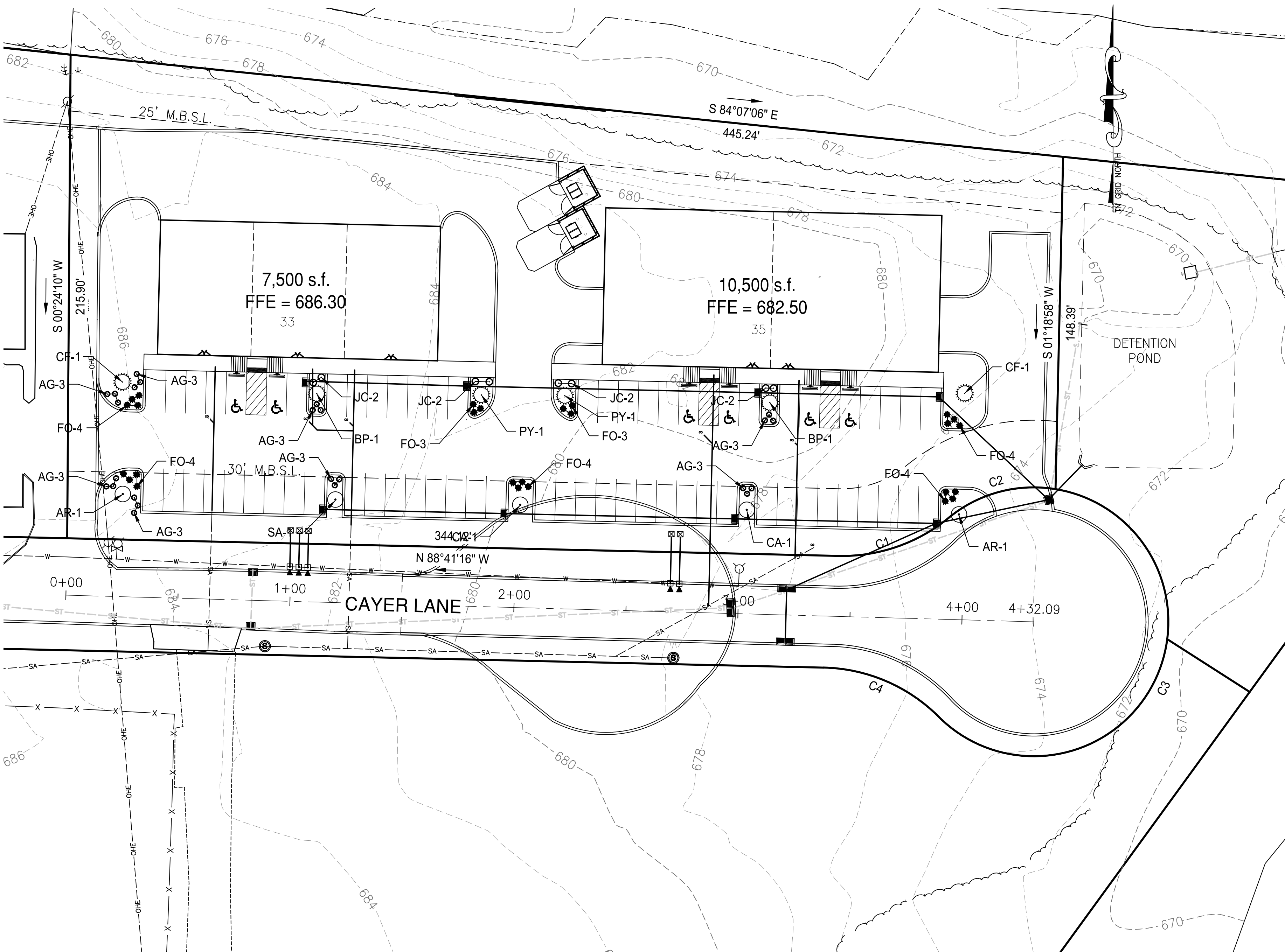
UNDERSTORY TREES						
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
CF	2	Cornus Florida	8'-10'	3'-4'	3"	4' CLEAR TRUNK
BP	2	Betula nigra 'Heritage'	8'-10'	3'-4'	3"	MULTI-TRUNK
LI	0	Lagotis indica	8'-10'	3'-4'	3"	MULTI-TRUNK
PY	2	Prunus x yedoensis	8'-10'	3'-4'	3"	4' CLEAR TRUNK
IF	0	Ilex Attenuata 'Fosterii'	8'-10'	3'-4'	3"	4' CLEAR TRUNK
TG	0	Thuja 'Green Giant'	6'-10'	3'-4'	2"	F.T.B.

SHRUBS						
KEY QUANTITY	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
AK	24	Abelia hybrid 'Edward Goucher'	24'-30"	18'-24"	F.T.B.	
AK	0	Abelia x grandiflora 'Kaleidoscope'	24'-30"	18'-24"	F.T.B.	
FO	23	Forsythia Intermedia	24'-30"	18'-24"	F.T.B.	
JC	8	Juniperus Chinese 'Sea Green'	24'-30"	18'-24"	F.T.B.	
VB	0	Viburnum burkwoodii 'Mowhawk'	24'-30"	18'-24"	F.T.B.	
VP	0	Viburnum Pragensis	24'-30"	18'-24"	F.T.B.	
VS	0	Viburnum davidii	24'-30"	18'-24"	F.T.B.	

TURF					
SEED	Turf Mixture	Rebel III Turfhye Fescue	Temporary seed all disturbed areas @ 8.1.1.009f.		
SOD	Fine Bladed Fescue Sod	Rebel III Install 4' strip behind All curb grass areas & between building & curb.			

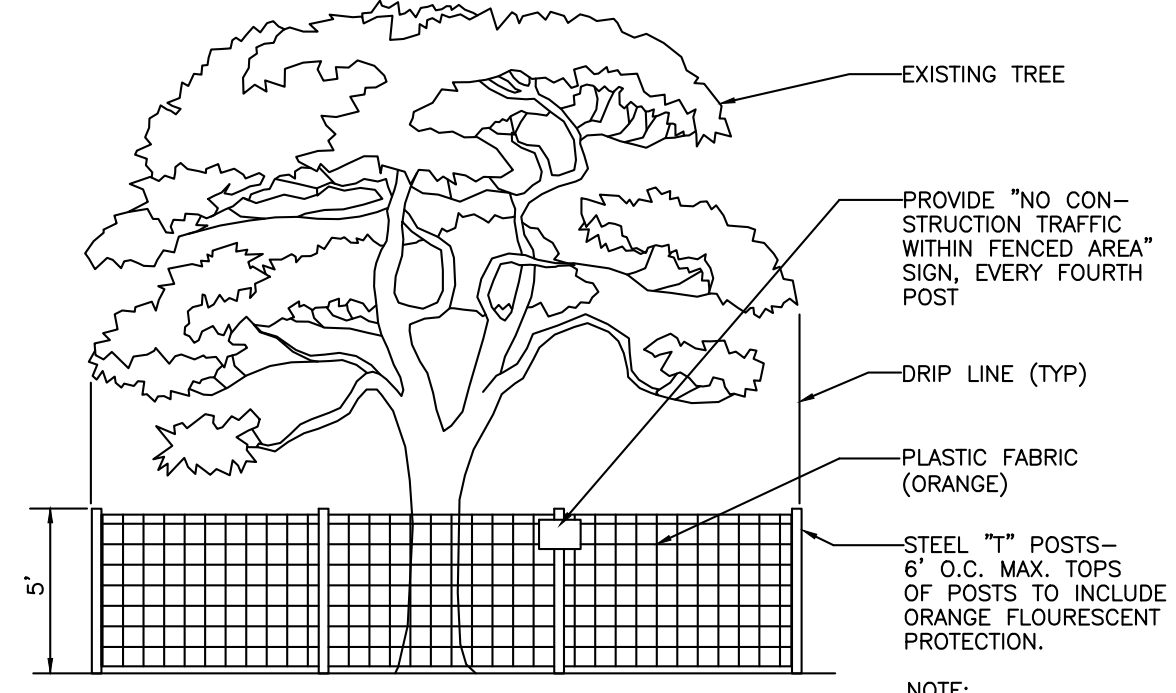
MISCELLANEOUS	
Seasonal Color	Flower Beds for Seasonal Plantings.
Shredded Hardwood Bark Mulch	Minimum 3" depth throughout plant beds.

NOTES
 F.T.B. = Full To Base
 EXISTING AREAS OUTSIDE OF THE PROPOSED LIMIT OF CONSTRUCTION TO REMAIN UNDISTURBED. SEE LIMIT OF CONSTRUCTION AS OUTLINED ON THIS PLAN.



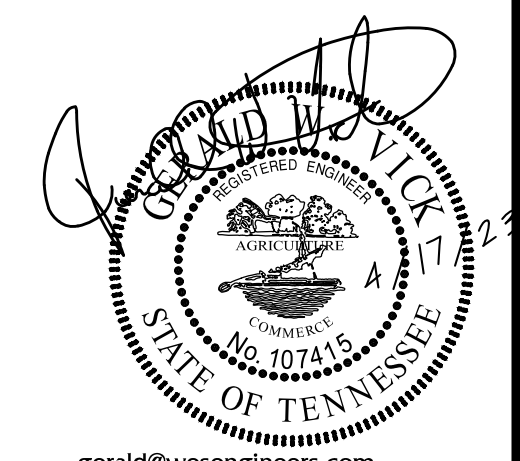
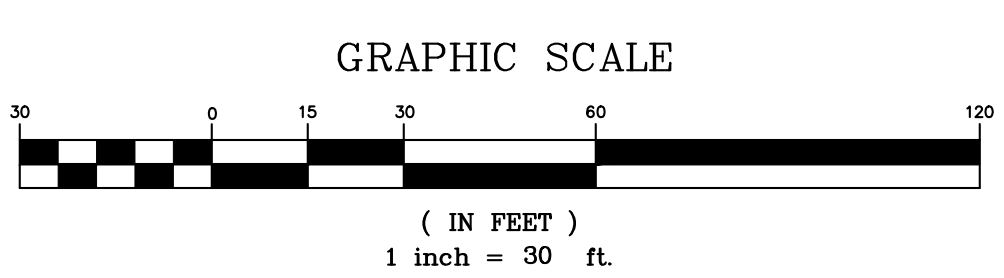
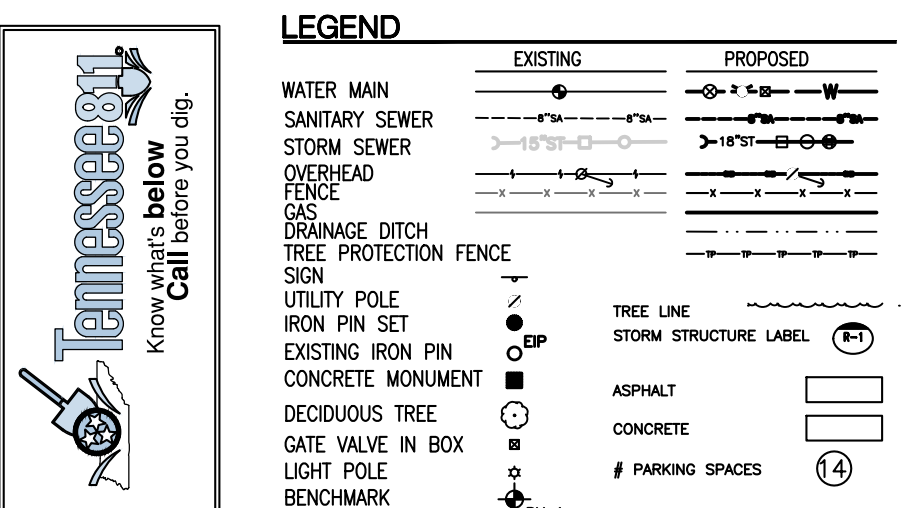
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Tree Protection Fencing Detail

NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.



gerald@wesengineers.com
 SUBMITTED FOR MUNICIPAL APPROVAL
 NOT FOR CONSTRUCTION

© 2023

WES ENGINEERS & SURVEYORS
 CIVIL ENGINEERS & LAND SURVEYORS
 2486 NASHVILLE HIGHWAY
 COLUMBIA, TN 38401
 PHONE: (931) 388-2329
 www.wesengineers.com

WES

ENGINEERS & SURVEYORS

Client: BELL GROUP, LLC
 5133 HARDING PIKE #B3
 NASHVILLE, TENNESSEE 37205

Drawn: RP
 Checked: CV
 Approved: CV
 Date: 02-29-2023

Job No. 16583-21

Scale: Vertical 1"=30'

L-1.0



ARCHITECTURAL REVIEW TEAM
 PROJECT DEVELOPMENT APPLICATION

ADDRESS/LOCATION	Cayer Lane, Columbia		
	TAX MAP: 42	GROUP:	PARCEL: 14.0
SUMMARY OF NATURE OF REQUEST AND WORK	Proposed building 10 and 13 for Beechcroft Plaza		

REQUEST DATE FOR PRE-APPLICATION CONFERENCE	1/25/2023	<i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i>
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SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

SELECT REQUEST	PLAN SHALL INCLUDE
<input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____	<ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels.

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

APPLICANT

NAME	WES Engineers & Surveyors	PHONE	931-388-2329
ADDRESS	2486 Nashville Hwy Columbia, TN 38401	EMAIL	gerald@wesengineers.com

PROPERTY OWNER

NAME	Bell Group, LLC	PHONE	615-970-9611
ADDRESS	5133 Hardin Pike, Ste B3 Nashville, TN 37205	EMAIL	derek@bellgroupn.com

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

Gerald Vick <hr/> APPLICANT NAME	 <hr/> APPLICANT SIGNATURE	05/22/2023 <hr/> DATE
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** Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.**

Derek Bell <hr/> PROPERTY OWNER NAME	 <hr/> PROPERTY OWNER SIGNATURE	05/20/2023 <hr/> DATE
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STAFF USE ONLY

DOCKET NO.		FEE PAID	
RECEIPT NO.		REQUESTED AGENDA	
DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS			
DATE OF PUBLIC NOTICES IN DAILY HERALD			
BOARD ACTION			



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION

ADDRESS/LOCATION	Cayer Lane, Columbia		
	TAX MAP: 42	GROUP:	PARCEL: 14.0
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ADDRESS	5133 Hardin Pike, Ste B3 Nashville, TN 37205	EMAIL	derek@bellgroupn.com

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

<p>Gerald Vick</p> <hr/> <p>APPLICANT NAME</p>	 <hr/> <p>APPLICANT SIGNATURE</p>	<p>05/22/2023</p> <hr/> <p>DATE</p>
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** Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.**

<p>Derek Bell</p> <hr/> <p>PROPERTY OWNER NAME</p>	 <hr/> <p>PROPERTY OWNER SIGNATURE</p>	<p>05/20/2023</p> <hr/> <p>DATE</p>
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STAFF USE ONLY

DOCKET NO.	FEE PAID
RECEIPT NO.	REQUESTED AGENDA
DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS	
DATE OF PUBLIC NOTICES IN DAILY HERALD	
BOARD ACTION	